WLPP No.	Item 2
DA No.	DA-2019/1290
Proposal	Mixed Use Development - demolition of existing structures and the construction of a shop top housing development comprising three (3) commercial tenancies, 100 place childcare centre, 50 residential units with two (2) levels of basement car parking.
Property	16-20 Belmore Street, Wollongong
Applicant	Urban Link Pty Ltd
Responsible Team	Development Assessment and Certification - City Centre Major Development City Centre Team (RW)

ASSESSMENT REPORT AND RECOMMENDATION

Executive Summary

Reason for consideration by Local Planning Panel - Determination

The proposal has been referred to Local Planning Panel for determination pursuant to clause 2.19(1)(a) of the Environmental Planning and Assessment Act 1979. Under Schedule 2 of the Local Planning Panels Direction of 30 June 2020, the proposal is development to which State Environmental Planning Policy No. 65 – Design Quality of Residential Apartment Development applies.

Proposal

The proposal is for demolition of existing structures and construction of an 18-storey mixed use development comprising 50 residential units, 3 commercial tenancies and a childcare centre, with two levels of basement parking.

Permissibility

The site is zoned B3 Commercial Core pursuant to Wollongong Local Environmental Plan 2009. The proposal is categorised as shop top housing and childcare centre and is permissible in the zone with development consent.

Consultation

The proposal was notified in accordance with Council's Notification Policy and received four (4) submissions including two (2) letters of support which are discussed at section 1.5 of the assessment report.

Main Issues

The main issues are:

- Vehicle manoeuvrability
- Sydney Trains requirements
- Response to DRP – design excellence

RECOMMENDATION

It is recommended that:

1. The WLPP delegate determination of the development application DA-2019/1290 to the Manager Development Assessment and Certification subject to the matters outlined below.
2. Revised plans be submitted to address the issue of vehicle manoeuvrability within the Level 1 car parking area as outlined in Part 1.6 of this report.

3. A deferred commencement consent be issued generally in accordance with the conditions outlined in Attachment 7 (and subject to any changes arising from revised plans and suitable Traffic conditions).

1 APPLICATION OVERVIEW

1.1 PLANNING CONTROLS

The following planning controls apply to the development:

State Environmental Planning Policies

- SEPP 55 – Remediation of Land
- SEPP 65 Design Quality of Residential development
- SEPP (Infrastructure) 2007
- SEPP (Building Sustainability Index: BASIX) 2004
- SEPP (Affordable Rental Housing) 2009
- SEPP (Educational Establishments and Child Care Facilities) 2017

Local Environmental Plans

- Wollongong Local Environmental Plan (WLEP) 2009

Development Control Plans

- Wollongong Development Control Plan (WDCP) 2009

Other policies

- Wollongong City-Wide Development Contributions Plan 2019

1.2 DETAILED DESCRIPTION OF PROPOSAL

The proposal comprises the following:

Site preparation

- Demolition of all structures on the site, removal or 8 trees and earthworks for 2 basement levels

Works / Construction / building details

- 18 storey building comprising 3 commercial tenancies, 100 place childcare facility and 50 residential apartments. A breakdown of each floor is outlined below:

Level	*Use*
Basement 2	Lower basement level providing 22 residential car spaces, 3 motorbike spaces, waste storage area, storage for units and bicycle parking
Basement 1	One level of basement car parking, providing 12 commercial (staff) car spaces, 26 residential spaces, 3 motorbike spaces and storage areas for units
Ground floor	Two (2) commercial tenancies (503m^2) accessed off Belmore St. Vehicle entry from Victoria Street 7 commercial car spaces Waste dock, and residential and commercial waste holding rooms with bulky waste storage area 1m wide concrete drainage swale proposed along the southern and western boundaries to cater for overland flow from upslope properties.

Mezzanine	Void space above commercial and sleeved parking at the rear providing 11 childcare (staff) car spaces and 10 residential spaces (visitor spaces). Bicycle parking for residential visitors and commercial use is provided.
Level 1	One (1) commercial tenancy (631m^2) with childcare parking sleeved behind (6 stacked staff spaces and 20 childcare visitor parking spaces). A lobby for the childcare is proposed, with stair access or dedicated lift access
Level 2	Childcare centre for 100 children with associated outdoor play areas
Level 3 (podium)	Two (2) apartments with communal open space including a community room
Level 4	Three (3) apartments
Level 5-11	Five (5) apartments per floor
Level 12	Four (4) apartments
Level 13	Three (3) apartments
Level 14	Two (2) apartments (both 3B, one being the lower level of a two-storey apartment)
Level 15	Two (2) apartments (lower level of two storey 4B apartment and upper level of 3B apartment)
Level 16	One (1) apartment (upper level of two storey 4B apartment) A/C plant
Roof level	Solar Panels for communal open space lighting

The development is Integrated Development under Section 4.46 of the Environmental Planning and Assessment Act 1979 as it requires approval under the Water Management Act 2000 for dewatering associated with the basement construction. This is further discussed in Part 1.6.2 of the report.

1.3 BACKGROUND

The current application was lodged on 14 November 2019. No pre-lodgement meeting was held for the proposal. At the time of lodgement, the development was proposed over two lots, being 16-18 Belmore Street. During the course of the assessment, 20 Belmore Street was added to the development site and revised plans were submitted for a development that encompassing three lots described as 16-20 Belmore Street as shown in Attachment 1.

The original proposal was considered by the Design Review Panel (DRP) on 16 December 2019.

The revised proposal was considered by the DRP on 7 July 2020 and again on 15 September 2020. The DRP commentary from the latest Panel meeting forms Attachment 3.

There is no other development history relevant to the proposal.

<u>Customer service actions</u>

There are no outstanding customer service requests of relevance to the development.

1.4 SITE DESCRIPTION

The site is located over three parcels of land described as at 16-20 Belmore Street, Wollongong and the title references are:

- Lot 1 DP 1133557 (16 Belmore Street)
- Lot 2 DP 12995 (18 Belmore Street)

- Lot 3 DP 12995 (20 Belmore Street)

The site is generally square in shape, with a total area of 1721.5m^2 with a 40.5m frontage to Belmore Street and a 36m frontage to Victoria Street, with a splay corner. The site falls from the south-east to the north west over 2 metres.

Adjoining development is as follows:

North: Victoria Street with a public car park directly opposite and a residential flat building to the north-east. To the north west is a railway bridge where Victoria Street leads west to Denison Street.

East: Belmore Street with a mix of existing low scale commercial buildings on the eastern side of Belmore Street. A number of these sites have recently been granted approval for shop top housing developments of a similar scale to that proposed (fronting both Belmore and Young Streets).

South: Directly adjoining the site to the south is 22 Belmore Street which is a single storey dwelling. 24 Belmore St further south is an approved sex services premises, also single storey. To the south further along Belmore Street are commercial buildings 1-2 storeys in height.

West: Rail corridor directly adjoins the site to the west (approximately 40m wide), with an existing mechanical repair workshop west of the rail corridor on the corner of Victoria and Denison Streets (zoned B4 mixed use).

The locality is undergoing a period of transition, with existing low scale commercial and residential uses being replaced with high density developments that reflect the current planning controls.

<u>Property constraints</u>

Council records identify the land as being impacted by the following constraints:

- Acid sulphate soils: Class 5
- Flooding: The site is identified as being flood affected (uncategorised). Council's Stormwater Officer has reviewed the application in this regard and has provided a satisfactory referral subject to conditions.
- The survey shows a sewer line running through 16 and 18 Belmore Street

There are no restrictions on the titles.

Aerial and site photos, as well as the WLEP 2009 zoning map forms Attachment 1.

1.5 SUBMISSIONS

The application was originally notified in accordance with Council's Community Participation Plan 2019 between 28/11/19 and 18/12/19. It was re-notified between 16/6/20 and 8/7/20 following the addition of a lot and submission of amended plans.

Figure 1: Notification map

Four (4) submissions were received from both notification processes, including two (2) letters of support. The concerns identified are discussed below.

Table 1: Submissions

Concern	Comment
1. Building height	The maximum height permitted under WLEP2009 is 60m. The proposed building height is 58.835m, which complies with the maximum building height.
2. Use as childcare centre	The proposed use as a childcare facility is permitted in the B3 Commercial Core zone with consent under WLEP2009.
3. Quality of childcare centre - access to nature, daylight, limits to outdoor play - acoustic report states children will be limited to 2 hours a day of outside play and will be kept quiet.	The childcare facility has been assessed against the relevant policies, including the SEPP (Educational Establishments and Child Care Facilities) 2017 and the Child Care Planning Guidelines, as outlined in the body of this report and also Attachment 5. The proposed childcare facility meets the requirements of the relevant policies.
4. A petition should be signed by residents in order for application to be approved.	The application was notified in accordance with Council's Community Participation Policy 2019, providing an opportunity for affected properties to raise concerns in the form of written submissions. A total of four (4) submissions were received, two of which were letters of support. Approval of a development application is subject to the matters for consideration under Section 4.15 of the Environmental Planning and Assessment Act 1979 which includes relevant planning policies, the likely impacts of the development, the suitability of the site and any submissions made and the public interest.

1.6 CONSULTATION

1.6.1 INTERNAL CONSULTATION

The application was reviewed by Council's Geotechnical Engineer, Stormwater Engineer, Landscape Architect and Environment Officer who have all provided satisfactory referrals Environmental matters considered include acoustic impacts from rail corridor, contamination, wind effects, water sensitive urban design (WSUD) and construction impacts. Conditions of consent have been recommended and are included in the draft conditions in Attachment 7.

Traffic Engineer

Revised plans were requested in October 2020 for the applicant to address non-compliance with swept paths on critical corners (i.e. ramps within the car park). In response, further advice was provided by the applicant's Traffic consultant. In summary, a justification for the current design was outlined based on measures including convex mirrors, signage and boom gates without any changes to the car parking layout being proposed. Council's Traffic Officer has reviewed the latest information and identified that the following issue has not been adequately resolved:

The residential and commercial parking levels can be managed with convex mirrors, hold lines, give way signage, boom gates etc as proposed. However, the following issue needs to be addressed.

- *The level 1 childcare centre visitor car parking area will have more 'intensive' traffic and parking activity during the early morning drop-off and afternoon pick-up. The issue is that on entry to level 1 two vehicles are unable to pass and there is likely to be localised congestion, vehicles backing up etc which would result in safety concerns. See level 1 swept paths from the previous traffic report below.*

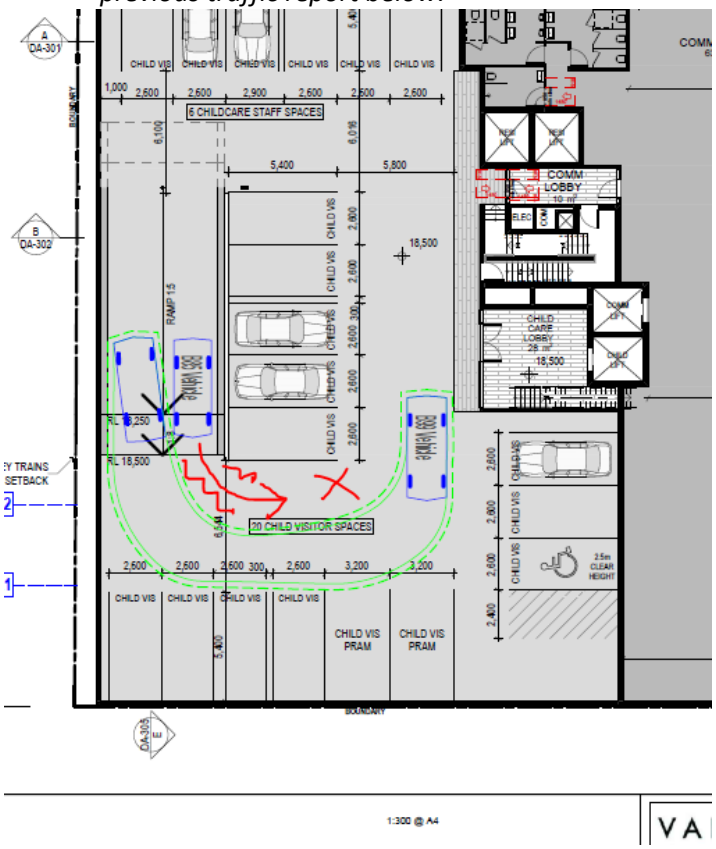

Figure 1: screen grab of plans indicating location of vehicle conflict

Subject to revised plans being provided to resolve this issue, suitable Traffic conditions can be imposed on any consent granted regarding car parking provision, vehicle manoeuvring, servicing and the like.

1.6.2 EXTERNAL CONSULTATION

Sydney Trains

As the site adjoins the rail corridor to the west, concurrence was sought under Clause 86 of the SEPP (Infrastructure) 2007. Sydney Trains provided their concurrence on 18 September 2020 and their requirements are included in the recommended conditions in Attachment 7. Sydney Trains have imposed a Deferred Commencement condition as well as operational conditions following satisfaction of the deferred commencement requirements.

Endeavour Energy

The original and revised proposals were referred to Endeavour Energy. Advice was received dated 19 June 2020 raising no objection to the proposal subject to certain recommendations and supporting information being forwarded the applicant.

Water NSW

General Terms of Approval (GTAs) were sought from Water NSW as the proposed development is Integrated Development as it requires approval under the Water Management Act 2000 for dewatering/pumping of groundwater. GTAs were issued on 24 September 2020 and form part of the recommended conditions of consent as outlined in Attachment 7.

Design Review Panel

The application has been considered by the DRP on three (3) occasions, the latest Panel meeting being held on 15 September 2020. A copy of the full DRP commentary forms Attachment 3. On balance, the current design was found to be appropriately respond to the design quality principals of SEPP 65, with the Panel making further recommendations relating to the building's finishes, detailing and architectural expression to achieve design excellence.

The Panel identified the following key issues and recommendations:

Key issues, further Comments & Recommendations	The base of the building will form an appropriately scaled street wall and the form and position of the tower sets in place an appropriate pattern of development for the immediate context of the site. The basic form of the building is acceptable. However, further development of the expression of the building is recommended. The base of the building must be articulated with a higher quality material pallet to provide less utilitarian expression. The Panel also recommends the option to express the tower as two linear forms, a tall tower vertical tower with a smaller tower form wrapping around the street corner be explored. The landscape design needs to be further developed to improve amenity and environmental outcomes on levels 2 and 3 and to improve social outcomes on levels 3 and 12. A greater level of detail information is to be provided to document the external materials and finishes of the building and demonstrate the quality of the proposal.

The latest set of revised plans has responded to the Panel's outstanding concerns as summarised below:

<u>Material palette</u>

Concerns were raised over the treatment of the podium noting that the podium will be visibility from the north (Victoria St), the west (rail corridor) and the south (until the adjoining sites are redeveloped). The revised plans have introduced more detailing into the basement podium on these elevations, incorporating aluminium blades in 3 shades of grey that allow some visibility into the car parking space and also incorporating face bricks. A comparison of the design considered by the DRP and the current plans is shown below:

Superseded design considered by DRP (patterned concrete):

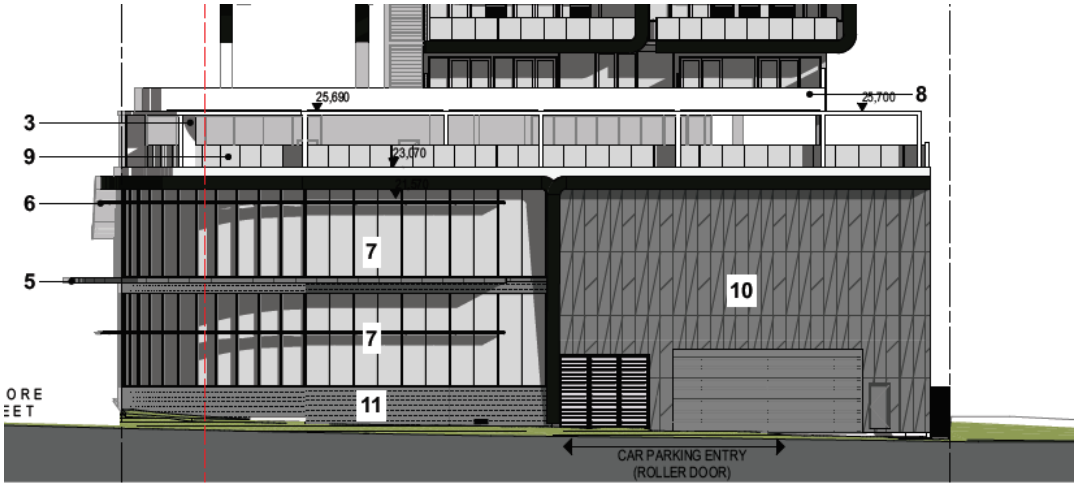

Figure 2a: superseded northern elevation (Victoria St)

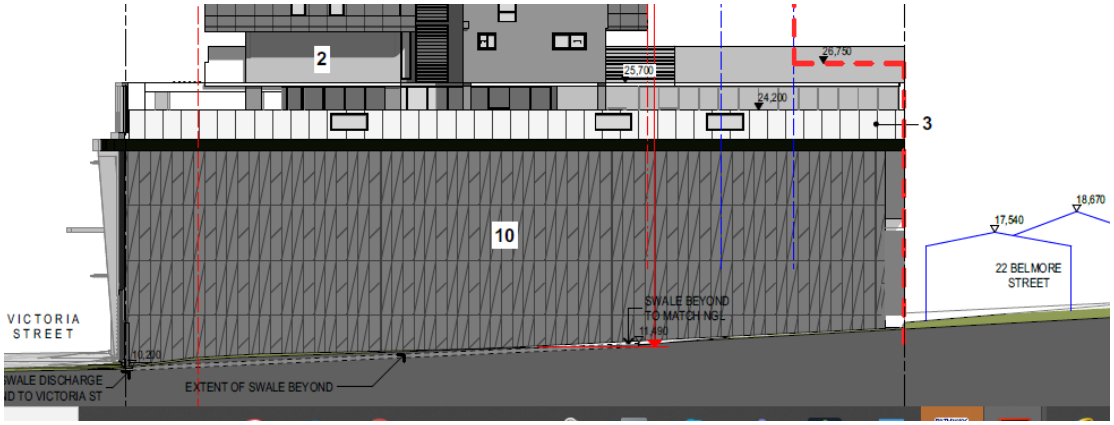

Figure 2a: superseded western elevation (facing rail corridor)

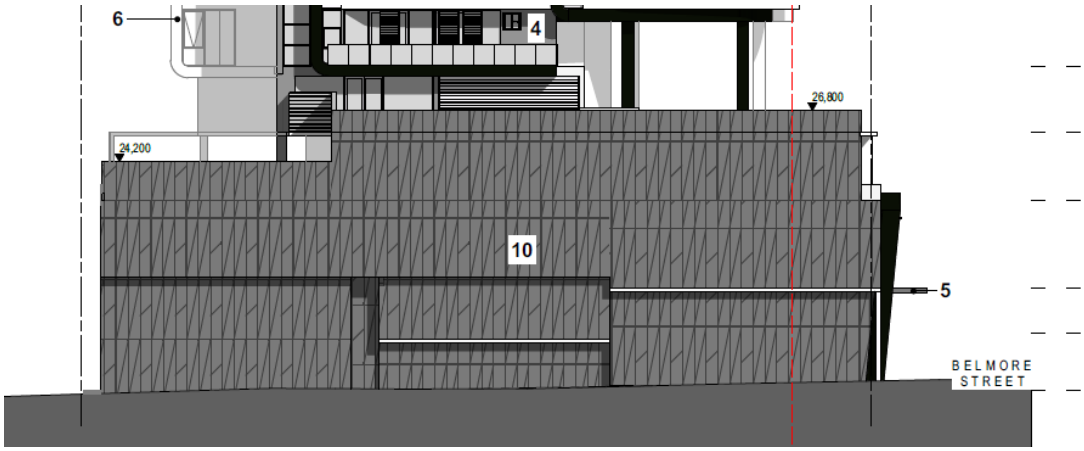

Figure 2a: superseded southern elevation

Current design incorporating face brickwork and aluminium blades on north and western elevation and face brickwork, CFC panels and blades on the southern elevation:

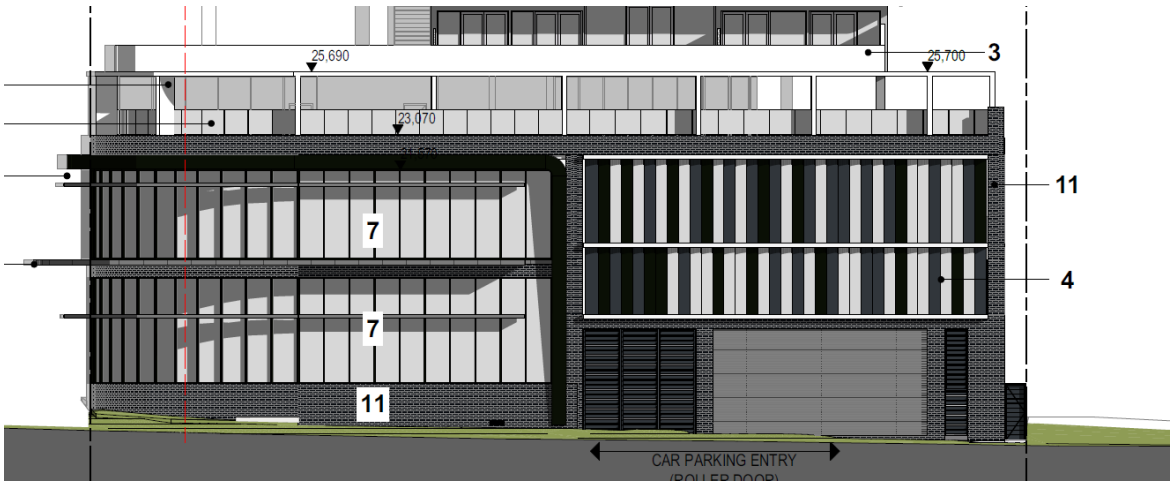

Figure 3a: Revised design of northern elevation (Victoria St)

Figure 3b: Revised design of western elevation (facing rail corridor)

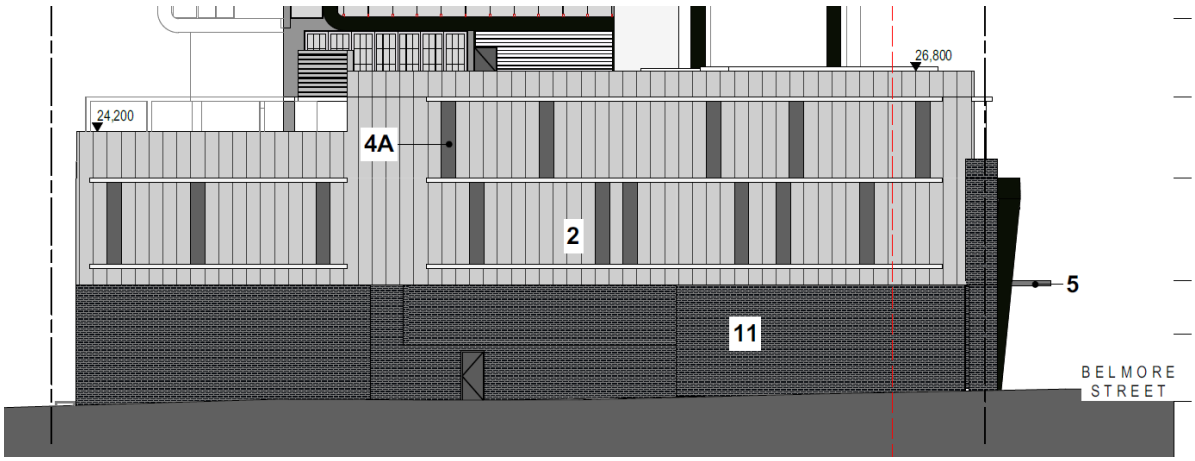

Figure 3c: Revised southern elevation (adjoining 22 Belmore Street which is likely to be redeveloped in the future)

Express the tower as two linear forms

This concern primarily related to the northern elevation which previously incorporated three vertical elements into the design. The northern elevation has been revised to reflect the recommendation of the Panel now largely being expressed as two linear forms comprising a smaller tower and the larger tower element:

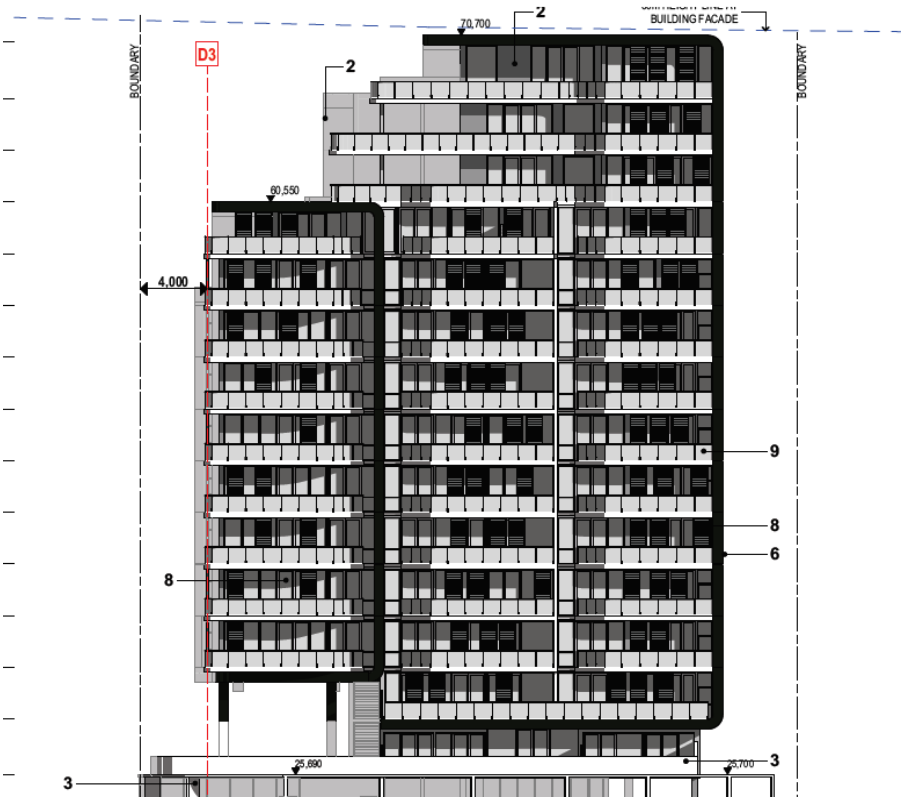

Figure 4: Revised northern elevation

Landscape design

Recommendations were made to improve the communal open space (COS) areas on Level 3 by providing more suitable plantings, replacing artificial grass with real turf and facilitate improved social outcomes. The revised design has made the following changes which are reflected on the landscape plans included in Attachment 2:

- Some turfed areas introduced on Level 3 where the COS it is open to the sky
- Planting palette addresses large areas of shade, low maintenance species proposed
- Greater range of plantings for childcare facility provided, increased tree planting and use of indigenous species
- BBQ facilities and outdoor sink proposed on Level 12 to improve amenity
- Fitness equipment and children's play areas indicated for Level 3 COS
- Seating opportunities adjacent to deep soil area

More details of external materials and finishes

Details of the proposed materials and finishes for the podium structure and façade treatment have been submitted. Detail section plans of the balcony treatment, including the moveable louvres, balustrade design (including drainage) have been submitted and are included in Attachment 2. A condition is recommended for the external finishes and materials to be in accordance with the details provided. Any changes will require Council's written approval to ensure the external appearance of the building is consistent with the design plans. The condition is included in Attachment 7.

As outlined above, the revised design reasonably responds to the Panel's comments and recommendations and did not require re-referral back to the Panel.

2 ENVIRONMENTAL PLANNING AND ASSESSMENT ACT 1979

1.7 Application of Part 7 of Biodiversity Conservation Act 2016 and Part 7A of Fisheries Management Act 1994

Section 1.7 of the Environmental Planning and Assessment Act 1979 (EP&A Act) provides that Act has effect subject to the provisions of Part 7 of the Biodiversity Conservation Act 2016 (BC Act).

Part 7 of the BC Act relates to Biodiversity assessment and approvals under the EP&A Act where it contains additional requirements with respect to assessments, consents and approvals under this Act.

The site is not identified as being of high biodiversity value on the Biodiversity Values Map and the proposal does not trigger the requirement for a biodiversity offset scheme.

The development would therefore not be considered to result in adverse impacts on biodiversity and is consistent with the provisions of the Biodiversity Conservation Act 2016.

2.1 SECTION 4.15(1)(A)(1) ANY ENVIRONMENTAL PLANNING INSTRUMENT

2.1.1 STATE ENVIRONMENTAL PLANNING POLICY NO. 55 – REMEDIATION OF LAND

7 Contamination and remediation to be considered in determining development application

The land is not identified as being contaminated on Council mapping. Earthworks are proposed and the proposal does comprise a change of use. The proposal is supported by a detailed site investigation (DSI) prepared by a suitably qualified consultant.

Council's Environment Officer has reviewed the proposal including the Stage II Detailed Site Investigation (DSI) prepared by Aargus Pty Ltd dated 14 July 2020. These reports found that site contains uncontrolled fill material that could be contaminated. The proposed multistorey development including 2 levels of basement car parking that involves in excavation of ground up to 9 metres below ground. The DSI has recommended that excavated material must be waste classified and disposed as per the classification and also that a Remedial Action Plan (RAP) be prepared.

Recommended conditions of consent are included in Attachment 7. These conditions include the requirement for Site remediation work to be undertaken in accordance with the recommendations of the report (including preparation of a Remediation Action Plan) and for a Site Validation Report to be submitted to Council prior to issue of the Construction Certificate.

Subject to the imposition of suitable conditions, no concerns are raised regarding contamination. The site can be made suitable as per the requirements of clause 7.

2.1.2 STATE ENVIRONMENTAL PLANNING POLICY NO 65—DESIGN QUALITY OF RESIDENTIAL APARTMENT DEVELOPMENT

SEPP 65 aims to deliver a better living environment for the residents within residential apartment developments and enhance the streetscapes and neighbourhoods in which these buildings are located. The development meets the definition of a 'residential flat building' as it is more than 3 storeys and comprises more than 4 dwellings. As such, the provisions of SEPP 65 apply. The proposal has been considered by Council's DRP in accordance with Clause 28 and Schedule 1, as discussed above.

A statement has been prepared by a Registered Architect addressing the requirements of SEPP 65 and was submitted with the application at lodgement accordance with Clauses 50(1A) & 50(1AB) of the Environmental Planning and Environment Regulation 2000. A revised statement was submitted with the amended plans.

Schedule 1 of SEPP 65 sets out the design quality principles for residential apartment development. These must be considered in the assessment of the proposal pursuant to clause 30(2)(a) of the Policy and are discussed below.

Principle 1: Context and neighbourhood character

The proposal is considered to be consistent with the desired future character of the area as identified through the development standards and controls applicable to the land.

Principle 2: Built form and scale

Whilst the development is significantly larger than adjoining developments and some others in the locality, the bulk and scale of the development is consistent with the applicable planning controls for the area. The development is not considered to be out of context with regard to the desired future character of the area and the likely impacts of the development on the locality and adjoining development. The design of the development is considered to positively contribute to the public domain and provide high level of amenity for the occupants by way of landscaped areas, private open space and the like.

Principle 3: Density

The density of the development complies with the maximum FSR permitted for the land. The development is not of a scale that is expected to place unreasonable strain on local infrastructure. Contributions applicable to the development will go towards local infrastructure and facilities. The site is well situated with regard to existing public open space and services.

Principle 4: Sustainability

The proposal is considered acceptable with regard to sustainable design as follows:
BASIX Certificates provided indicating minimum requirements are met.
A Site Waste Management and Minimisation Plan has been provided indicating recycling of materials from the demolished dwellings.
Louvres have been provided for climate control.
The proposal does not impact on any heritage items or environmentally sensitive areas
The proposal is an efficient use of land in a location that is close to services and public open space.

Principle 5: Landscape

The proposal provides suitable landscaped areas and communal open space that will improve the amenity of the occupants and soften the appearance of the development from adjoining properties and the public domain.

Principle 6: Amenity

The proposal meets the minimum requirements for solar access, private and communal open space, storage, visual and acoustic privacy, access and the like.

Principle 7: Safety

The proposal is satisfactory with regard to safety and security.

Principle 8: Housing diversity and social interaction

The proposal provides a mix of unit sizes and layouts appropriate to the locality.

Principle 9: Aesthetics

The proposal is considered to be of a high quality with regard to its appearance. A mixture of materials and finishes is provided and the bulk of the development is suitably articulated.

An assessment of the application against the Apartment Design Guide (*ADG*) is contained in Attachment 4. The proposal meets the objectives of the ADG.

2.1.3 STATE ENVIRONMENTAL PLANNING POLICY (INFRASTRUCTURE) 2007

Clause 45 Determination of development applications—other development

The application was referred to Endeavour Energy. Advice was received dated 19 June 2020 raising no objection to the proposal subject to certain recommendations and supporting information being forwarded the applicant

Clause 85 Development adjacent to rail corridors

The application was referred to Sydney Trains under the requirements of this clause given the site adjoins the rail corridor to the west a. Concurrence has been granted on 18 September 2020 subject to deferred commencement and operational conditions as outlined in Part 1.6.2 of this report.

Clause 86 Excavation in, above, below or adjacent to rail corridors

Under subclause (1) the application was referred to Sydney Trains given the site adjoins the rail corridor to the west and excavation for the basement construction is proposed. Concurrence was granted on 18 September 2020 subject to deferred commencement and operational conditions as outlined in Part 1.6.2 of this report. These conditions are included in the recommended conditions in Attachment 7.

Clause 87 Impact of rail noise or vibration on non-rail development

Approval is sought for residential accommodation and a centre-based childcare facility therefore this clause applies. Two acoustic reports have been provided by the application, both prepared by Acoustic, Vibration and Noise Pty Ltd, one report specifically deals with Clause 87 and the other report relates specifically to the proposed use as a childcare facility.

The railway corridor adjoins the western boundary of the site. An acoustic report has been provided in support of the application that addresses the Department of Planning's document titled 'Development near Rail Corridors and Busy Roads – Interim Guidelines' ('the guidelines'). The Acoustic report concludes that the development can comply with the noise and vibration requirements required by Clause 87 if the development is carried out in accordance with the recommendations and specifications outlined in the report. This will form a condition of consent.

It is noted that the acoustic reports have been considered by Council's Environment officer and found satisfactory subject to conditions.

The acoustic report concludes that the development can achieve the above levels and conditions are recommended to reflect this.

2.1.4 STATE ENVIRONMENTAL PLANNING POLICY (BUILDING SUSTAINABILITY INDEX: BASIX) 2004

The proposal is BASIX affected development to which this policy applies. In accordance with Schedule 1, Part 1, 2A of the Environmental Planning and Assessment Regulation 2000, a BASIX Certificate has been submitted in support of the application demonstrating that the proposed scheme achieves the BASIX targets.

The BASIX certificate was issued no earlier than 3 months before the date on which the development application was lodged.

2.1.5 STATE ENVIRONMENTAL PLANNING POLICY (AFFORDABLE RENTAL HOUSING) 2009

Part 3 of the SEPP outlines provisions for the retention of existing affordable rental housing. The development site incorporates 20 Belmore Street, which is currently occupied by a boarding house (student accommodation). This site was approved as student accommodation in 2011 (DA-2011/431). Prior to this use, the site was occupied by a dwelling house and a secondary dwelling.

Clause 49 of the SEPP states that Part 3 applies to buildings that:

> "…were low rental residential buildings as at 28 January 2000 and does not apply to any building that becomes a low-rental residential building after that date."

As the site was not used for the purpose of a boarding house until 2013 (when OC was issued), the provisions of Part 3 do not apply to the site and no further assessment is required under the SEPP.

2.1.6 STATE ENVIRONMENTAL PLANNING POLICY (EDUCATIONAL ESTABLISHMENTS AND CHILD CARE FACILITIES) 2017

Part 3 Early education and care facilities—specific development controls

22 Centre-based childcare facility—concurrence of Regulatory Authority required for certain development

The indoor and outdoor unencumbered space meet the requirements under the Regulations as outlined in Part 4 of Attachment 5, therefore concurrence of the Regulatory Authority is not required.

23 Centre-based childcare facility—matters for consideration by consent authorities

The applicable provisions of the Child Care Planning Guidelines have been considered as outlined in Attachment 5.

25 Centre-based childcare facility—non-discretionary development standards

Noted

(b) indoor or outdoor space

Indoor and outdoor space requirements are satisfied as noted under Clause 22 above.

(c) site area and site dimensions—the development may be located on a site of any size and have any length of street frontage or any allotment depth,

Noted

(d) colour of building materials or shade structures—the development may be of any colour or colour scheme unless it is a State or local heritage item or in a heritage conservation area.

Noted – the site is not a State or local heritage item nor is it within a heritage conservation area.

26 Centre-based childcare facility—development control plans

An assessment of the proposal against the childcare planning guidelines forms Attachment 5. An assessment of the proposal under Chapter C5 Child Care Centres Wollongong DCP 2009 forms Attachment 6 and excludes the provisions that do not apply under this clause.

Issues relating to childcare facility

1. Building Code of Australia (BCA) / National Construction Code (NCC)

Recent changes to the BCA mean that the deemed to satisfy (DTS) provisions relating to egress from a childcare facility do not apply if the facility is located above ground level. The applicant was asked to address this issue and provide a report identifying that the proposed development could achieve the performance requirements of the BCA. A fire engineering report prepared by Innova Services dated 23 October has been provided which concludes that a Performance Solution can be achieved to meet the requirements of the BCA. The report identifies the solution to comprise various measures, including the number of exits, the exit travel distances and the provision of a 'safe haven' within the childcare centre that opens onto the fire-isolated exit, the preparation of an emergency Evacuation Plan and other fire safety systems. The report notes that the proposed Performance Solution will be subject to a referral to Fire and Rescue NSW for their endorsement.

A condition is included in Attachment 7 for the development to comply with the recommendations of this report. The endorsement of this Performance Solution by Fire and Rescue NSW will be required prior to issue of a Construction Certificate and submitted to the Principal Certifier and Council.

2.1.7 WOLLONGONG LOCAL ENVIRONMENTAL PLAN 2009

Clause 1.4 Definitions

shop top housing means one or more dwellings located above ground floor retail premises or business premises.
Note. Shop top housing is a type of ***residential accommodation***—see the definition of that term in this Dictionary.
residential accommodation means a building or place used predominantly as a place of residence, and includes any of the following—
(a) attached dwellings,
(b) boarding houses,
(c) dual occupancies,
(d) dwelling houses,
(e) group homes,
(f) hostels,
(g) multi dwelling housing,
(h) residential flat buildings,
(i) rural workers' dwellings,
(j) secondary dwellings,
(k) semi-detached dwellings,
(l) seniors housing,
(m) shop top housing,

but does not include tourist and visitor accommodation or caravan parks.

centre-based childcare facility means—

(a) a building or place used for the education and care of children that provides any one or more of the following—
(i) long day care,
(ii) occasional childcare,
(iii) out-of-school-hours care (including vacation care),
(iv) preschool care, or
(b) an approved family day care venue (within the meaning of the *Children (Education and Care Services) National Law (NSW)*),

Note.

An approved family day care venue is a place, other than a residence, where an approved family day care service (within the meaning of the *Children (Education and Care Services) National Law (NSW)*) is provided.

but does not include—

(c) a building or place used for home-based childcare or school-based childcare, or
(d) an office of a family day care service (within the meanings of the *Children (Education and Care Services) National Law (NSW)*), or
(e) a babysitting, playgroup or child-minding service that is organised informally by the parents of the children concerned, or
(f) a child-minding service that is provided in connection with a recreational or commercial facility (such as a gymnasium) to care for children while the children's parents are using the facility, or
(g) a service that is concerned primarily with providing lessons or coaching in, or providing for participation in, a cultural, recreational, religious or sporting activity, or providing private tutoring, or

(h) a child-minding service that is provided by or in a health services facility, but only if the service is established, registered or licensed as part of the institution operating in the facility.

Part 2 Permitted or prohibited development

Clause 2.2 – zoning of land to which Plan applies

The zoning map identifies the land as being zoned B3 Commercial Core.

Clause 2.3 – Zone objectives and land use table

The objectives of the zone are as follows:

- *To provide a wide range of retail, business, office, entertainment, community and other suitable land uses that serve the needs of the local and wider community.*
- *To encourage appropriate employment opportunities in accessible locations.*
- *To maximise public transport patronage and encourage walking and cycling.*
- *To strengthen the role of the Wollongong city centre as the regional business, retail and cultural centre of the Illawarra region.*
- *To provide for high density residential development within a mixed use development if it—*
- *(a) is in a location that is accessible to public transport, employment, retail, commercial and service facilities, and*
  (b) contributes to the vitality of the Wollongong city centre.

The proposal is satisfactory with regard to the above objectives.

The land use table permits the following uses in the zone.

2 Permitted without consent
Building identification signs; Business identification signs

3 Permitted with consent
Advertising structures; Amusement centres; Boarding houses; Car parks; ***Centre-based child care facilities****; Commercial premises; Community facilities; Educational establishments; Entertainment facilities; Exhibition homes; Function centres; Helipads; Hostels; Hotel or motel accommodation; Information and education facilities; Medical centres; Oyster aquaculture; Passenger transport facilities; Places of public worship; Recreation areas; Recreation facilities (indoor); Recreation facilities (outdoor); Registered clubs; Respite day care centres; Restricted premises; Roads; Self-storage units; Seniors housing; Service stations; Sex services premises;* ***Shop top housing****; Tank-based aquaculture; Tourist and visitor accommodation; Veterinary hospitals; Wholesale supplies*

4 Prohibited
Pond-based aquaculture; Any other development not specified in item 2 or 3

The proposal is categorised as ***shop top housing***, ***centre-based childcare facility*** and ***commercial premises*** as defined above which are permissible in the zone with development consent.

Clause 2.7 Demolition requires development consent

Demolition is sought under the current application and suitable conditions will be imposed.

Part 4 Principal development standards

Clause 4.3 Height of buildings

The proposed building height of 58.835m (RL70.7) does not exceed the maximum of 60m permitted for the site.

Clause 4.4A Floor space ratio – Wollongong city centre

Site area = 1721.5m^2

Calculation of maximum FSR permitted:

(3) For land within Zone B3 Commercial Core with a site area equal to or greater than 800 square metres and less than 2,000 square metres and a street frontage equal to or greater than 20 metres, the maximum floor space ratio for any building on that site is—

(a) $(2 + 1.5X):1$ —if the building is used only for residential purposes, or

(b) $(3.5 + 2.5X):1$ —if the building is used only for purposes other than residential purposes,

where—

X is $(\text{the site in square metres} - 800) / 1200$.

X = 0.768 (1,721.5 – 800 / 1,200)

(a) = (2 + 1.5 x 0.768) = 3.152

(b) = (3.5 + 2.5 x 0.768) = 5.42

Residential (4.4A(3)(a)): **RFSR = 3.152:1**

Commercial (4.4A(3)(b)): **NRFSR = 5.42:1**

(4) The maximum floor space ratio for a building on land within a business zone under this Plan, that is to be used for a mixture of residential purposes and other purposes, is—

$(NRFSR \times NR / 100) + (RFSR \times R / 100):1$

where—

NR is the percentage of the floor space of the building used for purposes other than residential purposes. (29%)

NRFSR is the maximum floor space ratio determined in accordance with this clause if the building was to be used only for purposes other than residential purposes. (5.42)

R is the percentage of the floor space of the building used for residential purposes. (71%)

RFSR is the maximum floor space ratio determined in accordance with this clause if the building was to be used only for residential purposes. (3.152)

(NRFSR x NR/100) + (RFSR x R/100):1
= (5.42 x 0.29) + (3.152 x 0.71):1
= 1.57 + 2.24 = 3.81:1

Maximum FSR permitted = 3.81:1 (6558.9m^2)

GFA proposed:	Total: 6539m^2
	Residential: 4669m^2 (71%)
	Commercial (incl CCC): 1870m^2 (29%)
FSR proposed:	6539 /1721.5m^2 = **3.798 - complies**

<u>Clause 4.5 Calculation of floor space ratio and site area</u>

The FSR and site area has been calculated in accordance with this clause.

Part 5 Miscellaneous provisions

<u>Clause 5.10 Heritage conservation</u>

The site is not a heritage item or within the heritage conservation area and there are no heritage items within the vicinity of the site (nearest items are over 100m away to the west on Robinson Street).

Part 7 Local provisions – general

Clause 7.1 Public utility infrastructure

The development is already serviced by electricity, water and sewage services.

Conditions will be imposed upon the development consent requiring approval from the relevant authorities for the connection of electricity, water and sewage to service the site.

Clause 7.3 Flood planning area

The site is identified as being flood affected and the provisions of this clause apply. The matters under subclause 3 of this clause have been considered by Council's Stormwater Engineer and have been found satisfactory subject to conditions. The proposal is satisfactory with regard to the objectives of this clause.

Clause 7.5 Acid Sulfate Soils

The proposal is identified as being affected by class 5 acid sulphate soils. An acid sulphate soils management plan is not required under subclause (3) noting that the Stage 1 Preliminary Site Investigation identifies there is no known occurrence of ASS.

Clause 7.6 Earthworks

The proposal comprises excavation for two levels of basement car parking. Subject to appropriate protection of adjoining property during construction, suitable removal and disposal of any hazardous fill material, the earthworks are not expected to have a detrimental impact on environmental functions and processes, neighbouring uses or heritage items and features surrounding land.

Clause 7.13 Certain land within business zones

The proposal provides an active use at ground floor level on the Belmore Street frontage in accordance with this control. The provisions of subclause (3) are satisfied as the ground floor will not be used for the purpose of residential accommodation and there is at least one entrance and windows along the main frontage of the site.

Clause 7.18 Design excellence in Wollongong city centre and at key sites

The requirements of this clause have been considered. The proposal is consistent with the provisions for design excellence as follows:

- The site is suitable for the development
- The use is compatible with the existing and likely future uses in the locality
- There are no heritage restrictions or impacts
- The proposal is not expected to result in any adverse environmental impacts.
- The proposal is satisfactory with regard to access, servicing and parking (subject to revised plans being submitted to address Level 1 manoeuvrability)
- No impacts are expected on the public domain.

Part 8 Local provisions—Wollongong city centre

Clause 8.1 Objectives for development in Wollongong city centre

The proposal is satisfactory with regard to these objectives.

Clause 8.4 Minimum building street frontage

Both frontages of the site exceed the 20m street frontage requirement under this clause, with Belmore Street frontage being 40m, and Victoria Street 36m (both measurements exclude the splay corner)

Clause 8.6 Building separation within Zone B3 Commercial Core or Zone B4 Mixed Use

(1) The objective of this clause is to ensure sufficient separation of buildings for reasons of visual appearance, privacy and solar access.

The site adjoins the rail corridor to the west and has frontage to Victoria and Belmore Streets. The rail corridor and road reserve widths achieve the building separation requirements to the west, north and east, meaning building separation to the south is the only interface requiring consideration under this clause.

(2) Buildings on land within Zone B3 Commercial Core or B4 Mixed Use must be erected so that—

(a) there is no separation between neighbouring buildings up to the street frontage height of the relevant building or up to 24 metres above ground level whichever is the lesser, and

Under subclause (5), ***street frontage height*** *means the height of that part of a building that is built to the street alignment.* A 1m boundary setback to the site's southern boundary is proposed at ground and mezzanine levels for the purpose of providing a drainage swale. Despite this 1m setback, the building achieves a zero (0m) building separation at the Belmore Street frontage meaning nil separation is achieved to the *street frontage height* in accordance with subclause 2(a). This is shown in Figures 5 and 6 below:

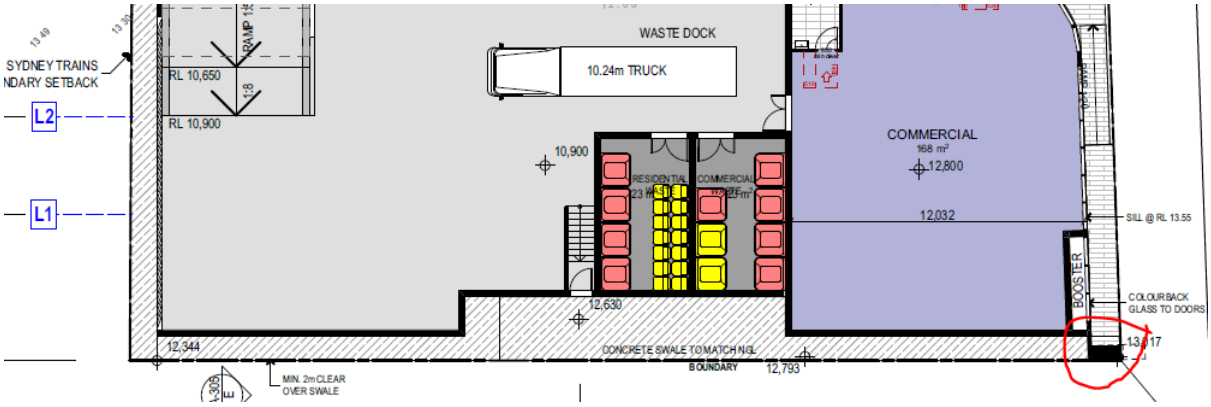

Figure 5: (part) ground floor plan showing location of drainage swale along southern boundary and extension of building façade to southern boundary on Belmore Street frontage

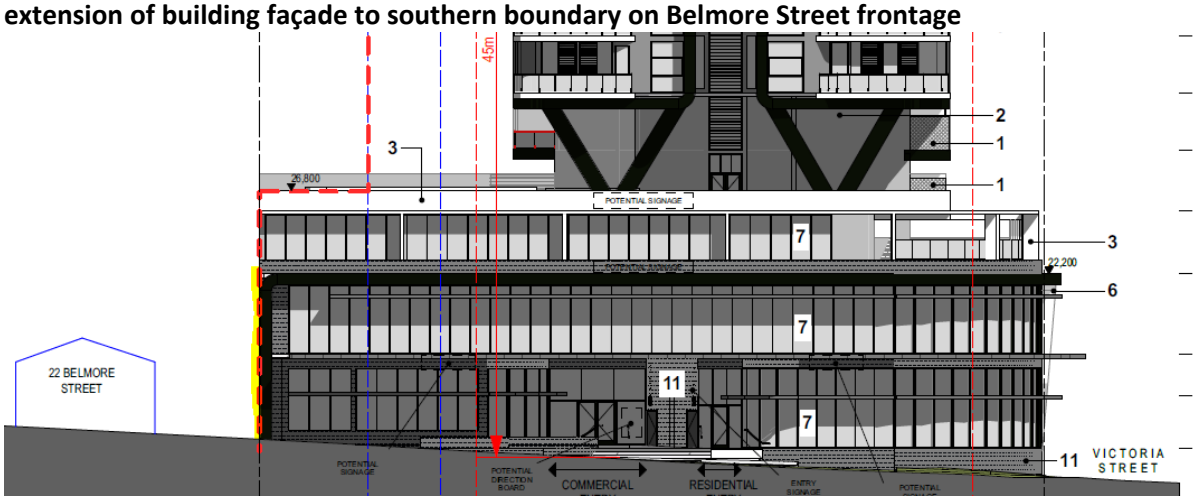

Figure 6: (part) Belmore Street elevation showing façade extends to southern boundary at ground and mezzanine levels (i.e. false wall with drainage swale behind).

Levels 1 & 2 have a zero (0m) separation to the southern boundary within the street frontage height

which is compliant.

(b) there is a distance of at least 12 metres from any other building above the street frontage height and less than 45 metres above ground level, and

N/A – refer subclause (3) as the building above the street frontage height contains dwellings.

(c) there is a distance of at least 28 metres from any other building at 45 metres or higher above ground level.

N/A – as above

(3) Despite subclause (2), if a building contains a dwelling, all habitable parts of the dwelling including any balcony must not be less than—

(a) 20 metres from any habitable part of a dwelling contained in any other building, and
(b) 16 metres from any other part of any other building.

Adjoining development to the south:

- 22 Belmore St - single storey dwelling directly adjoins the site
- 24 Belmore St further south is an approved sex services premises, also single storey.
- To the south further along Belmore Street are buildings are currently 1-2 storeys in height.

There are no dwellings within the podium of the proposed building, therefore subclause (3)(a) applies to L3 and above.

A 14m separation distance to the southern boundary is proposed from Level 4 and above. This allows for the required 20m separation distance to be achieved by sharing the 20m distance equitably between neighbouring sites (i.e. 10m setbacks) should the adjoining southern sites be redeveloped in a similar manner (subject to amalgamation).

(4*) For the purposes of this clause, a separate tower or other raised part of the same building is taken to be a separate building.*

N/A
(5) In this clause—

street frontage height *means the height of that part of a building that is built to the street alignment.*

2.2 SECTION 4.15(1)(A)(II) ANY PROPOSED INSTRUMENT

None applicable.

2.3 SECTION 4.15(1)(A)(III) ANY DEVELOPMENT CONTROL PLAN

2.3.1 WOLLONGONG DEVELOPMENT CONTROL PLAN 2009

A full assessment of the proposal under the DCP forms Attachment 6. Variations are discussed below.

CHAPTER A1 – INTRODUCTION

8 Variations to development controls in the DCP

<u>Chapter C5 Child Care centres</u>

- Part 7.6 Car parking access and pedestrian safety.

The objectives of this part are:

(a) To ensure a safe environment for pedestrians, motorists and cyclists in and around childcare centres;

(b) To ensure that vehicular access arrangements into and from the car parking area do not detrimentally affect the traffic flow or safety of roads in the surrounding road network; and

(c) To ensure that suitable parking arrangements are provided on-site for staff, parents, visitors and emergency or service vehicles.

(a) The control being varied;

Under 7.6.2(10), the use of tandem or stacked parking will not be supported

(b) The extent of the proposed variation and the unique circumstances as to why the variation is requested; and

The level 1 car park proposes six (6) x staff car spaces in a stacked arrangement, as shown below:

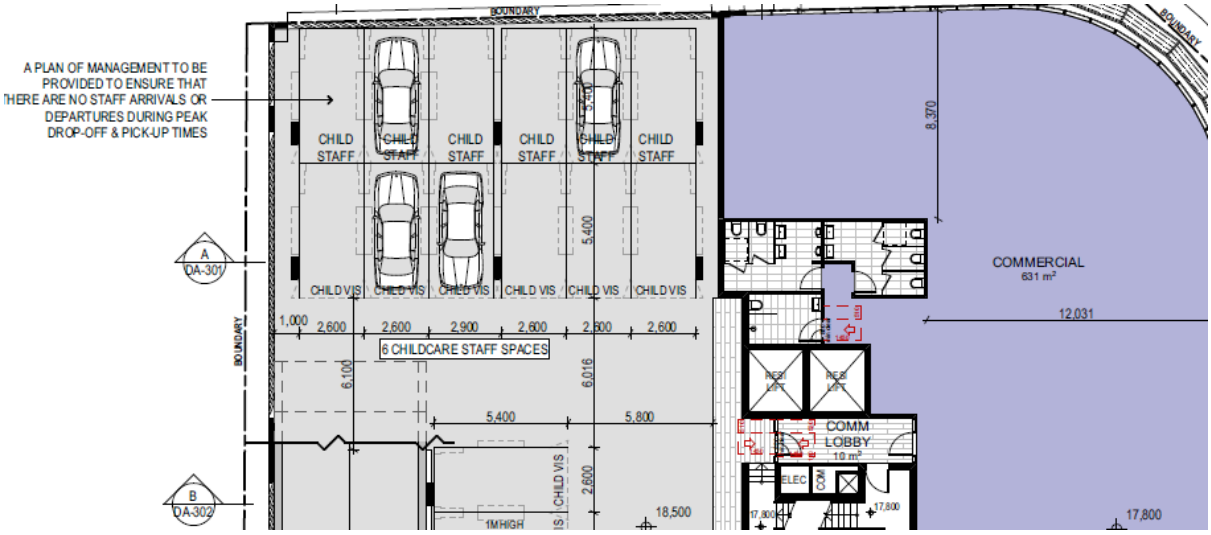

Figure 8: (part) Level 1 floor plan showing stacked car spaces for child care staff

(c) Demonstrate how the objectives are met with the proposed variations; and

As the staff spaces are typically utilised for a work day, conditions can be imposed requiring the staff to fill these spaces first prior to the centre opening. As the visitor spaces are only occupied for short periods of time, the conflicts arising from access to these spaces are minimal. Council's Traffic Engineer has not raised an objection to this arrangement as proposed.

(d) Demonstrate that the development will not have additional adverse impacts as a result of the variation.

Subject to the imposition of suitable conditions, the stacked parking arrangement can provide the requisite number of car spaces without inconveniencing staff or visitors. The objectives of this part are satisfied and a variation is supported.

<u>Chapter D13 – Wollongong City Centre</u>

- Part 2.5 Side and rear building setbacks and building separation

The ADG provisions for building separation prevail under Part 3F therefore the proposed variations to side setbacks in relation to visual privacy impacts are not discussed under this part of the DCP.

The objectives of Part 2.5 are:

a) To ensure an appropriate level of amenity for building occupants in terms of daylight, outlook, view sharing, ventilation, wind mitigation, and privacy.

b) To achieve usable and pleasant streets and public domain areas in terms of wind mitigation and daylight access.

In the B3 commercial core zone , habitable rooms between the street frontage height requires a minimum 12m side setback, and 14m above 45m in height.

The proposed western setbacks are 4.5m in the northern portion of the tower and 9.965m for the southern portion of the tower, as shown in Figure 7 below:

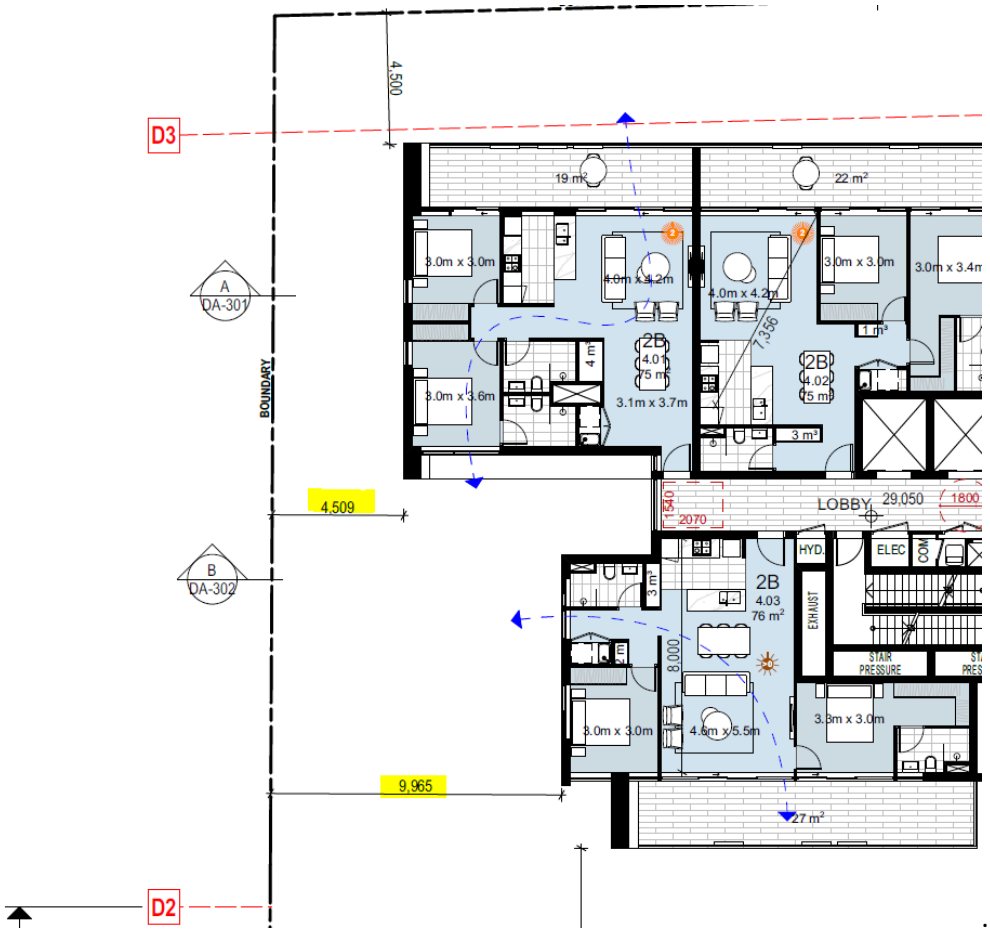

Figure 7: (part) Floor plan showing setbacks to western boundary (rail corridor)

The above setbacks apply to all residential levels, between Level 3 and the roof level.

The western elevation has been designed defensively, given the site adjoins the rail corridor. The northern portion of the tower originally proposed blank walls, however tall slender windows were introduced to provide a more interesting western elevation and reduce the apparent building bulk. The inclusion of these windows will improve daylight and outlook for occupants. A similar design applies to the bedrooms in the southern tower (highlight windows). With the recommendations of the acoustic report being implemented, noise impacts from the rail corridor to these habitable room windows can be reasonably managed. The reduced setbacks do not compromise amenity impacts under objective (a).

The broad northern elevation may lead to some additional impacts on daylight access to Belmore Street, however the generous setbacks to the southern boundary lead to reduced overshadowing. On balance, the reduced setbacks are considered acceptable and a variation is supported given that the objectives are satisfied.

<u>Chapter E3 – Car parking and Access, Servicing/ Loading Facilities and Traffic Management</u>

Schedule 1 requires that the number of car spaces for childcare staff is 1 space per staff member. 20 staff are proposed with 17 staff car spaces provided, therefore the development is deficient by 3 car spaces.

A variation is sought and has been justified within the Traffic Report prepared by Varga Traffic Planning Pty Ltd.

Under Part 7.4 of this chapter, parking waivers can be considered for the childcare facility component of the development. In the city centre, the parking waiver allows - 'a 30% reduction due to increased access to public parking and public transport'. The site is within two (2) public parking areas, within 550m of the railway station and within 400m of a bus stop. The traffic report submitted with the application identified that the 30% reduction could be applied. The proposed reduction in the provision of staff parking from 20 spaces to 17 was considered by Council's Traffic Engineer and found acceptable.

2.3.2 WOLLONGONG CITY WIDE DEVELOPMENT CONTRIBUTIONS PLAN 2019

The estimated cost of works is $25,394,000 and as the site is within the Wollongong City Centre Commercial Core a levy of 2% is applicable under this plan. A condition for the payment of the applicable levy is included in Attachment 7.

2.4 SECTION 4.15(1)(A)(IIIA) ANY PLANNING AGREEMENT THAT HAS BEEN ENTERED INTO UNDER SECTION 7.4, OR ANY DRAFT PLANNING AGREEMENT THAT A DEVELOPER HAS OFFERED TO ENTER INTO UNDER SECTION 7.4

There are no planning agreements entered into or any draft agreement offered to enter into under S7.4 which affect the development.

2.5 SECTION 4.15(A)(IV) THE REGULATIONS (TO THE EXTENT THAT THEY PRESCRIBE MATTERS FOR THE PURPOSES OF THIS PARAGRAPH)

92 What additional matters must a consent authority take into consideration in determining a development application?

Conditions of consent are recommended with regard to demolition.

2.6 SECTION 4.15(1)(B) THE LIKELY IMPACTS OF DEVELOPMENT

Subject to the traffic issues being resolved, there are not expected to be adverse environmental impacts on either the natural or built environments or any adverse social or economic impacts in the locality.

This is demonstrated through the following:

- The proposal is satisfactory with regard to the applicable planning controls as detailed in the body of this report and the relevant attachments.
- Submissions raised following notification would not preclude the development.
- Internal and external referrals are satisfactory subject to appropriate conditions of consent

2.7 SECTION 4.15(1)(C) THE SUITABILITY OF THE SITE FOR THE DEVELOPMENT

Does the proposal fit in the locality?

The proposal is considered appropriate with regard to the zoning of the site and is not expected to have any negative impacts on the amenity of the locality or adjoining developments.

Are the site attributes conducive to development?

There are no site constraints that would prevent the proposal.

2.8 SECTION 4.15(1)(D) ANY SUBMISSIONS MADE IN ACCORDANCE WITH THIS ACT OR THE REGULATIONS

Refer Part 1.3

2.9 SECTION 4.15(1)(E) THE PUBLIC INTEREST

The application is not expected to have any unreasonable impacts on the environment or the amenity of the locality. It is considered appropriate with consideration to the zoning and the character of the area and is considered to be in the public interest.

3 CONCLUSION

This application has been assessed as satisfactory having regard to the Heads of Consideration under Section S4.15(1) of the Environmental Planning and Assessment Act 1979, the provisions of Wollongong Local Environmental Plan 2009 and all relevant Council DCPs, Codes and Policies, with the exception of unresolved vehicle manoeuvring issues on Level 1.

As the vehicle manoeuvring is the only outstanding issue with the proposed development, in the circumstances it is reasonable to require the submission of revised plans by the applicant to address this specific issue prior to determination. Where this issue is satisfactorily resolved, the proposed development is a suitable mixed use development within the zone, reasonably responding to the constraints of the site and also responding to the Design Review Panel comments.

Internal and external referrals are satisfactory. The submissions have been considered in the assessment of the application and the issues raised do not warrant refusal of the application.

4 RECOMMENDATION

It is recommended that:

1. The WLPP delegate determination of the development application DA-2019/1290 to the Manager Development Assessment and Certification subject to the matters outlined below.
2. Revised plans be submitted to address the issue of vehicle manoeuvrability within the Level 1 car parking area as outlined in Part 1.6 of this report.
3. A deferred commencement consent be issued generally in accordance with the conditions outlined in Attachment 7 (and subject to any changes arising from revised plans and suitable Traffic conditions).

Attachments

1 Aerial photograph and WLEP 2009 zoning map

2 Plans

3 DRP commentary

4 ADG Assessment

5 Child Care Guidelines Assessment

6 Wollongong DCP 2009 Assessment

7 Recommended conditions of consent

Attachment 1: WLEP zoning map, aerial photo and site photo

Figure a: WLEP zoning map

Figure b: Aerial photo

Figure c: Site photo

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Notes
1. CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK OR PREPARING SHOP DRAWINGS.
2. DO NOT SCALE DRAWINGS.
3. CONTRACTOR TO CHECK UNDERGROUND SERVICES BEFORE COMMENCING WORKS BY CONTACTING DIAL BEFORE YOU DIG. IF DIAL BEFORE YOU DIG INFORMATION IS PROVIDED WITH THIS DOCUMENTATION IT SHALL BE ASSUMED NOT TO BE CURRENT AND CONTRACTOR SHALL MAKE THEIR OWN ENQUIRES.

SITE AREA

1,721.5 m²

GFA	**FSR**
6,539 m²	3.80 : 1

COMMERCIAL GROSS FLOOR AREA

1,870 m²

Commercial		*1,144.00 m²*
Retail		*0.00 m²*
Childcare	*100 Children*	*726.00 m²*

RESIDENTIAL UNITS

50

Studio	*0*	0%
1bed	*5*	*10%*
2bed	*36*	*72%*
3bed	*7*	*14%*
4bed	*2*	*4%*

TOTAL CARPARKING

114

TOTAL BICYCLE PARKING

30.0

Commercial Staff	*6.0*
Commercial Visitor	*2.0*
Residents	*17.0*
Residential Visitor	*5.0*

Compliance

CONTROL		REQUIREMENT		PROPOSED		COMPLIES	
Floor Space Ratio		3.80 : 1	MAX		3.80 : 1	✓	
including residential	*71.40%*	2.71 : 1	MAX		2.71 : 1	✓	
including commercial	*28.60%*	1.09 : 1	MAX		1.09 : 1	✓	
Gross Floor Area		6,542.5 m²	MAX		6,539.0 m²	✓	
including residential		4,671.5 m²	MAX		4,669.0 m²	✓	
including commercial		1,871.0 m²	MAX		1,870.0 m²	✓	
Building Height		60.00 m	MAX		59.10 m	✓	
Carparking							
Residential (ADG)		48.00	MIN		48.0	✓	
Residential Visitor (ADG)		10.00	MIN		10.0	✓	
Commercial		19.07	MIN		19.0	✓	
Commercial Visitor		0.00	MIN		0.0	✓	
Childcare Staff		20.00	MIN		17.0	✗	#
Childcare Visitors		19.67	MIN		20.0	✓	
Total		117	MIN		114.0	✗	#
Total (Using DCP for Resi Spaces)		118	MIN		114.0	✗	
Motorcycle Parking		5.68	MIN		6.0	✓	
Bicycle Parking		27.13	MIN		28.0	✓	
Solar Access (> 2hours)		70%	MIN	39	78%	✓	
No Solar Access (< 15 mins)		15%	MAX	0	0%	✓	
Cross Ventilation (1st 10 Storeys)		60%	MIN	23	77%	✓	
Adapatable Units							
Adaptable		10%	MIN	5	10%	✓	
Livable Housing Silver Level		20%	MIN	10	20%	✓	
Communal Open Space (DCP)		25%	MIN	811 m2	47.1%	✓	
Deep Soil		7%	MIN	154 m2	8.9%	✓	
Unit Storage	*1Bed*	6 m3	MIN		6 m3	✓	
(min. half in unit, remaining in	*2Bed*	8 m3	MIN		8 m3	✓	
basement)	*3Bed+*	10 m3	MIN		10 m3	✓	

Refer Traffic report for justification

Childcare Summary

CHILDREN

100

0-2 years old	*34*	34%
2-3 years olds	*38*	38%
3-6 years old	*28*	28%
6-12 years old	*0*	0%

STAFF

20.0

0-2 years old	*8.0*
2-3 years olds	*8.0*
3-6 years old	*3.0*
6-12 years old	*0.0*
Additional Staff	*1.0*

Childcare Compliance

CONTROL		REQUIREMENT		PROPOSED	COMPLIES
Qualified Staff to Children Ration (SEPP)					
	0-2 years old	1 staff / 4.0	8.5 MIN		
	2-3 years old	1 staff / 5.0	7.6 MIN		
	3-6 years old	1 staff / 10.0	2.8 MIN		
	6-12 years old	1 staff / 15.0	0.0 MIN		
	Additional Staff		1.0 MIN		
	Total		20 MIN	20.0	✓
Unencumbered Areas					
0-2 years old	*Indoor Area*	3.25m2 / 1 child	110.50 m2 MIN	115.00 m2	✓
	Outdoor Area	7.00m2 / 1 child	238.00 m2 MIN	241.00 m2	✓
2-3 years old	*Indoor Area*	3.25m2 / 1 child	123.50 m2 MIN	143.00 m2	✓
	Outdoor Area	7.00m2 / 1 child	266.00 m2 MIN	266.00 m2	✓
3-6 years old	*Indoor Area*	3.25m2 / 1 child	91.00 m2 MIN	93.00 m2	✓
	Outdoor Area	7.00m2 / 1 child	196.00 m2 MIN	197.00 m2	✓
6-12 years old	*Indoor Area*	3.25m2 / 1 child	0.00 m2 MIN	0.00 m2	✓
	Outdoor Area	7.00m2 / 1 child	0.00 m2 MIN	0.00 m2	✓
Total Unencumbered Space					
	Indoor Area	3.25m2 / 1 child	325.00 m2 MIN	351.00 m2	✓
	Outdoor Area	7.00m2 / 1 child	700.00 m2 MIN	704.00 m2	✓
Storage					
	Indoor Storage	0.20m2 / 1 child	20.0 MIN	22.0	✓
	Outdoor Storage	0.30m2 / 1 child	30.0 MIN	33.0	✓

Detailed Calculations

GROSS FLOOR AREA

	Commercial	Retail	Childcare		Residential
Basement 5					
Basement 4					
Basement 3					
Basement 2					
Basement 1					
Ground	503.0 m²				68.0 m²
Mezzanine	0.0 m²				
Level 1	641.0 m²		27.0 m²		
Level 2			699.0 m²		
Level 3					229.0 m²
Level 4					257.0 m²
Level 5					421.0 m²
Level 6					421.0 m²
Level 7					421.0 m²
Level 8					421.0 m²
Level 9					420.0 m²
Level 10					420.0 m²
Level 11					420.0 m²
Level 12					344.0 m²
Level 13					302.0 m²
Level 14					215.0 m²
Level 15					209.0 m²
Level 16					101.0 m²
	1,144.0 m²	0.0 m²	726.0 m²	0.0 m²	4,669.0 m²
				Total	**6,539.0 m²**
	1375	0	643		

UNITS QTY / ~~SERVICED APART. QTY~~ / **CARPARKING PROVIDED** / **ADG CALCULATIONS**

	Studio	1Bed	1Bed + Study	2Bed	2 Bed + Study	3Bed	3 Bed + Study	4 Bed +	TOTAL Units per floor	~~1Bed/Studio~~	~~2Bed~~	Carparking Provided	Solar Access (>2 hrs)	Solar Access (< 15mins)	Cross Ventilated (1st 10 Storeys)
Basement 5															
Basement 4															
Basement 3															
Basement 2												22.00			
Basement 1												38.00			
Ground									*0*			7.00			
Mezzanine									*0*			21.00			
Level 1									*0*			26.00			
Level 2									*0*						
Level 3		1		1					*2*				2	0	1
Level 4				3					*3*				2	0	2
Level 5		1		3		1			*5*				4	0	4
Level 6		1		3		1			*5*				4	0	4
Level 7		1		3		1			*5*				4	0	4
Level 8		1		3		1			*5*				4	0	4
Level 9				5					*5*				4	0	4
Level 10				5					*5*				4	0	
Level 11				5					*5*				4	0	
Level 12				4					*4*				3	0	
Level 13				1		2			*3*				2	0	
Level 14								1	*1*				1	0	
Level 15						1		1	*2*				1	0	
Level 16									*0*					0	
	0	5	0	36	0	7	0	2		~~0~~	~~0~~	114.00	39	0	23
		5		36		7							78%	0%	77%
								Total	**50**	~~*Total*~~	~~**0**~~				

CAR PARKING

	Commercial per DCP				
Staff/Residents	19.1	0.0	20.0		39.1
Visitors			19.7		19.7
				Total	**58.7**

Residential per DCP					
0.0	3.8	36.0	7.0	2.5	49.3
					10.0
				Total	**59.3**

~~Serv. App. per DCP~~	
	~~0~~
~~0~~	~~0~~
~~*Total*~~	~~**0**~~

Residential per ADG					
0.0	3.0	32.4	9.8	2.8	48.0
					10.0
				Total	**58.0**

BICYCLES

Staff/Residents	1.5	0.0	3.6		
Visitors	1.1	0.0	0.0		
				Total	**6.3**

	16.7
	4.2
Total	**20.8**

MOTORCYCLE

	Commercial per DCP				
Staff/Residents	0.8	0.0	1.6		
Visitors					
				Total	**2.3**

Residential per DCP	
	3.3
Total	**3.3**

NOTES

1. Residential Parking: When using RMS CBD (SubRegional) rates referenced from the ADG rates, carparking spaces are calculated based on 0.6/Studio, 0.6/1Bed, 0.9/2Bed, 1.4/3Bed+, and Visitors at 1/5

2. Residential Parking: When using Development Control Plan rates, carparking spaces are calculated based on 0.75/Studio, 0.75/1Bed, 1/2Bed, 1/3Bed, 1/4Bed+, and Visitors at 1/5

3. Commercial Parking: When using Development Control Plan rates, carkparking space are calculated at 1/60m2

4. Bicycle spaces: When using 'DCP' rates, bicycle spaces are for Residents at a rate of 1/3 dwellings and visitors 1/12 dwellings. For commercial component 1/1000m2 GFA and staff at 1/750m2. For Childcare Centres 1/200m2 GFA

5. FSR: (NRFSR x NR/100) + (RFSR x R/100):1. Refer LEP Clause 4.4A (3) & (4)

6. Childcare Parking: 1/each staff and 1/6 children visitor spaces and 1 accessible space and 2 large spaces (3.2x5.5) for parents with strollers

Energy Rating — Certificate Number 15212574
- [ ] single-dwelling rating — 5.3 stars
- [X] multi-unit development (attach listing of ratings) — heating 35.8 MJ/m², cooling 23.4 MJ/m²
If selected, data specified is the average across the entire development

Recessed downlights confirmation: [ ] Rated with [X] Rated without

Assessor Name/Number Ved Baheti VIC/BDAV/13/1521

Assessor Signature — Date 03/08/2020

Rev	Description	Date	App'd
H	DA AMMENDMENT	16.10.20	MB
G	DA AMMENDMENT	02.10.20	MB

Project
16-20 Belmore Street Wollongong

16-18 BELMORE STREET
WOLLONGONG NSW Australia

URBAN LINK
Business Address: Level 10, 11-15 Deane Street, Burwood NSW 2134
Postal Address: PO BOX 2223 Burwood North NSW 2134
Phone Number: +61 29745 2014

Nominated Architects:
Ziad Boumelhem Reg no 8008
Youssef El Khawaja Reg no 8933 Nicolas Toubia Reg no 9336

Drawing Title
SITE
COVER

Checked/Approved

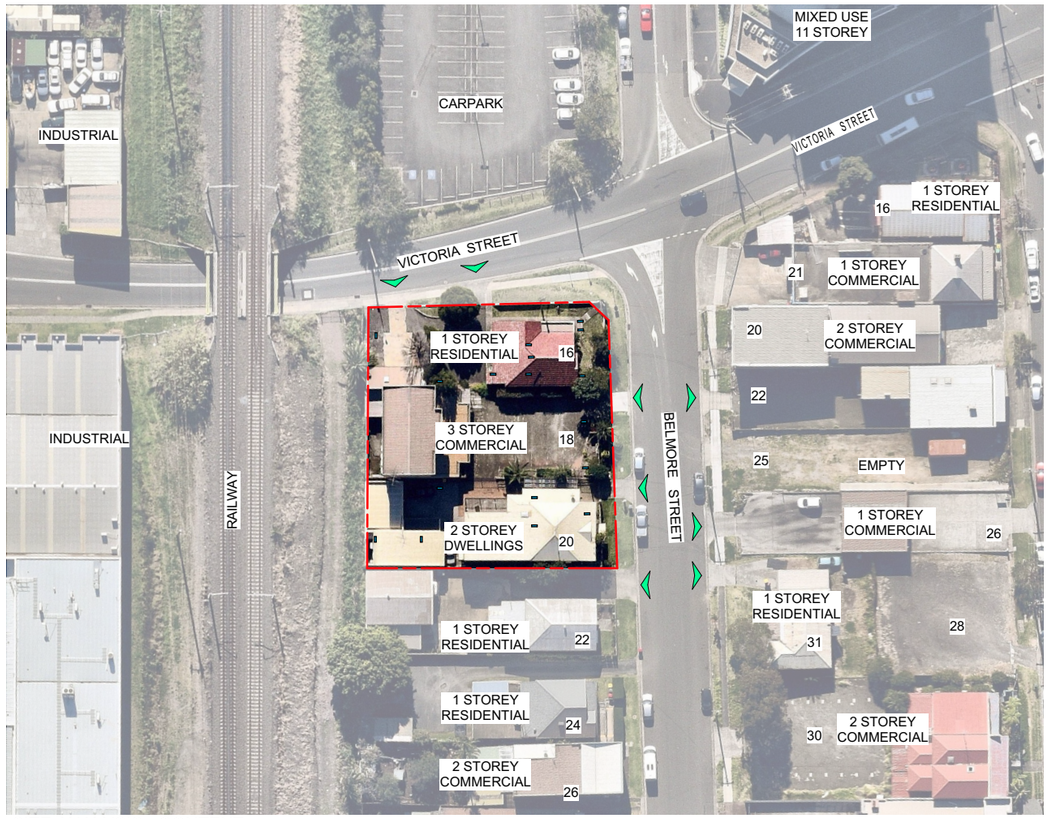
Scale
@A3 Sheet Size

Project Number **19055**
Drawing Number Revision **DA-000 H**
Status
DEVELOPMENT APPLICATION

2020-024 DA 16-20 Belmore Street Wollongong 23/10/202012:47 PM

SITE ANALYSIS - WIDER CONTEXT **SCALE 1:8000**

int.ref: 2020-024 DA 16-20 Belmore Street Wollongong



SITE ANALYSIS - CONTEXT **SCALE 1:1000**

int.ref: 2020-024 DA 16-20 Belmore Street Wollongong

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Notes
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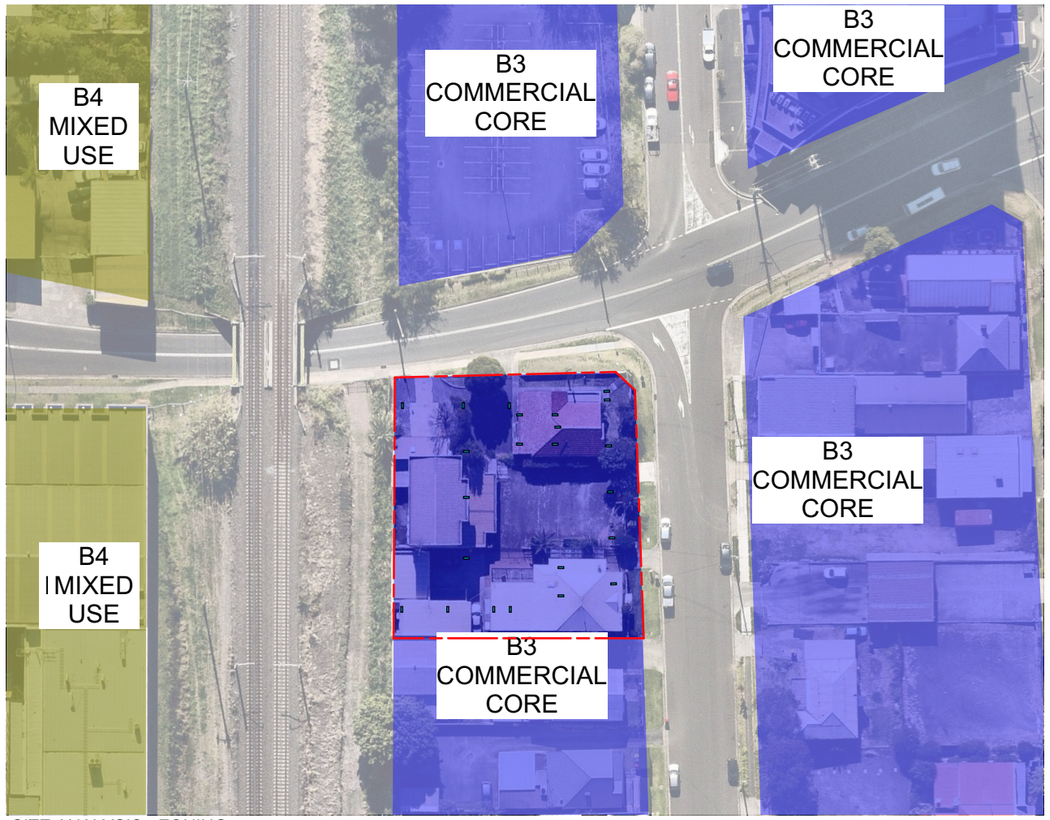
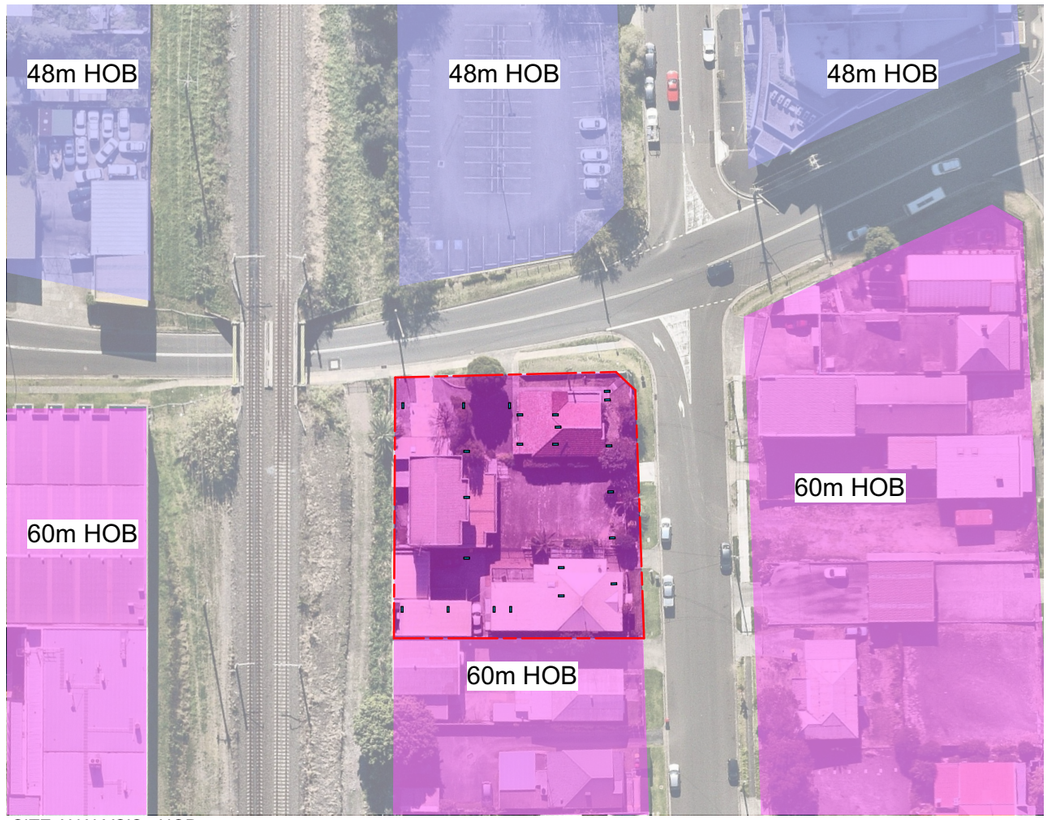
LEGEND
- PEDESTRIAN PATH
- TRAFFIC ROUTE
- EXISTING TRAFFIC ACCESS
- PROPOSED TRAFFIC ACCESS
- EXISTING PEDESTRIAN ACCESS
- PROPOSED PEDESTRIAN ACCESS



SITE ANALYSIS - ZONING **SCALE 1:1000**

int.ref: 2020-024 DA 16-20 Belmore Street Wollongong



SITE ANALYSIS - HOB **SCALE 1:1000**

int.ref: 2020-024 DA 16-20 Belmore Street Wollongong

Rev	Description	Date	App'd
H	DA AMMENDMENT	16.10.20	MB
G	DA AMMENDMENT	02.10.20	MB

Project
16-20 Belmore Street Wollongong

16-18 BELMORE STREET
WOLLONGONG NSW Australia

URBAN LINK
Business Address: Level 10, 11-15 Deane Street, Burwood NSW 2134
Postal Address: PO BOX 2223 Burwood North NSW 2134
Phone Number: +61 29745 2014

Nominated Architects:
Ziad Boumelhem Reg no 8008
Youssef El Khawaja Reg no 8933 Nicolas Toubia Reg no 9336

Drawing Title
SITE
SITE ANALYSIS SHEET 1

Checked/Approved

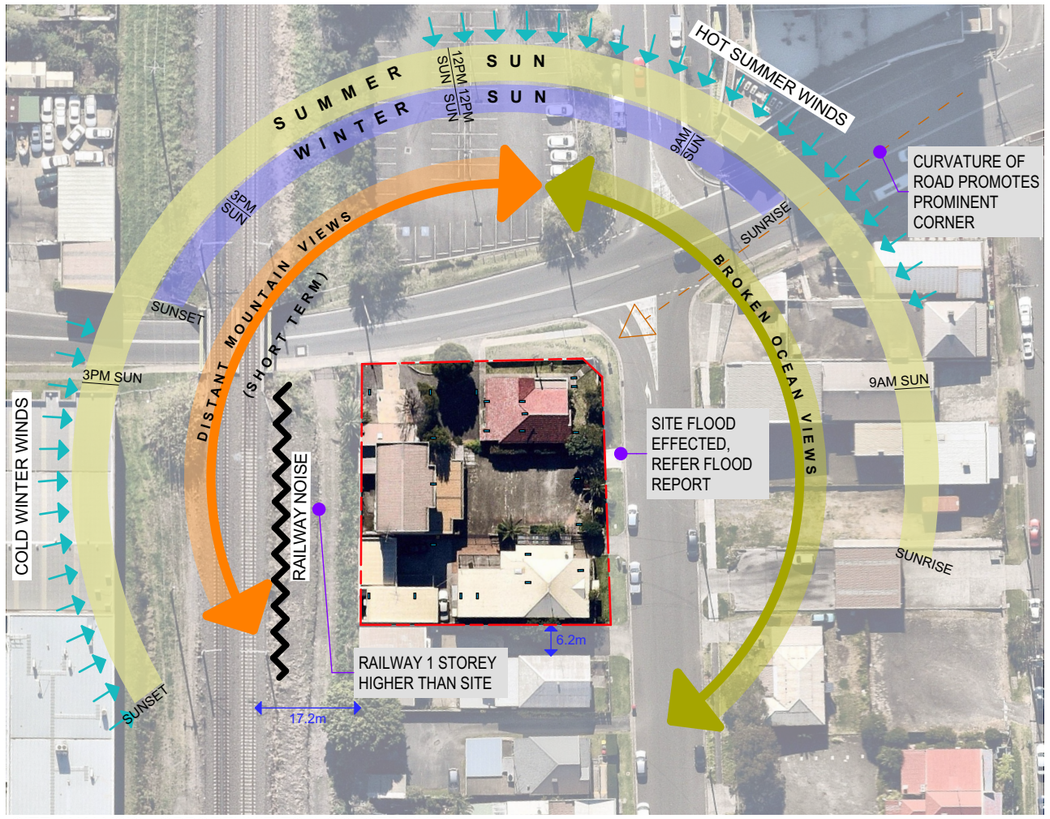
Scale
1:8000, 1:1000
@A3 Sheet Size

Project Number
19055

Drawing Number Revision
DA-001 H

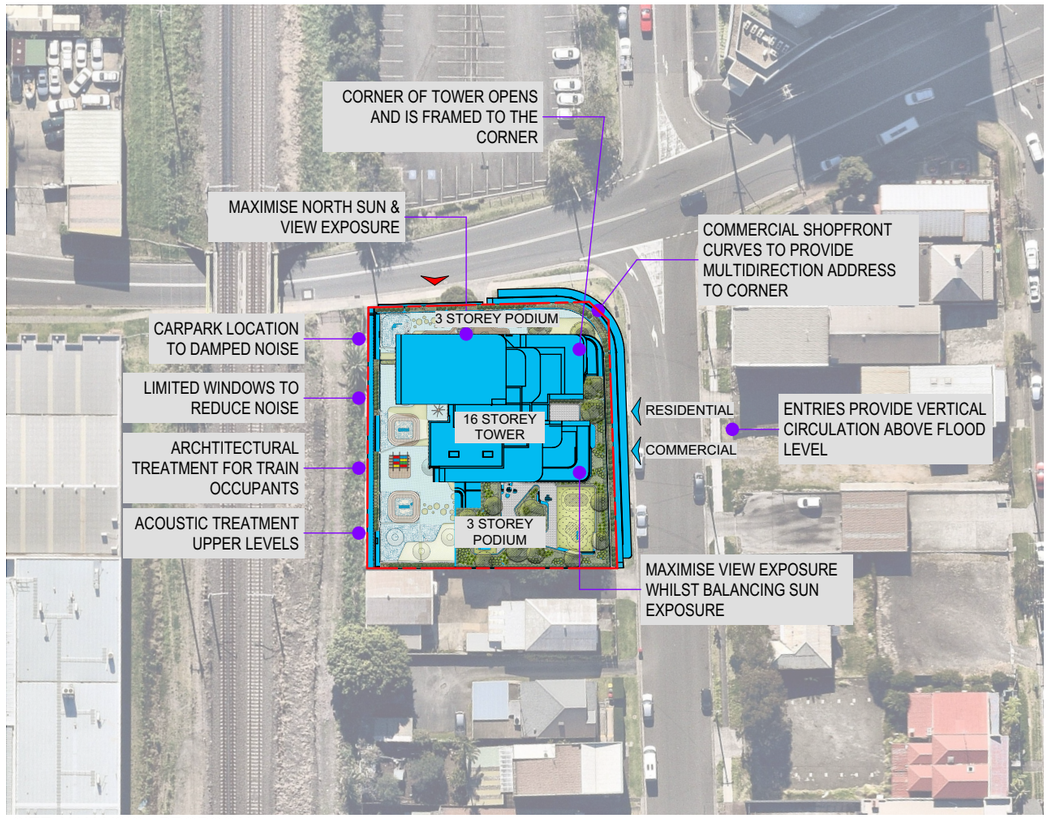
Status
DEVELOPMENT APPLICATION

2020-024 DA 16-20 Belmore Street Wollongong 23/10/202012:48 PM



SITE ANALYSIS - OPPORTUNITIES & CONSTRAINTS SCALE 1:1000

int.ref: 2020-024 DA 16-20 Belmore Street Wollongong



SITE ANALYSIS - PROPOSAL SCALE 1:1000

int.ref: 2020-024 DA 16-20 Belmore Street Wollongong

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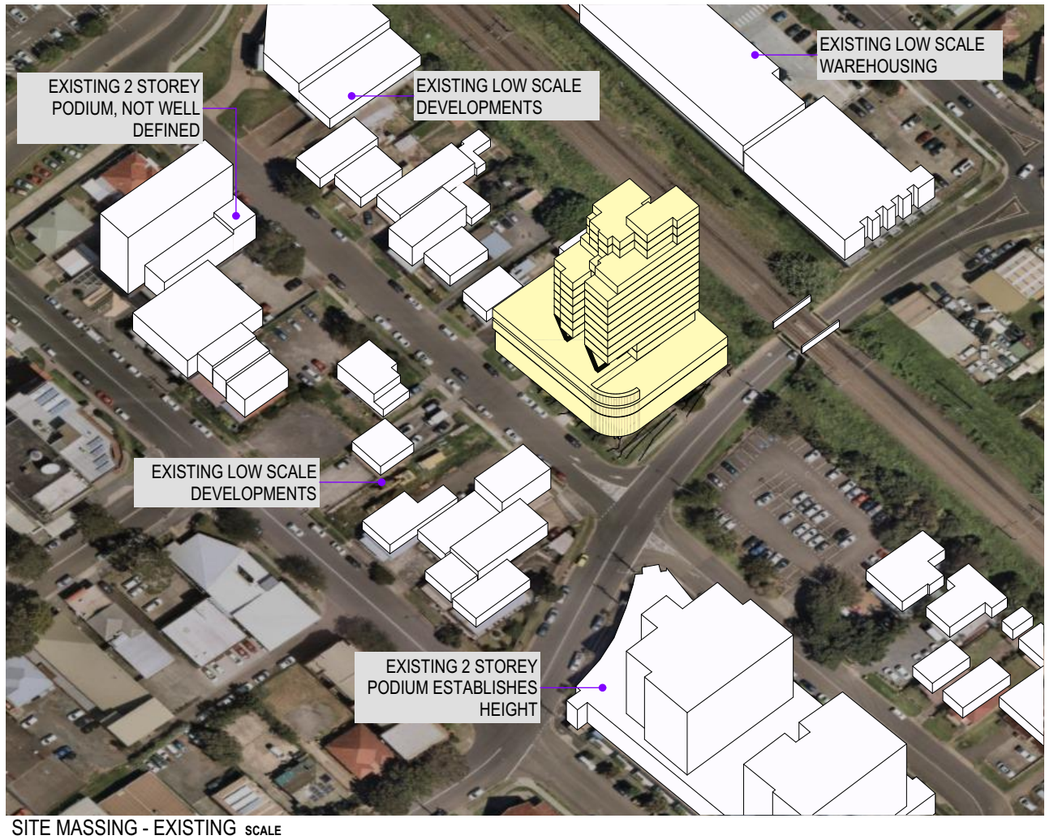
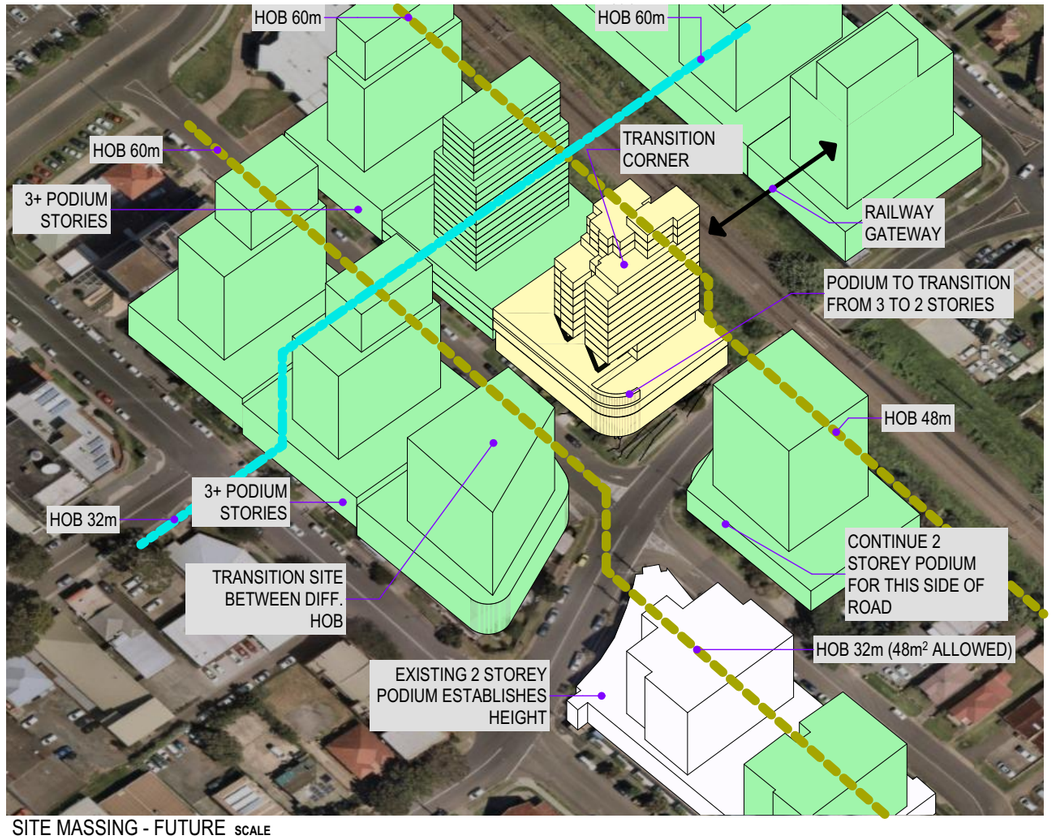
LEGEND
- PEDESTRIAN PATH
- TRAFFIC ROUTE
- EXISTING TRAFFIC ACCESS
- PROPOSED TRAFFIC ACCESS
- EXISTING PEDESTRIAN ACCESS
- PROPOSED PEDESTRIAN ACCESS



SITE MASSING - EXISTING SCALE

int.ref: 2020-024 DA 16-20 Belmore Street Wollongong



SITE MASSING - FUTURE SCALE

int.ref: 2020-024 DA 16-20 Belmore Street Wollongong

Rev	Description	Date	App'd
H	DA AMMENDMENT	16.10.20	MB
G	DA AMMENDMENT	02.10.20	MB

Project
16-20 Belmore Street Wollongong

16-18 BELMORE STREET
WOLLONGONG NSW Australia

URBAN LINK
Business Address: Level 10, 11-15 Deane Street, Burwood NSW 2134
Postal Address: PO BOX 2223 Burwood North NSW 2134
Phone Number: +61 29745 2014

Nominated Architects:
Ziad Boumelhem Reg no 8008
Youssef El Khawaja Reg no 8933 Nicolas Toubia Reg no 9336

Drawing Title
SITE
SITE ANALYSIS SHEET 2

Checked/Approved

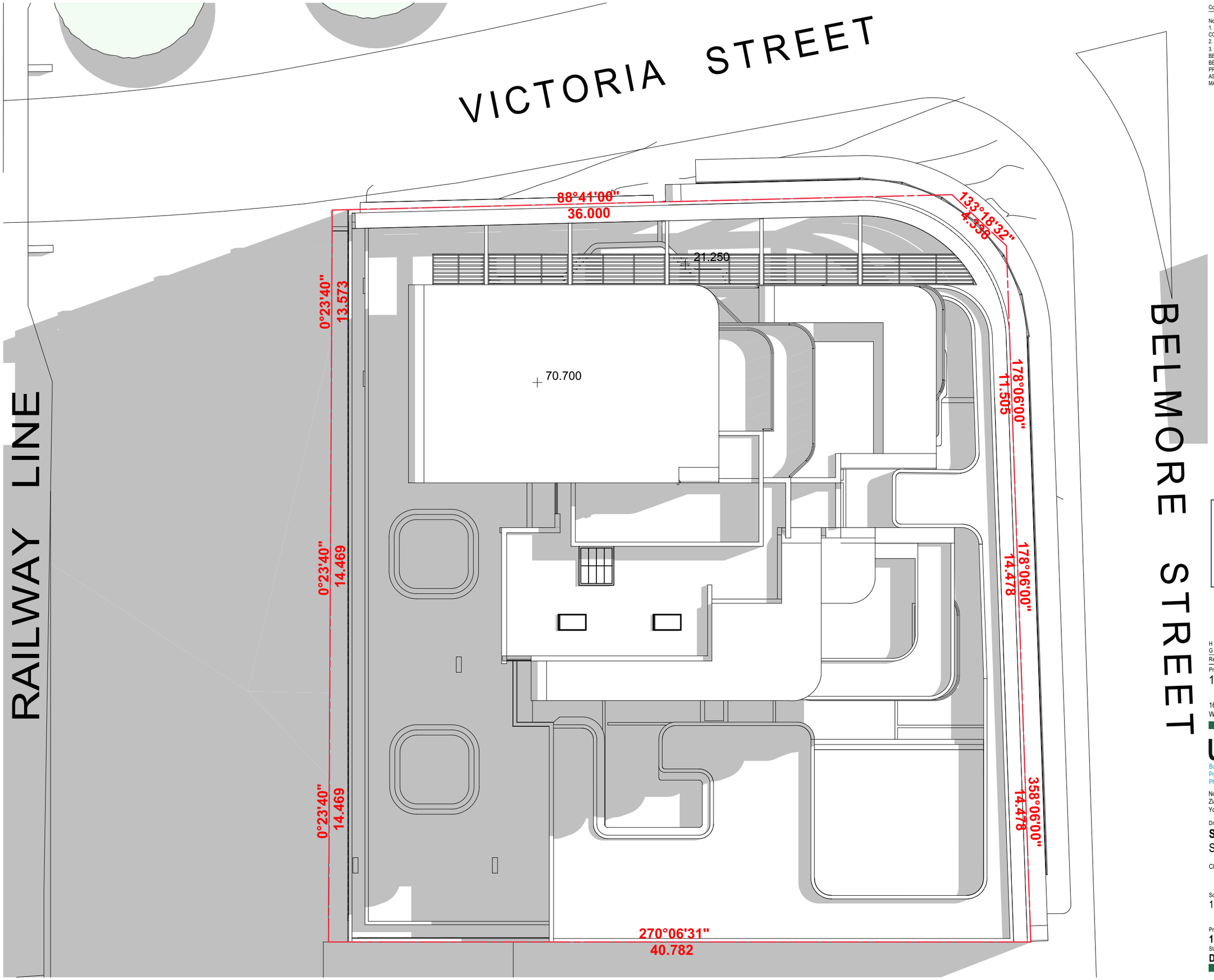
Scale
1:1000 @A3 Sheet Size

Project Number
19055

Drawing Number Revision
DA-002 H

Status
DEVELOPMENT APPLICATION

2020-024 DA 16-20 Belmore Street Wollongong 23/10/202012:48 PM



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Notes
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DIAL BEFORE YOU DIG 1100 www.dbyd.com.au

Energy Rating Certificate Number 15212574

☐ single-dwelling rating — 5.3 stars

☒ multi-unit development (attach listing of ratings) — heating 35.8 MJ/m² — cooling 23.4 MJ/m²
If selected, data specified is the average across the entire development

Recessed downlights confirmation: ☐ Rated with ☒ Rated without

Assessor Name/Number Ved Baheti VIC/BDAV/13/1521

Assessor Signature _____ Date 03/08/2020

Rev	Description	Date	App'd
H	DA AMMENDMENT	16.10.20	MB
G	DA AMMENDMENT	02.10.20	MB

Project
16-20 Belmore Street Wollongong

16-18 BELMORE STREET
WOLLONGONG NSW Australia

URBAN LINK
Business Address: Level 10, 11-15 Deane Street, Burwood NSW 2134
Postal Address: PO BOX 2223 Burwood North NSW 2134
Phone Number: +61 29745 2014

Nominated Architects:
Ziad Boumelhem Reg no 8008
Youssef El Khawaja Reg no 8933 Nicolas Toubia Reg no 9336

Drawing Title
SITE
SITE PLAN

Checked/Approved

Scale
1:200 @A3 Sheet Size

Project Number
19055

Drawing Number Revision
DA-003 H

Status
DEVELOPMENT APPLICATION

2020-024 DA 16-20 Belmore Street Wollongong 23/10/202012:48 PM

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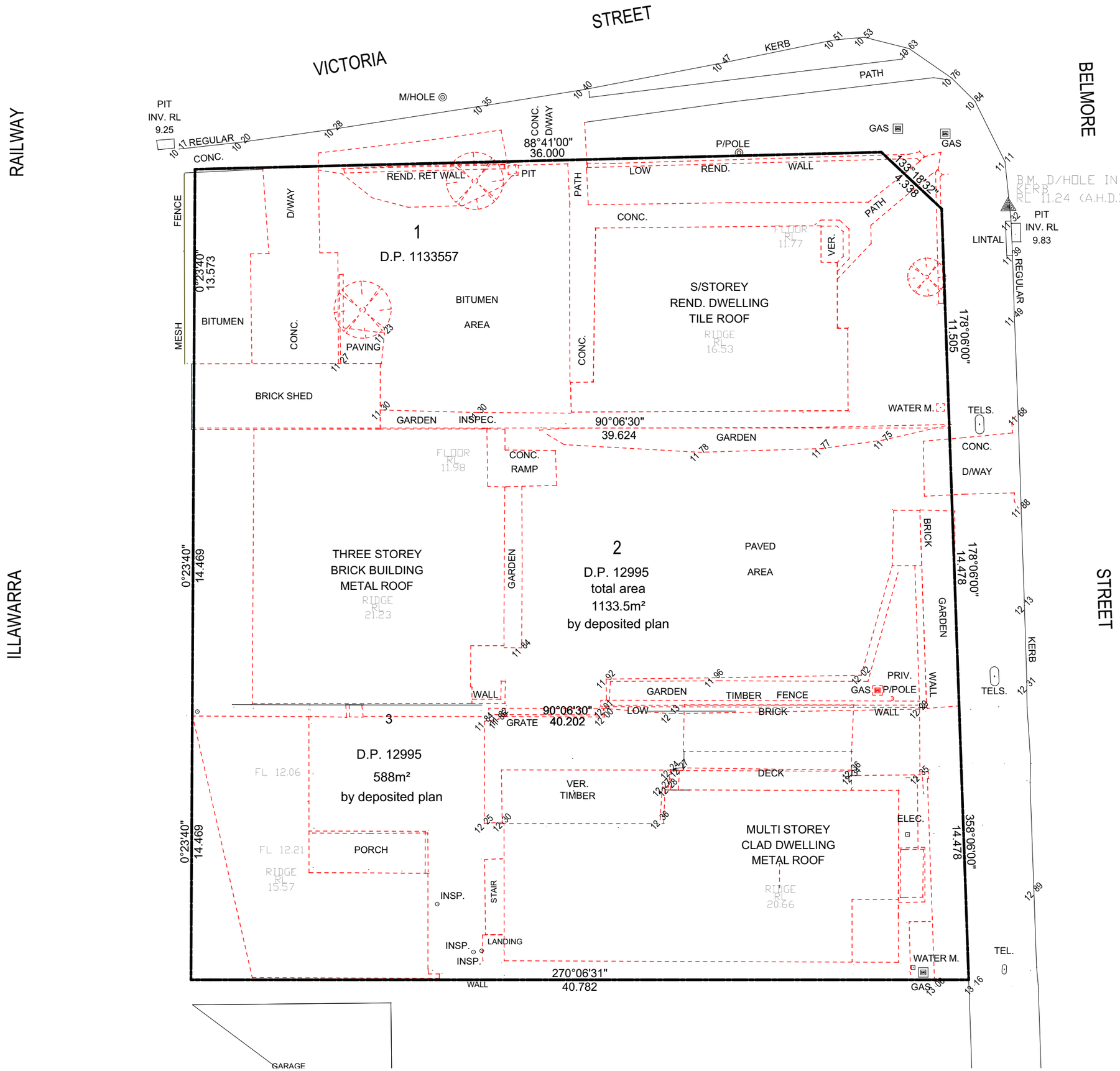

LEGEND:

STRUCTURE / TREES TO BE DEMOLISHED

Rev	Description	Date	App'd
H	DA AMMENDMENT	16.10.20	MB
G	DA AMMENDMENT	02.10.20	MB

Project
16-20 Belmore Street Wollongong

16-18 BELMORE STREET
WOLLONGONG NSW Australia

URBAN LINK
Business Address: Level 10, 11-15 Deane Street, Burwood NSW 2134
Postal Address: PO BOX 2223 Burwood North NSW 2134
Phone Number: +61 29745 2014

Nominated Architects:
Ziad Boumelhem Reg no 8008
Youssef El Khawaja Reg no 8933
Nicolas Toubia Reg no 9336

Drawing Title
SITE
DEMOLITION PLAN

Checked/Approved

Scale
1:200 @A3 Sheet Size

Project Number
19055

Drawing Number Revision
DA-004 H

Status
DEVELOPMENT APPLICATION

2020-024 DA 16-20 Belmore Street Wollongong 23/10/202012:49 PM

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Notes
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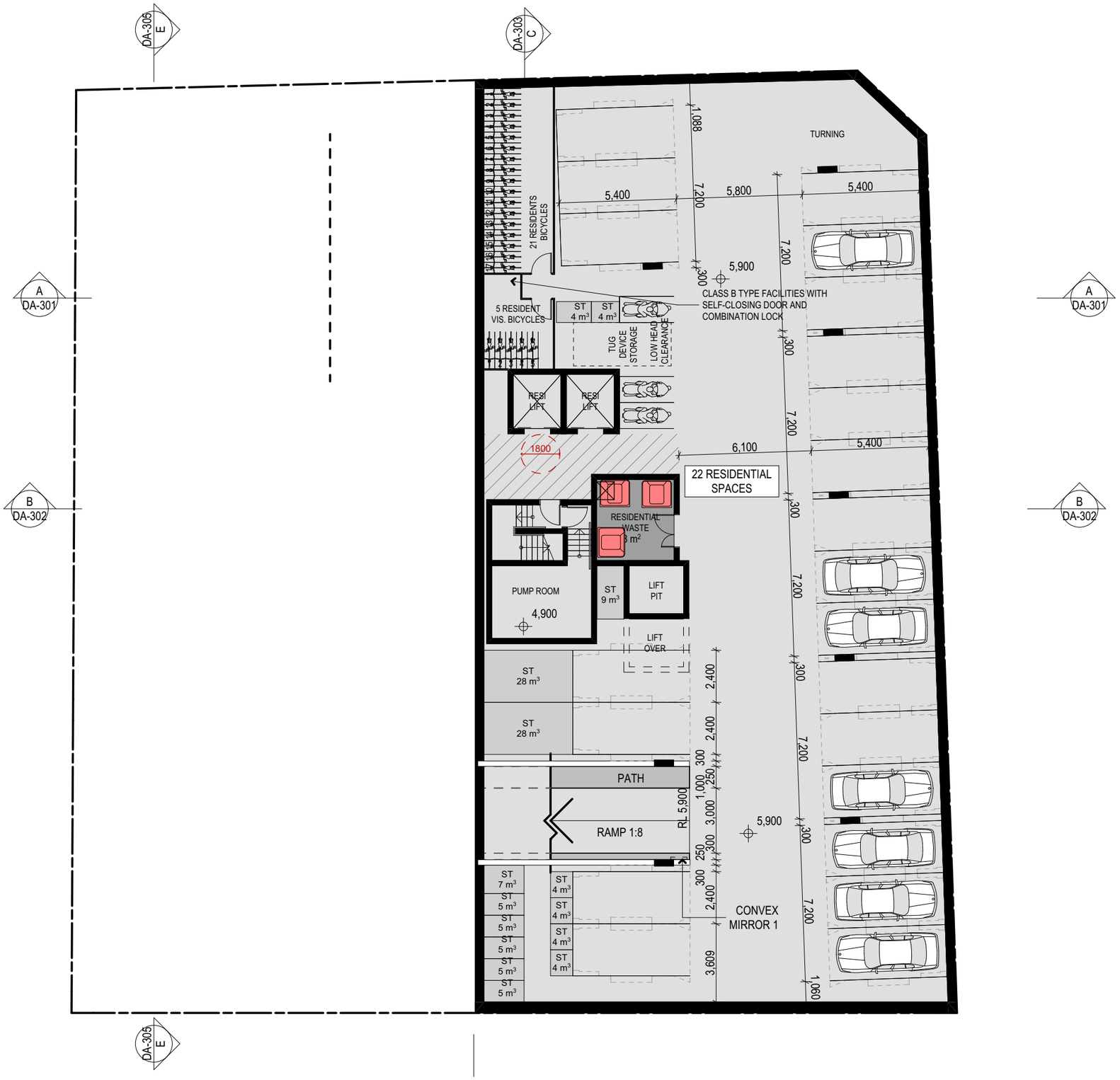

BASEMENT 02

SCALE 1:200

Energy Rating Certificate Number 15212574

☐ single-dwelling rating

☒ multi-unit development (attach listing of ratings) *If selected, data specified is the average across the entire development*

5.3 stars
heating 35.8 MJ/m²
cooling 23.4 MJ/m²

Recessed downlights confirmation: ☐ Rated with ☒ Rated without

Assessor Name/Number Ved Baheti VIC/BDAV/13/1521

Assessor Signature Date 03/08/2020

Rev	Description	Date	App'd
H	DA AMMENDMENT	16.10.20	MB
G	DA AMMENDMENT	02.10.20	MB

Project
16-20 Belmore Street Wollongong

16-18 BELMORE STREET
WOLLONGONG NSW Australia

URBAN LINK
Business Address: Level 10, 11-15 Deane Street, Burwood NSW 2134
Postal Address: PO BOX 2223 Burwood North NSW 2134
Phone Number: +61 29745 2014

Nominated Architects:
Ziad Boumelhem Reg no 8008
Youssef El Khawaja Reg no 8933 Nicolas Toubia Reg no 9336

Drawing Title
FLOOR PLANS
BASEMENT 02

Checked/Approved

Scale
1:200 @A3 Sheet Size

Project Number
19055

Drawing Number Revision
DA-101 H

Status
DEVELOPMENT APPLICATION

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Notes
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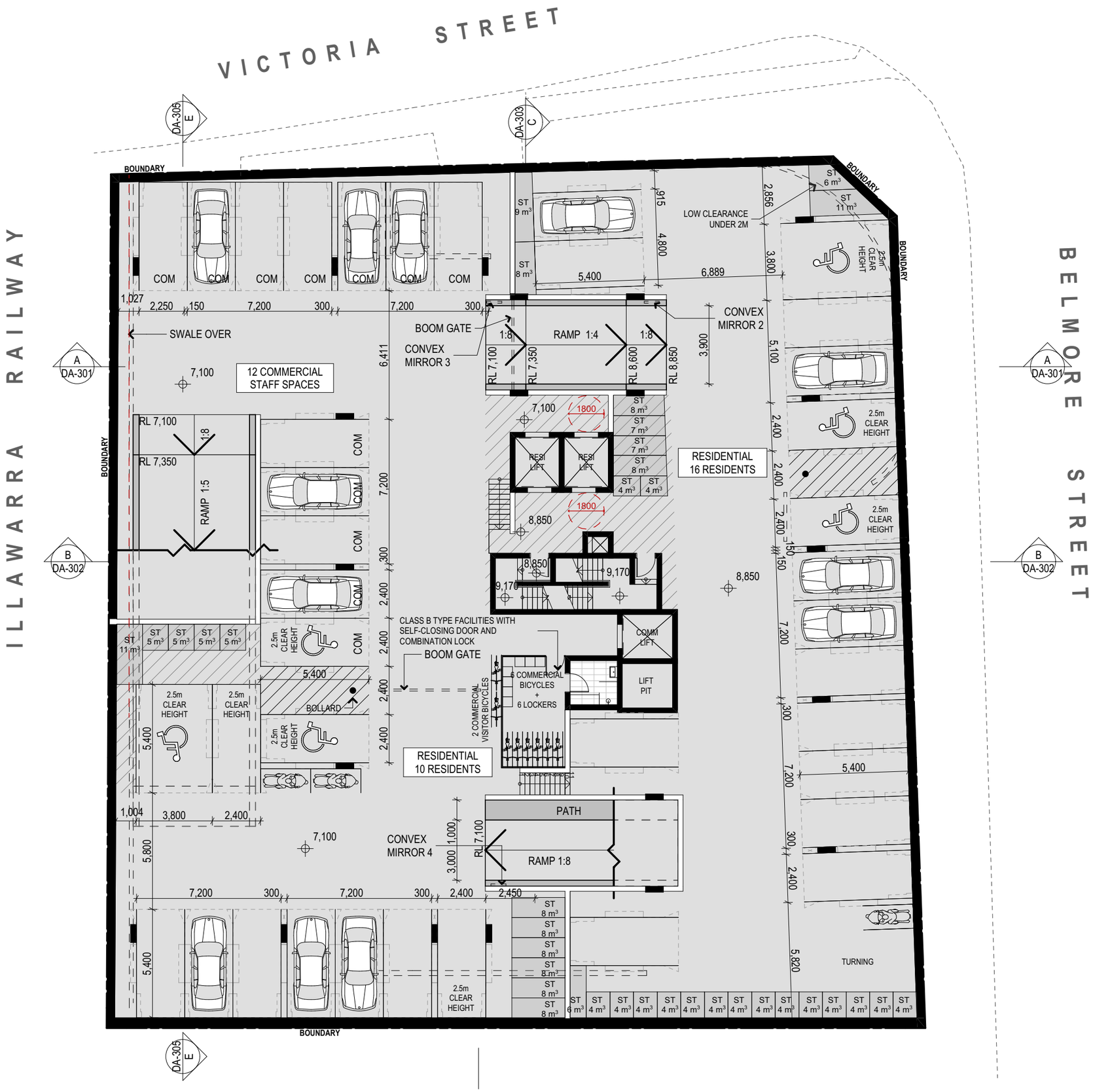

BASEMENT 01
SCALE 1:200

Energy Rating Certificate Number 15212574
☐ single-dwelling rating
☒ multi-unit development (attach listing of ratings) If selected, data specified is the average across the entire development
5.3 stars
heating 35.8 MJ/m²
cooling 23.4 MJ/m²
Recessed downlights confirmation: ☐ Rated with ☒ Rated without
Assessor Name/Number Ved Baheti VIC/BDAV/13/1521
Assessor Signature Date 03/08/2020

Rev	Description	Date	App'd
H	DA AMMENDMENT	16.10.20	MB
G	DA AMMENDMENT	02.10.20	MB

Project
16-20 Belmore Street Wollongong

16-18 BELMORE STREET
WOLLONGONG NSW Australia

URBAN LINK
Business Address: Level 10, 11-15 Deane Street, Burwood NSW 2134
Postal Address: PO BOX 2223 Burwood North NSW 2134
Phone Number: +61 29745 2014

Nominated Architects:
Ziad Boumelhem Reg no 8008
Youssef El Khawaja Reg no 8933 Nicolas Toubia Reg no 9336

Drawing Title
FLOOR PLANS
BASEMENT 01

Checked/Approved

Scale
1:200 @A3 Sheet Size

Project Number
19055

Drawing Number Revision
DA-102 H

Status
DEVELOPMENT APPLICATION

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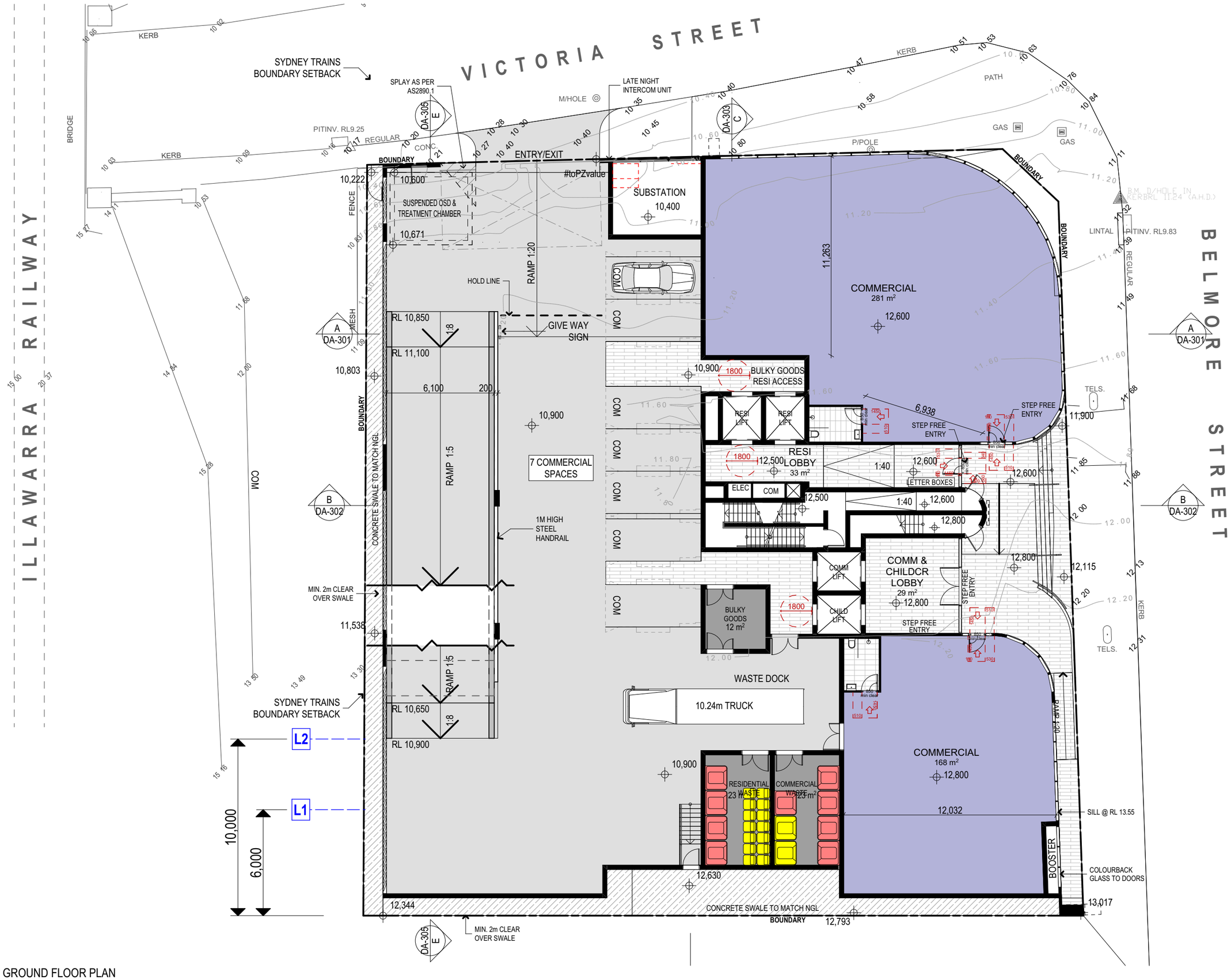

GROUND FLOOR PLAN
SCALE 1:200

D1	WOLLONGONG DCP 2.5.3 NON - HABITABLE (PODIUM - 45m)
D2	WOLLONGONG DCP 2.5.3 HABITABLE (PODIUM - 45m)
D3	WOLLONGONG DCP 2.2.3 (ALL USERS)
D4	WOLLONGONG DCP 2.5.3 ALL USES (ABOVE 45m)
L1	LEP CLAUSE 8.6(3)b (HABITABLE)
L2	LEP CLAUSE 8.6(3)a (ALL USERS)
L3	LEP CLAUSE 8.6(2)b (ALL USERS)
L4	LEP CLAUSE 8.6(2)c (ALL USERS)
A1	ADG (NON - HABITABLE 9TH STOREY +)
A2	ADG (HABITABLE 9TH STOREY +)

Energy Rating Certificate Number 15212574
☐ single-dwelling rating
☒ multi-unit development (attach listing of ratings) If selected, data specified is the average across the entire development
5.3 stars
heating 35.8 MJ/m²
cooling 23.4 MJ/m²
Recessed downlights confirmation: ☐ Rated with ☒ Rated without
Assessor Name/Number Ved Baheti VIC/BDAV/13/1521
Assessor Signature Date 03/08/2020

Rev	Description	Date	App'd
H	DA AMMENDMENT	16.10.20	MB
G	DA AMMENDMENT	02.10.20	MB

Project
16-20 Belmore Street Wollongong

16-18 BELMORE STREET
WOLLONGONG NSW Australia

URBAN LINK
Business Address: Level 10, 11-15 Deane Street, Burwood NSW 2134
Postal Address: PO BOX 2223 Burwood North NSW 2134
Phone Number: +61 29745 2014

Nominated Architects:
Ziad Boumelhem Reg no 8008
Youssef El Khawaja Reg no 8933 Nicolas Toubia Reg no 9336

Drawing Title
FLOOR PLANS
GROUND FLOOR

Checked/Approved

Scale
1:200 @A3 Sheet Size

Project Number
19055

Drawing Number Revision
DA-103 H

Status
DEVELOPMENT APPLICATION

2020-024 DA 16-20 Belmore Street Wollongong 19/10/202012:46 PM

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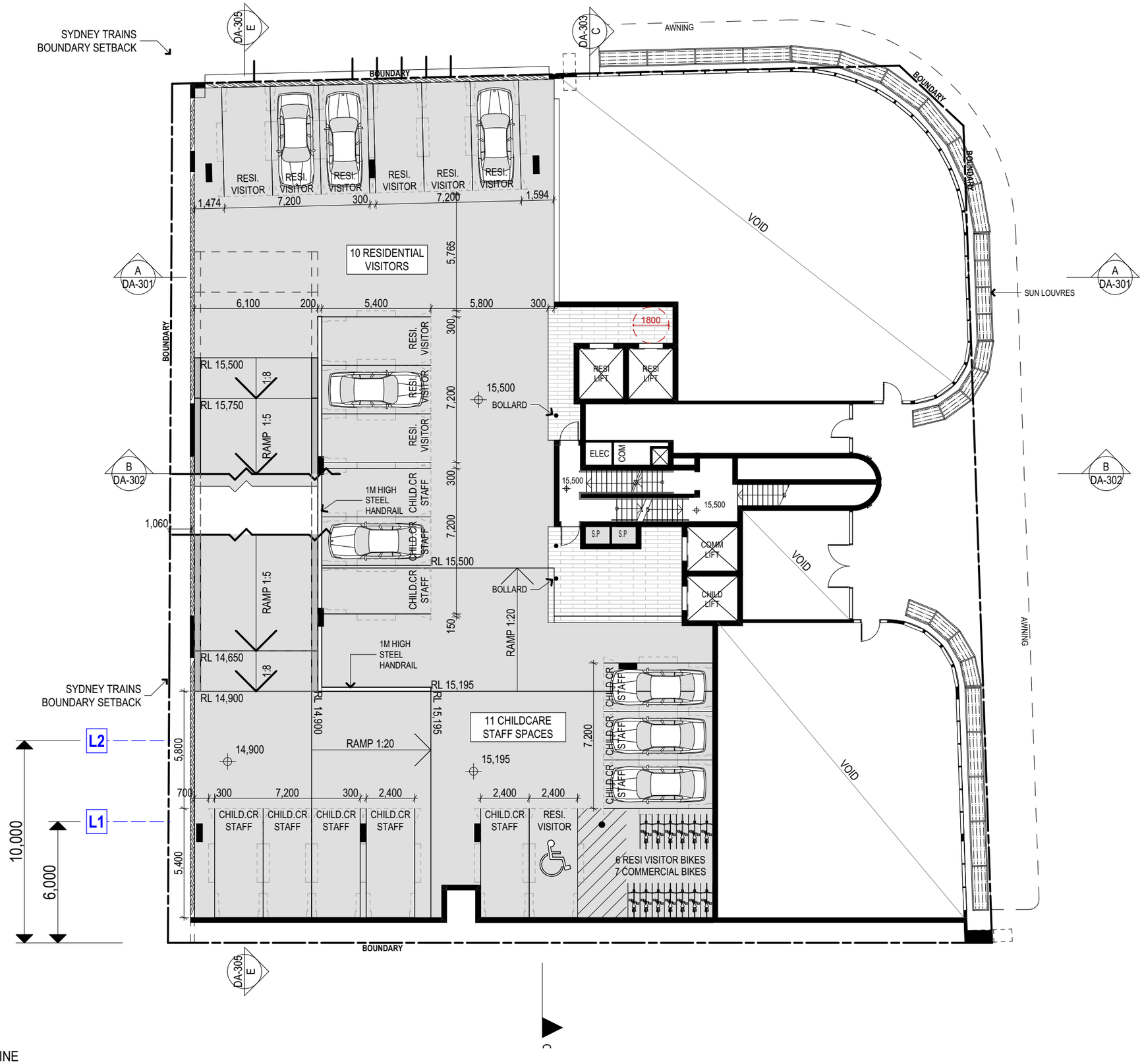

MEZZANINE
SCALE 1:200

D1	WOLLONGONG DCP 2.5.3 NON - HABITABLE (PODIUM - 45m)	
D2	WOLLONGONG DCP 2.5.3 HABITABLE (PODIUM - 45m)	
D3	WOLLONGONG DCP 2.2.3 (ALL USERS)	
D4	WOLLONGONG DCP 2.5.3 ALL USES (ABOVE 45m)	
L1	LEP CLAUSE 8.6(3)b (HABITABLE)	
L2	LEP CLAUSE 8.6(3)a (ALL USERS)	
L3	LEP CLAUSE 8.6(2)b (ALL USERS)	
L4	LEP CLAUSE 8.6(2)c (ALL USERS)	
A1	ADG (NON - HABITABLE 9TH STOREY +)	
A2	ADG (HABITABLE 9TH STOREY +)	

Energy Rating Certificate Number 15212574
☐ single-dwelling rating
☒ multi-unit development (attach listing of ratings) *If selected, data specified is the average across the entire development*
5.3 stars
heating 35.8 MJ/m²
cooling 23.4 MJ/m²
Recessed downlights confirmation: ☐ Rated with ☒ Rated without
Assessor Name/Number Ved Baheti VIC/BDAV/13/1521
Assessor Signature Date 03/08/2020

Rev	Description	Date	App'd
H	DA AMMENDMENT	16.10.20	MB
G	DA AMMENDMENT	02.10.20	MB

Project
16-20 Belmore Street Wollongong

16-18 BELMORE STREET
WOLLONGONG NSW Australia

URBAN LINK
Business Address: Level 10, 11-15 Deane Street, Burwood NSW 2134
Postal Address: PO BOX 2223 Burwood North NSW 2134
Phone Number: +61 29745 2014

Nominated Architects:
Ziad Boumelhem Reg no 8008
Youssef El Khawaja Reg no 8933 Nicolas Toubia Reg no 9336

Drawing Title
FLOOR PLANS
MEZZANINE FLOOR

Checked/Approved

Scale
1:200 @A3 Sheet Size

Project Number **19055**
Drawing Number **DA-104** Revision **H**
Status
DEVELOPMENT APPLICATION

2020-024 DA 16-20 Belmore Street Wollongong 19/10/2020 12:46 PM

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Notes
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2. DO NOT SCALE DRAWINGS.
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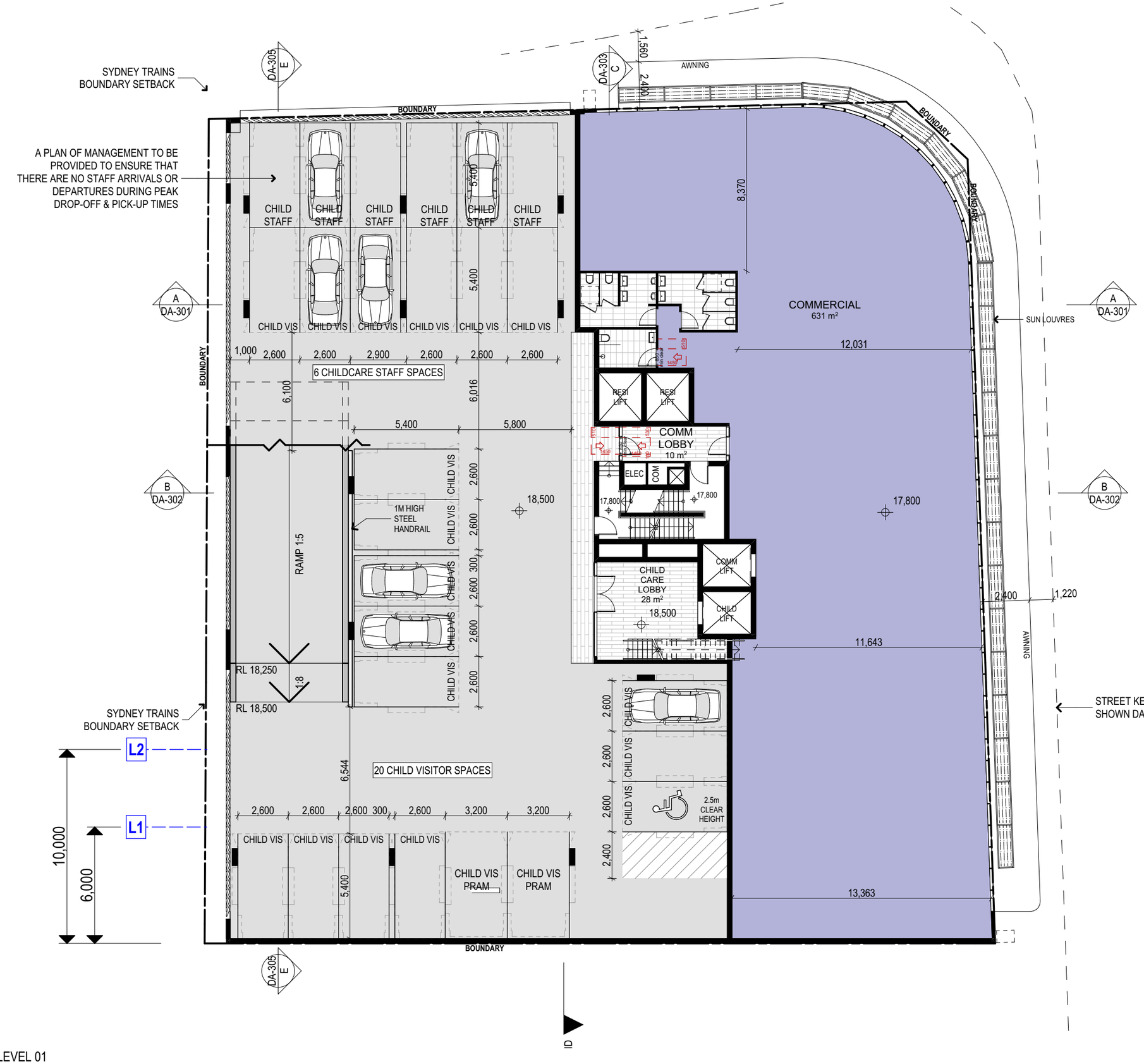

LEVEL 01
SCALE 1:200

D1	WOLLONGONG DCP 2.5.3 NON - HABITABLE (PODIUM - 45m)
D2	WOLLONGONG DCP 2.5.3 HABITABLE (PODIUM - 45m)
D3	WOLLONGONG DCP 2.2.3 (ALL USERS)
D4	WOLLONGONG DCP 2.5.3 ALL USES (ABOVE 45m)
L1	LEP CLAUSE 8.6(3)b (HABITABLE)
L2	LEP CLAUSE 8.6(3)a (ALL USERS)
L3	LEP CLAUSE 8.6(2)b (ALL USERS)
L4	LEP CLAUSE 8.6(2)c (ALL USERS)
A1	ADG (NON - HABITABLE 9TH STOREY +)
A2	ADG (HABITABLE 9TH STOREY +)

Energy Rating Certificate Number 15212574
☐ single-dwelling rating
☒ multi-unit development (attach listing of ratings) *If selected, data specified is the average across the entire development*
5.3 stars
heating 35.8 MJ/m²
cooling 23.4 MJ/m²
Recessed downlights confirmation: ☐ Rated with ☒ Rated without
Assessor Name/Number Ved Baheti VIC/BDAV/13/1521
Assessor Signature
Date 03/08/2020

Rev	Description	Date	App'd
H	DA AMMENDMENT	16.10.20	MB
G	DA AMMENDMENT	02.10.20	MB

Project
16-20 Belmore Street Wollongong

16-18 BELMORE STREET
WOLLONGONG NSW Australia

URBAN LINK
Business Address: Level 10, 11-15 Deane Street, Burwood NSW 2134
Postal Address: PO BOX 2223 Burwood North NSW 2134
Phone Number: +61 29745 2014

Nominated Architects:
Ziad Boumelhem Reg no 8008
Youssef El Khawaja Reg no 8933 Nicolas Toubia Reg no 9336

Drawing Title
FLOOR PLANS
LEVEL 01

Checked/Approved

Scale
1:200 @A3 Sheet Size

Project Number **19055**
Drawing Number **DA-105** Revision **H**
Status
DEVELOPMENT APPLICATION

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Notes
1. CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK OR PREPARING SHOP DRAWINGS.
2. DO NOT SCALE DRAWINGS.
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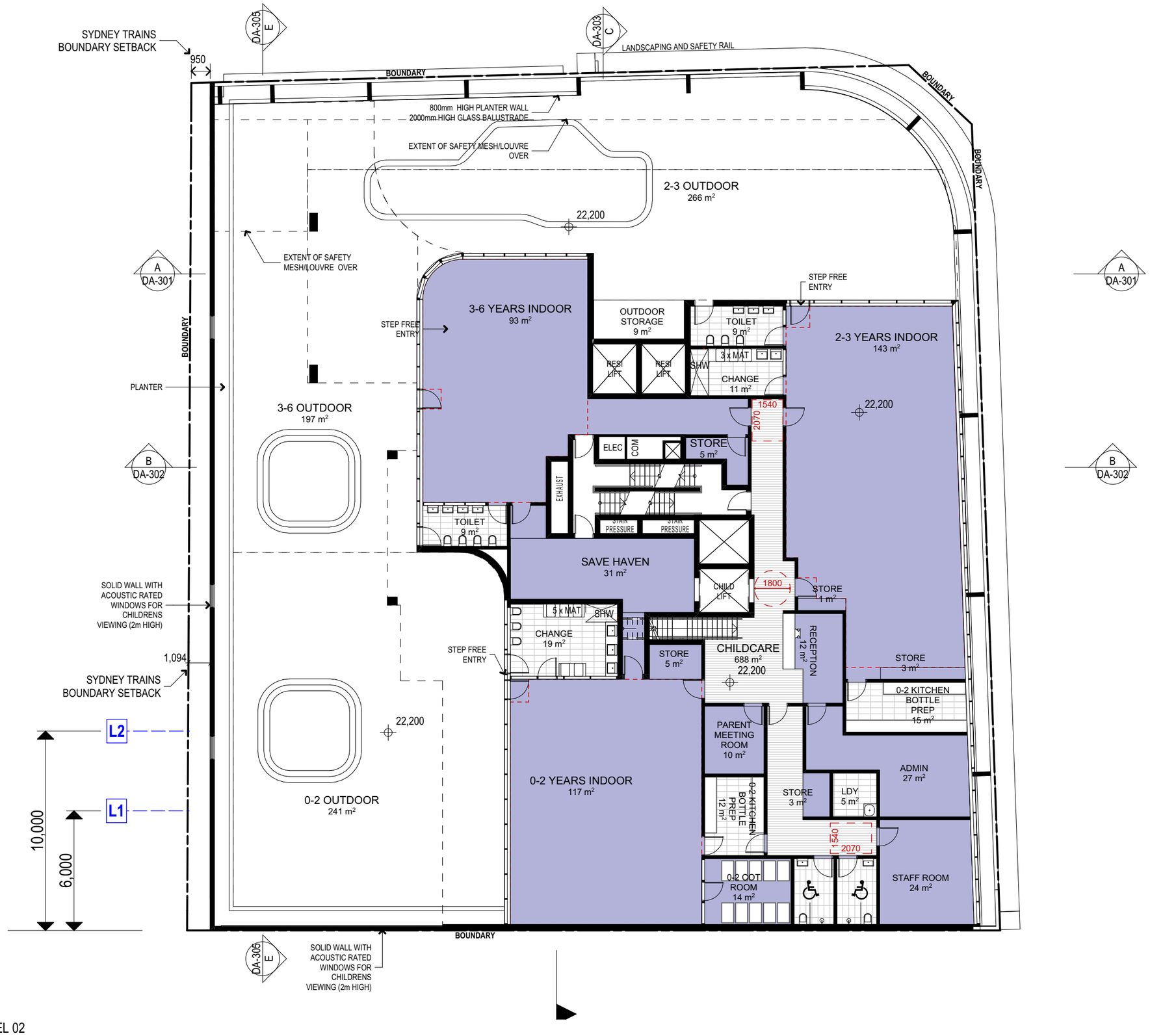


LEVEL 02
SCALE 1:200

D1	WOLLONGONG DCP 2.5.3 NON - HABITABLE (PODIUM - 45m)	
D2	WOLLONGONG DCP 2.5.3 HABITABLE (PODIUM - 45m)	
D3	WOLLONGONG DCP 2.2.3 (ALL USERS)	
D4	WOLLONGONG DCP 2.5.3 ALL USES (ABOVE 45m)	
L1	LEP CLAUSE 8.6(3)b (HABITABLE)	
L2	LEP CLAUSE 8.6(3)a (ALL USERS)	
L3	LEP CLAUSE 8.6(2)b (ALL USERS)	
L4	LEP CLAUSE 8.6(2)c (ALL USERS)	
A1	ADG (NON - HABITABLE 9TH STOREY +)	
A2	ADG (HABITABLE 9TH STOREY +)	

Energy Rating Certificate Number 15212574

single-dwelling rating — 5.3 stars
multi-unit development (attach listing of ratings) — heating 35.8 MJ/m² — cooling 23.4 MJ/m²
If selected, data specified is the average across the entire development
Recessed downlights confirmation: Rated with [ ] Rated without [X]
Assessor Name/Number Ved Baheti VIC/BDAV/13/1521
Assessor Signature — Date 03/08/2020

Rev	Description	Date	App'd
H	DA AMMENDMENT	16.10.20	MB
G	DA AMMENDMENT	02.10.20	MB

Project
16-20 Belmore Street Wollongong

16-18 BELMORE STREET
WOLLONGONG NSW Australia

URBAN LINK
Business Address: Level 10, 11-15 Deane Street, Burwood NSW 2134
Postal Address: PO BOX 2223 Burwood North NSW 2134
Phone Number: +61 29745 2014

Nominated Architects:
Ziad Boumelhem Reg no 8008
Youssef El Khawaja Reg no 8933
Nicolas Toubia Reg no 9336

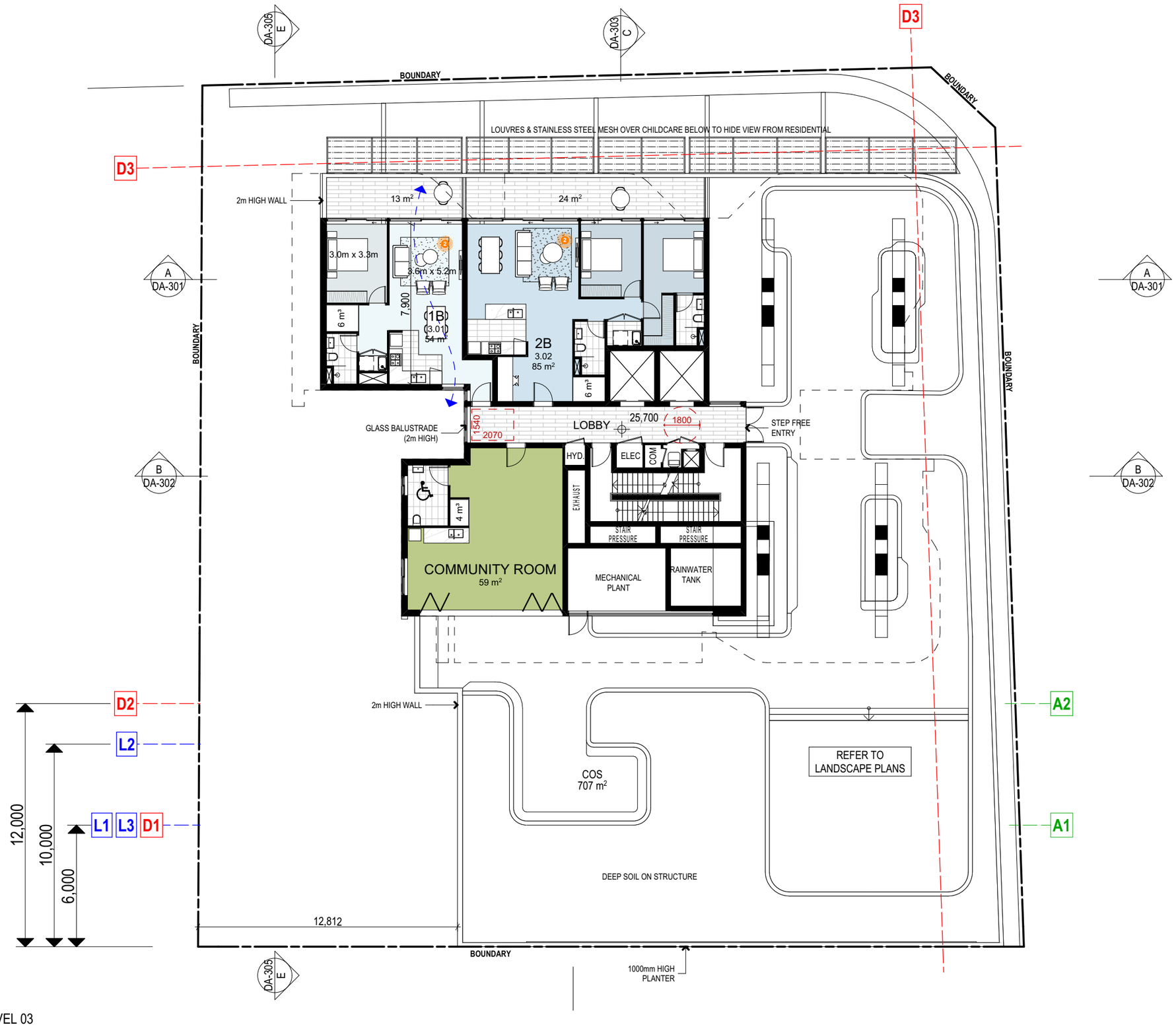
Drawing Title
FLOOR PLANS
LEVEL 02

Checked/Approved

Scale
1:200 @A3 Sheet Size

Project Number **19055**
Drawing Number **DA-106** Revision **H**

Status
DEVELOPMENT APPLICATION



LEVEL 03

SCALE 1:200

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Notes
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DIAL BEFORE YOU DIG 1100 SERVICE

NATURALLY CROSS VENTILATED
SATISFIES ADG REQUIREMENTS

ACHIEVES 'n' HOURS OF SUNLIGHT
ON 21ST OF JUNE BETWEEN 9AM-3PM TO SATISFY ADG REQUIREMENTS

D1 WOLLONGONG DCP 2.5.3 NON - HABITABLE (PODIUM - 45m)

D2 WOLLONGONG DCP 2.5.3 HABITABLE (PODIUM - 45m)

D3 WOLLONGONG DCP 2.2.3 (ALL USERS)

D4 WOLLONGONG DCP 2.5.3 ALL USES (ABOVE 45m)

L1 LEP CLAUSE 8.6(3)b (HABITABLE)

L2 LEP CLAUSE 8.6(3)a (ALL USERS)

L3 LEP CLAUSE 8.6(2)b (ALL USERS)

L4 LEP CLAUSE 8.6(2)c (ALL USERS)

A1 ADG (NON - HABITABLE 9TH STOREY +)

A2 ADG (HABITABLE 9TH STOREY +)

Energy Rating Certificate Number 15212574

☐ single-dwelling rating — 5.3 stars

☒ multi-unit development (attach listing of ratings) If selected, data specified is the average across the entire development — heating 35.8 MJ/m² — cooling 23.4 MJ/m²

Recessed downlights confirmation: ☐ Rated with ☒ Rated without

Assessor Name/Number Ved Baheti VIC/BDAV/13/1521

Assessor Signature _____ Date 03/08/2020

Rev	Description	Date	App'd
H	DA AMMENDMENT	16.10.20	MB
G	DA AMMENDMENT	02.10.20	MB

Project
16-20 Belmore Street Wollongong

16-18 BELMORE STREET
WOLLONGONG NSW Australia

URBAN LINK
Business Address: Level 10, 11-15 Deane Street, Burwood NSW 2134
Postal Address: PO BOX 2223 Burwood North NSW 2134
Phone Number: +61 29745 2014

Nominated Architects:
Ziad Boumelhem Reg no 8008
Youssef El Khawaja Reg no 8933
Nicolas Toubia Reg no 9336

Drawing Title
FLOOR PLANS
LEVEL 03

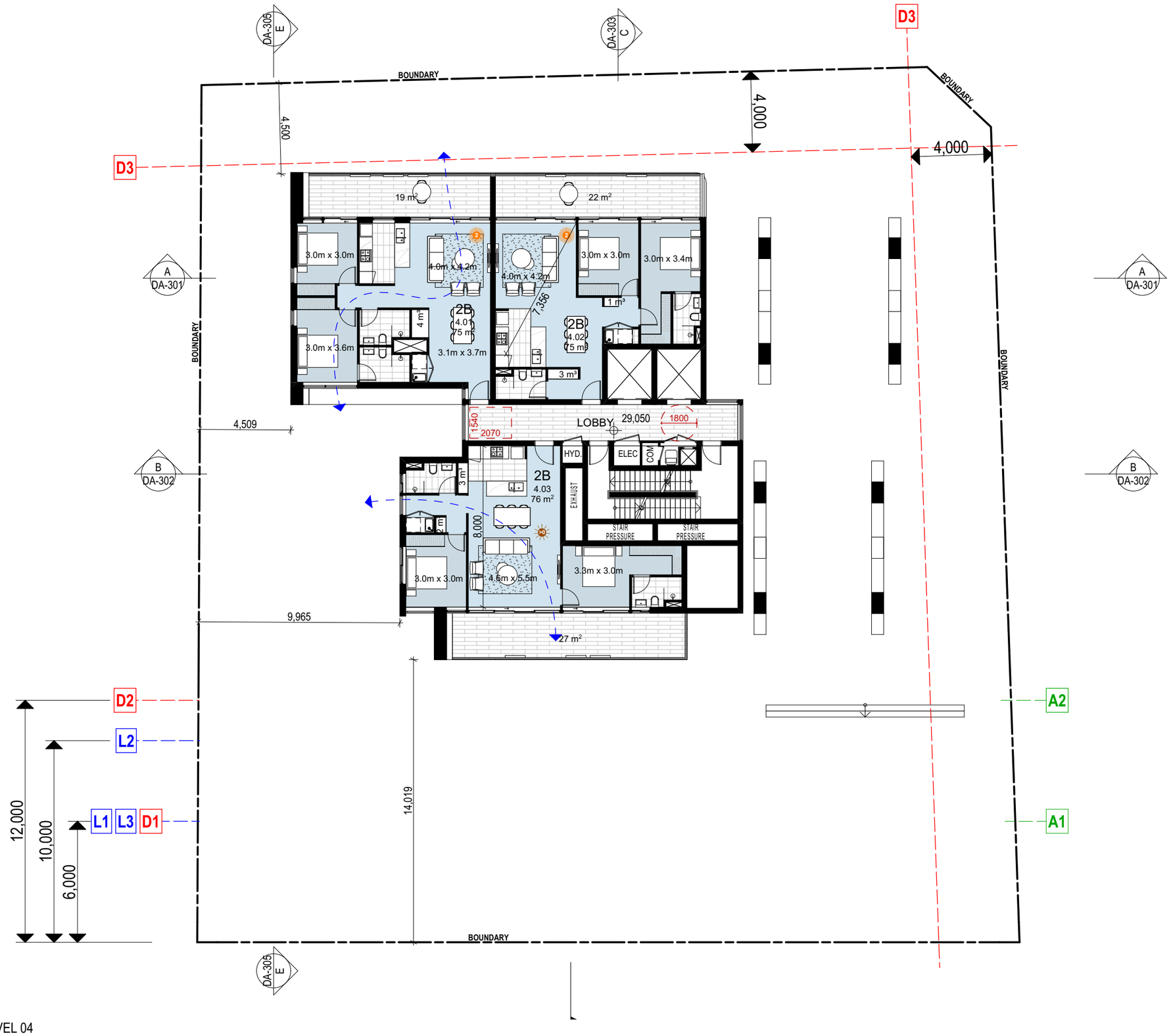
Checked/Approved

Scale
1:200 @A3 Sheet Size

Project Number
19055

Drawing Number Revision
DA-107 H

Status
DEVELOPMENT APPLICATION



LEVEL 04

SCALE 1:200

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Notes
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NATURALLY CROSS VENTILATED
SATISFIES ADG REQUIREMENTS

ACHIEVES 'n' HOURS OF SUNLIGHT
ON 21ST OF JUNE BETWEEN 9AM-3PM TO SATISFY ADG REQUIREMENTS

D1 WOLLONGONG DCP 2.5.3 NON - HABITABLE (PODIUM - 45m)

D2 WOLLONGONG DCP 2.5.3 HABITABLE (PODIUM - 45m)

D3 WOLLONGONG DCP 2.2.3 (ALL USERS)

D4 WOLLONGONG DCP 2.5.3 ALL USES (ABOVE 45m)

L1 LEP CLAUSE 8.6(3)b (HABITABLE)

L2 LEP CLAUSE 8.6(3)a (ALL USERS)

L3 LEP CLAUSE 8.6(2)b (ALL USERS)

L4 LEP CLAUSE 8.6(2)c (ALL USERS)

A1 ADG (NON - HABITABLE 9TH STOREY +)

A2 ADG (HABITABLE 9TH STOREY +)

Energy Rating Certificate Number 15212574

☐ single-dwelling rating
☒ multi-unit development (attach listing of ratings) *If selected, data specified is the average across the entire development*

5.3 stars
heating 35.8 MJ/m²
cooling 23.4 MJ/m²

Recessed downlights confirmation: ☐ Rated with ☒ Rated without

Assessor Name/Number Ved Baheti VIC/BDAV/13/1521

Assessor Signature _____ Date 03/08/2020

Rev	Description	Date	App'd
H	DA AMMENDMENT	16.10.20	MB
G	DA AMMENDMENT	02.10.20	MB

Project
16-20 Belmore Street Wollongong

16-18 BELMORE STREET
WOLLONGONG NSW Australia

URBAN LINK
Business Address: Level 10, 11-15 Deane Street, Burwood NSW 2134
Postal Address: PO BOX 2223 Burwood North NSW 2134
Phone Number: +61 29745 2014

Nominated Architects:
Ziad Boumelhem Reg no 8008
Youssef El Khawaja Reg no 8933 Nicolas Toubia Reg no 9336

Drawing Title
FLOOR PLANS
LEVEL 04

Checked/Approved

Scale
1:200 @A3 Sheet Size

Project Number
19055

Drawing Number Revision
DA-108 H

Status
DEVELOPMENT APPLICATION

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Notes
1. CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK OR PREPARING SHOP DRAWINGS.
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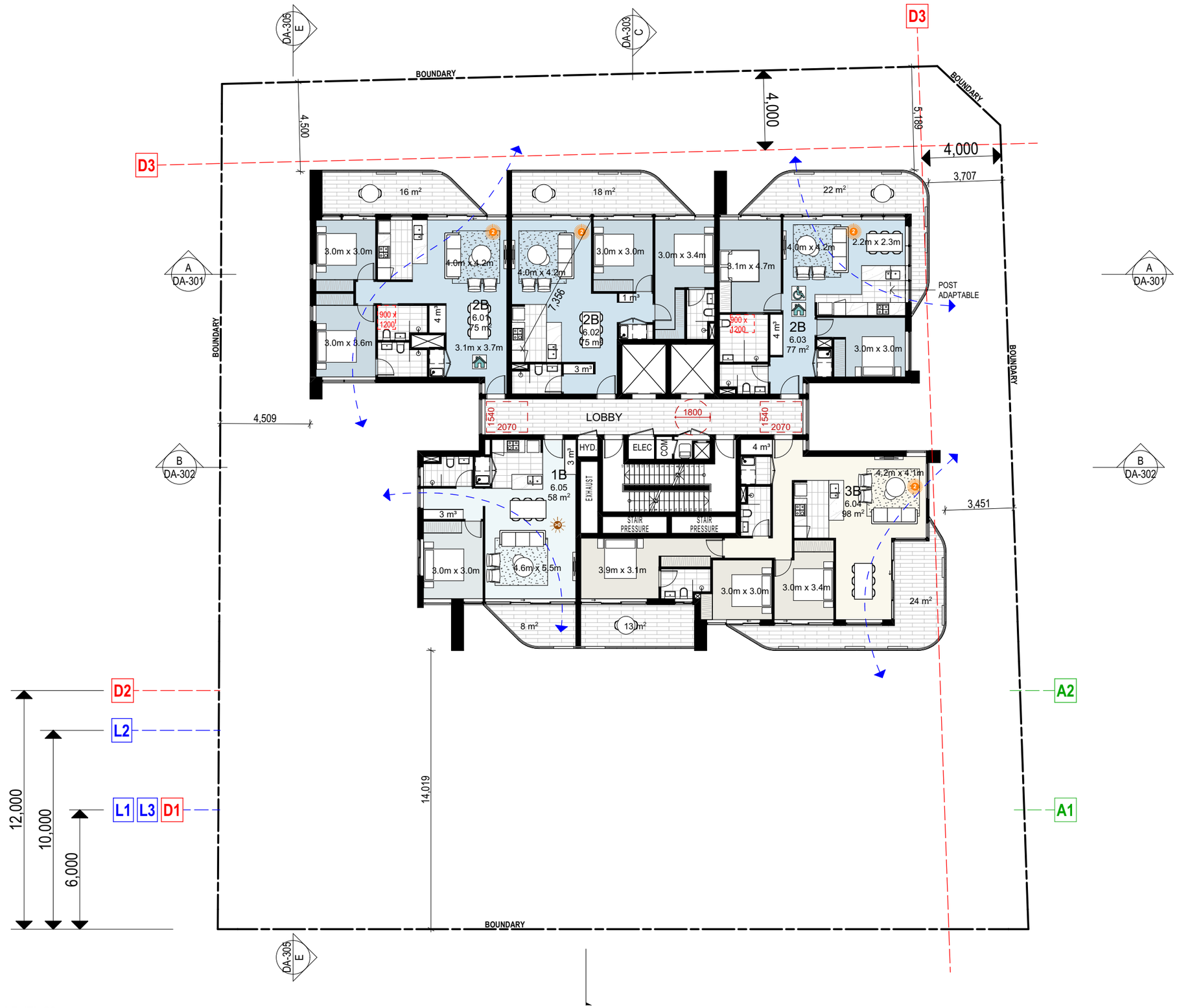
3. CONTRACTOR TO CHECK UNDERGROUND SERVICES BEFORE COMMENCING WORKS BY CONTACTING DIAL BEFORE YOU DIG. IF DIAL BEFORE YOU DIG INFORMATION IS PROVIDED WITH THIS DOCUMENTATION IT SHALL BE ASSUMED NOT TO BE CURRENT AND CONTRACTOR SHALL MAKE THEIR OWN ENQUIRES.



LEVEL 06
SCALE 1:200

NATURALLY CROSS VENTILATED
SATISFIES ADG REQUIREMENTS

ACHIEVES 'n' HOURS OF SUNLIGHT
ON 21ST OF JUNE BETWEEN 9AM-3PM TO SATISFY ADG REQUIREMENTS

D1 WOLLONGONG DCP 2.5.3 NON - HABITABLE (PODIUM - 45m)

D2 WOLLONGONG DCP 2.5.3 HABITABLE (PODIUM - 45m)

D3 WOLLONGONG DCP 2.2.3 (ALL USERS)

D4 WOLLONGONG DCP 2.5.3 ALL USES (ABOVE 45m)

L1 LEP CLAUSE 8.6(3)b (HABITABLE)

L2 LEP CLAUSE 8.6(3)a (ALL USERS)

L3 LEP CLAUSE 8.6(2)b (ALL USERS)

L4 LEP CLAUSE 8.6(2)c (ALL USERS)

A1 ADG (NON - HABITABLE 9TH STOREY +)

A2 ADG (HABITABLE 9TH STOREY +)

Energy Rating Certificate Number 15212574
☐ single-dwelling rating — 5.3 stars
☒ multi-unit development (attach listing of ratings) — heating 35.8 MJ/m² — cooling 23.4 MJ/m²
If selected, data specified is the average across the entire development
Recessed downlights confirmation: ☐ Rated with ☒ Rated without
Assessor Name/Number Ved Baheti VIC/BDAV/13/1521
Assessor Signature Date 03/08/2020

Rev	Description	Date	App'd
H	DA AMMENDMENT	16.10.20	MB
G	DA AMMENDMENT	02.10.20	MB

Project
16-20 Belmore Street Wollongong

16-18 BELMORE STREET
WOLLONGONG NSW Australia

URBAN LINK
Business Address: Level 10, 11-15 Deane Street, Burwood NSW 2134
Postal Address: PO BOX 2223 Burwood North NSW 2134
Phone Number: +61 29745 2014

Nominated Architects:
Ziad Boumelhem Reg no 8008
Youssef El Khawaja Reg no 8933
Nicolas Toubia Reg no 9336

Drawing Title
FLOOR PLANS
LEVEL 05-08

Checked/Approved

Scale
1:200 @A3 Sheet Size

Project Number
19055

Drawing Number **DA-109** Revision **H**

Status
DEVELOPMENT APPLICATION

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Notes
1. CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK OR PREPARING SHOP DRAWINGS.
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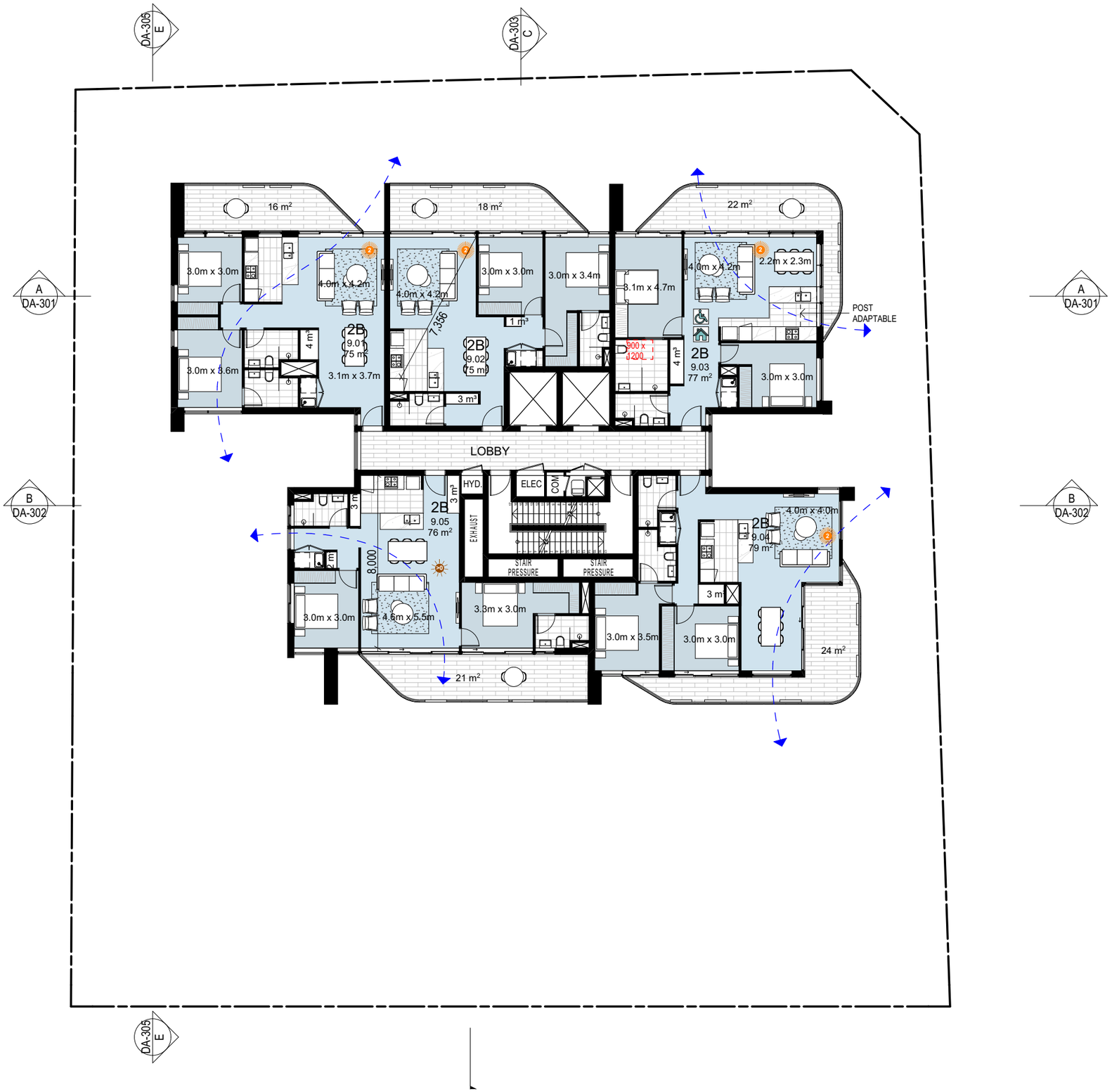


LEVEL 09
SCALE 1:200

NATURALLY CROSS VENTILATED
SATISFIES ADG REQUIREMENTS

ACHIEVES 'n' HOURS OF SUNLIGHT
ON 21ST OF JUNE BETWEEN 9AM-3PM TO SATISFY ADG REQUIREMENTS

D1 WOLLONGONG DCP 2.5.3 NON - HABITABLE (PODIUM - 45m)

D2 WOLLONGONG DCP 2.5.3 HABITABLE (PODIUM - 45m)

D3 WOLLONGONG DCP 2.2.3 (ALL USERS)

D4 WOLLONGONG DCP 2.5.3 ALL USES (ABOVE 45m)

L1 LEP CLAUSE 8.6(3)b (HABITABLE)

L2 LEP CLAUSE 8.6(3)a (ALL USERS)

L3 LEP CLAUSE 8.6(2)b (ALL USERS)

L4 LEP CLAUSE 8.6(2)c (ALL USERS)

A1 ADG (NON - HABITABLE 9TH STOREY +)

A2 ADG (HABITABLE 9TH STOREY +)

Energy Rating Certificate Number 15212574
☐ single-dwelling rating
☒ multi-unit development (attach listing of ratings) *If selected, data specified is the average across the entire development*
5.3 stars
heating 35.8 MJ/m²
cooling 23.4 MJ/m²
Recessed downlights confirmation: ☐ Rated with ☒ Rated without
Assessor Name/Number Ved Baheti VIC/BDAV/13/1521
Assessor Signature Date 03/08/2020

Rev	Description	Date	App'd
H	DA AMMENDMENT	16.10.20	MB
G	DA AMMENDMENT	02.10.20	MB

Project
16-20 Belmore Street Wollongong

16-18 BELMORE STREET
WOLLONGONG NSW Australia

URBAN LINK
Business Address: Level 10, 11-15 Deane Street, Burwood NSW 2134
Postal Address: PO BOX 2223 Burwood North NSW 2134
Phone Number: +61 29745 2014

Nominated Architects:
Ziad Boumelhem Reg no 8008
Youssef El Khawaja Reg no 8933 Nicolas Toubia Reg no 9336

Drawing Title
FLOOR PLANS
LEVEL 09-11

Checked/Approved

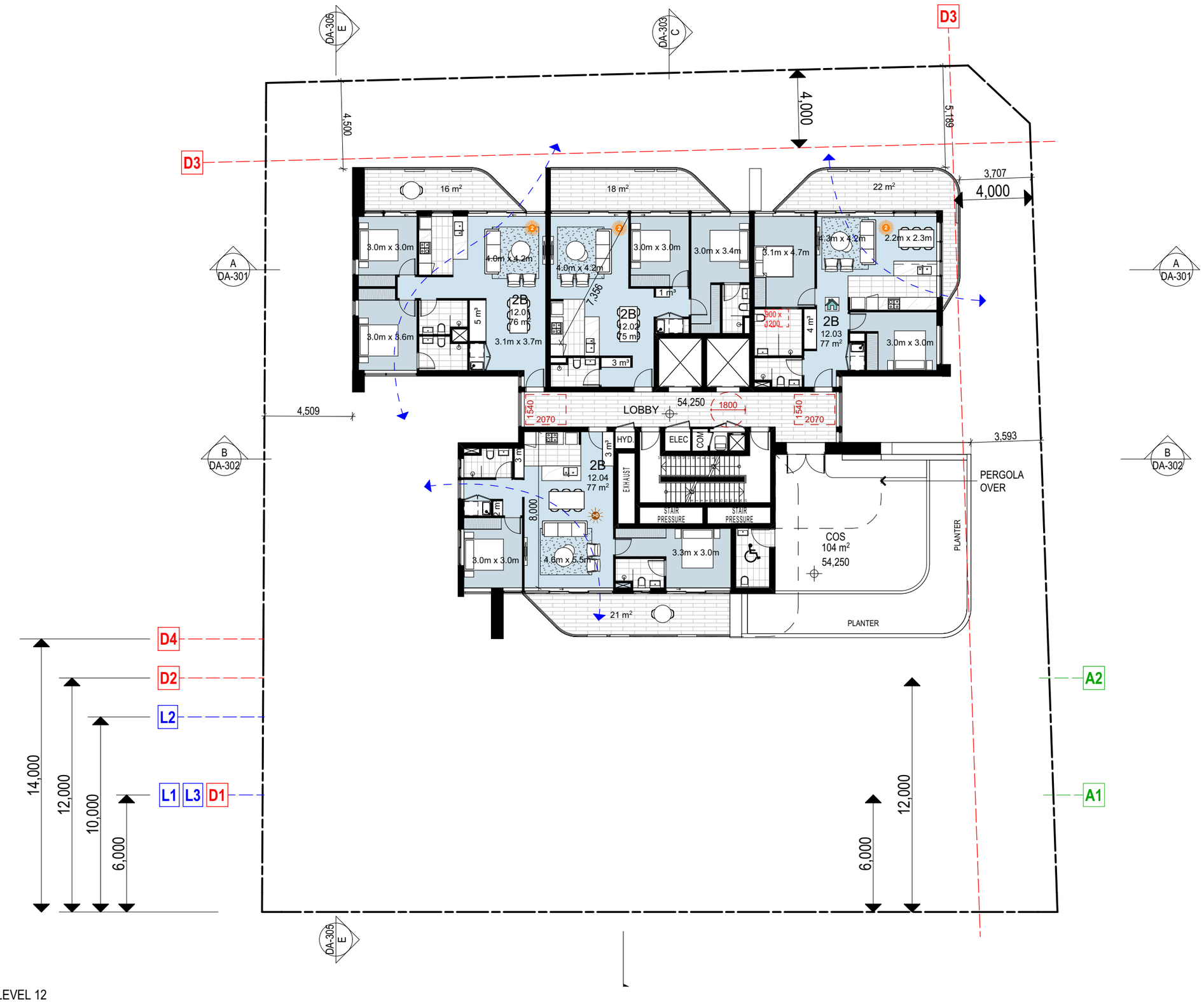
Scale
1:200 @A3 Sheet Size

Project Number
19055

Drawing Number Revision
DA-110 H

Status
DEVELOPMENT APPLICATION

2020-024 DA 16-20 Belmore Street Wollongong 19/10/202012:47 PM



LEVEL 12

SCALE 1:200

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Notes
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NATURALLY CROSS VENTILATED
SATISFIES ADG REQUIREMENTS

ACHIEVES 'n' HOURS OF SUNLIGHT
ON 21ST OF JUNE BETWEEN 9AM-3PM TO SATISFY ADG REQUIREMENTS

D1 WOLLONGONG DCP 2.5.3 NON - HABITABLE (PODIUM - 45m)

D2 WOLLONGONG DCP 2.5.3 HABITABLE (PODIUM - 45m)

D3 WOLLONGONG DCP 2.2.3 (ALL USERS)

D4 WOLLONGONG DCP 2.5.3 ALL USES (ABOVE 45m)

L1 LEP CLAUSE 8.6(3)b (HABITABLE)

L2 LEP CLAUSE 8.6(3)a (ALL USERS)

L3 LEP CLAUSE 8.6(2)b (ALL USERS)

L4 LEP CLAUSE 8.6(2)c (ALL USERS)

A1 ADG (NON - HABITABLE 9TH STOREY +)

A2 ADG (HABITABLE 9TH STOREY +)

Energy Rating Certificate Number 15212574

☐ single-dwelling rating
☒ multi-unit development (attach listing of ratings) *If selected, data specified is the average across the entire development*

5.3 stars
heating 35.8 MJ/m²
cooling 23.4 MJ/m²

Recessed downlights confirmation: ☐ Rated with ☒ Rated without

Assessor Name/Number Ved Baheti VIC/BDAV/13/1521

Assessor Signature _____ Date 03/08/2020

Rev	Description	Date	App'd
H	DA AMMENDMENT	16.10.20	MB
G	DA AMMENDMENT	02.10.20	MB

Project
16-20 Belmore Street Wollongong

16-18 BELMORE STREET
WOLLONGONG NSW Australia

URBAN LINK
Business Address: Level 10, 11-15 Deane Street, Burwood NSW 2134
Postal Address: PO BOX 2223 Burwood North NSW 2134
Phone Number: +61 29745 2014

Nominated Architects:
Ziad Boumelhem Reg no 8008
Youssef El Khawaja Reg no 8933 Nicolas Toubia Reg no 9336

Drawing Title
FLOOR PLANS
LEVEL 12

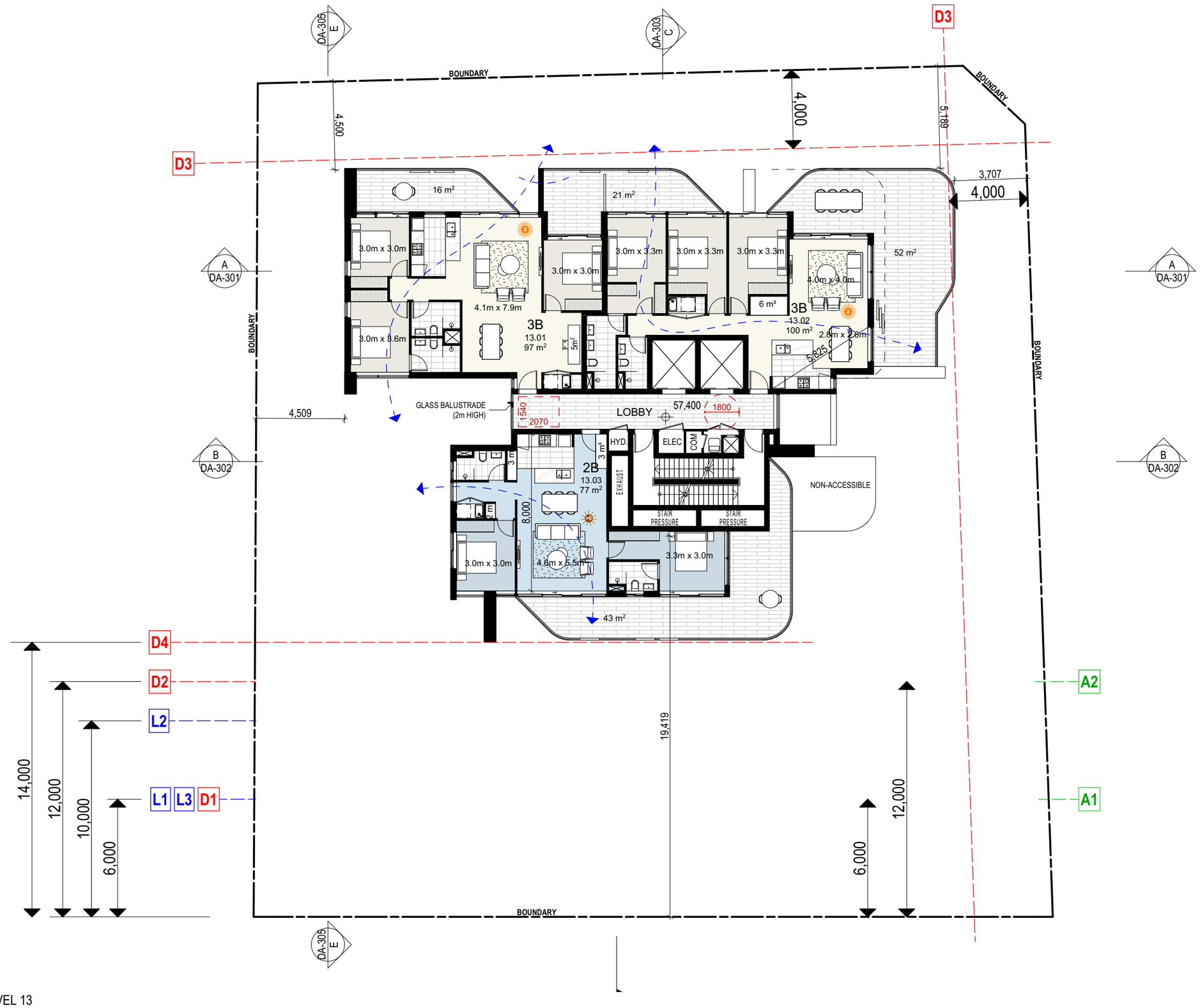
Checked/Approved

Scale
1:200 @A3 Sheet Size

Project Number
19055

Drawing Number Revision
DA-111 H

Status
DEVELOPMENT APPLICATION



LEVEL 13

SCALE 1:200

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Notes
1. CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK OR PREPARING SHOP DRAWINGS.
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DIAL BEFORE YOU DIG 1100 SERVICE

NATURALLY CROSS VENTILATED
SATISFIES ADG REQUIREMENTS

ACHIEVES 'n' HOURS OF SUNLIGHT
ON 21ST OF JUNE BETWEEN 9AM-3PM TO SATISFY ADG REQUIREMENTS

D1 WOLLONGONG DCP 2.5.3 NON - HABITABLE (PODIUM - 45m)

D2 WOLLONGONG DCP 2.5.3 HABITABLE (PODIUM - 45m)

D3 WOLLONGONG DCP 2.2.3 (ALL USERS)

D4 WOLLONGONG DCP 2.5.3 ALL USES (ABOVE 45m)

L1 LEP CLAUSE 8.6(3)b (HABITABLE)

L2 LEP CLAUSE 8.6(3)a (ALL USERS)

L3 LEP CLAUSE 8.6(2)b (ALL USERS)

L4 LEP CLAUSE 8.6(2)c (ALL USERS)

A1 ADG (NON - HABITABLE 9TH STOREY +)

A2 ADG (HABITABLE 9TH STOREY +)

Energy Rating Certificate Number 15212574

☐ single-dwelling rating
☒ multi-unit development (attach listing of ratings) *If selected, data specified is the average across the entire development*

5.3 stars
heating 35.8 MJ/m²
cooling 23.4 MJ/m²

Recessed downlights confirmation: ☐ Rated with ☒ Rated without

Assessor Name/Number Ved Baheti VIC/BDAV/13/1521

Assessor Signature Date 03/08/2020

Rev	Description	Date	App'd
H	DA AMMENDMENT	16.10.20	MB
G	DA AMMENDMENT	02.10.20	MB

Project
16-20 Belmore Street Wollongong

16-18 BELMORE STREET
WOLLONGONG NSW Australia

URBAN LINK
Business Address: Level 10, 11-15 Deane Street, Burwood NSW 2134
Postal Address: PO BOX 2223 Burwood North NSW 2134
Phone Number: +61 29745 2014

Nominated Architects:
Ziad Boumelhem Reg no 8008
Youssef El Khawaja Reg no 8933 Nicolas Toubia Reg no 9336

Drawing Title
FLOOR PLANS
LEVEL 13

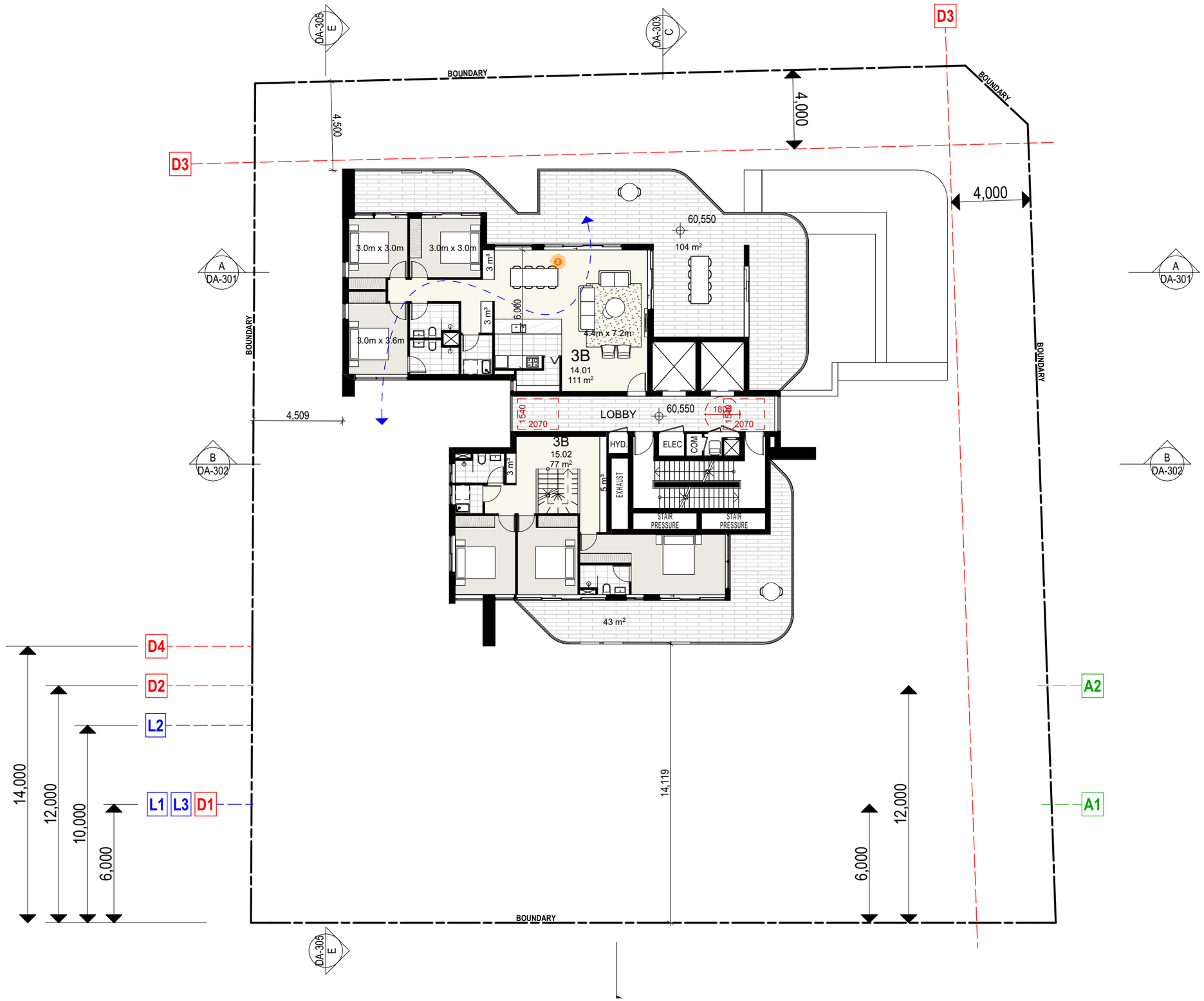
Checked/Approved

Scale
1:200 @A3 Sheet Size

Project Number
19055

Drawing Number Revision
DA-112 H

Status
DEVELOPMENT APPLICATION



LEVEL 14

SCALE 1:200

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Notes
1. CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK OR PREPARING SHOP DRAWINGS.
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NATURALLY CROSS VENTILATED
SATISFIES ADG REQUIREMENTS

ACHIEVES 'n' HOURS OF SUNLIGHT
ON 21ST OF JUNE BETWEEN 9AM-3PM TO SATISFY ADG REQUIREMENTS

D1 WOLLONGONG DCP 2.5.3 NON - HABITABLE (PODIUM - 45m)

D2 WOLLONGONG DCP 2.5.3 HABITABLE (PODIUM - 45m)

D3 WOLLONGONG DCP 2.2.3 (ALL USERS)

D4 WOLLONGONG DCP 2.5.3 ALL USES (ABOVE 45m)

L1 LEP CLAUSE 8.6(3)b (HABITABLE)

L2 LEP CLAUSE 8.6(3)a (ALL USERS)

L3 LEP CLAUSE 8.6(2)b (ALL USERS)

L4 LEP CLAUSE 8.6(2)c (ALL USERS)

A1 ADG (NON - HABITABLE 9TH STOREY +)

A2 ADG (HABITABLE 9TH STOREY +)

Energy Rating Certificate Number 15212574

☐ single-dwelling rating — 5.3 stars

☒ multi-unit development (attach listing of ratings) If selected, data specified is the average across the entire development — heating 35.8 MJ/m² — cooling 23.4 MJ/m²

Recessed downlights confirmation: ☐ Rated with ☒ Rated without

Assessor Name/Number Ved Baheti VIC/BDAV/13/1521

Assessor Signature _____ Date 03/08/2020

Rev	Description	Date	App'd
H	DA AMMENDMENT	16.10.20	MB
G	DA AMMENDMENT	02.10.20	MB

Project
16-20 Belmore Street Wollongong

16-18 BELMORE STREET
WOLLONGONG NSW Australia

URBAN LINK
Business Address: Level 10, 11-15 Deane Street, Burwood NSW 2134
Postal Address: PO BOX 2223 Burwood North NSW 2134
Phone Number: +61 29745 2014

Nominated Architects:
Ziad Boumelhem Reg no 8008
Youssef El Khawaja Reg no 8933
Nicolas Toubia Reg no 9336

Drawing Title
FLOOR PLANS
LEVEL 14

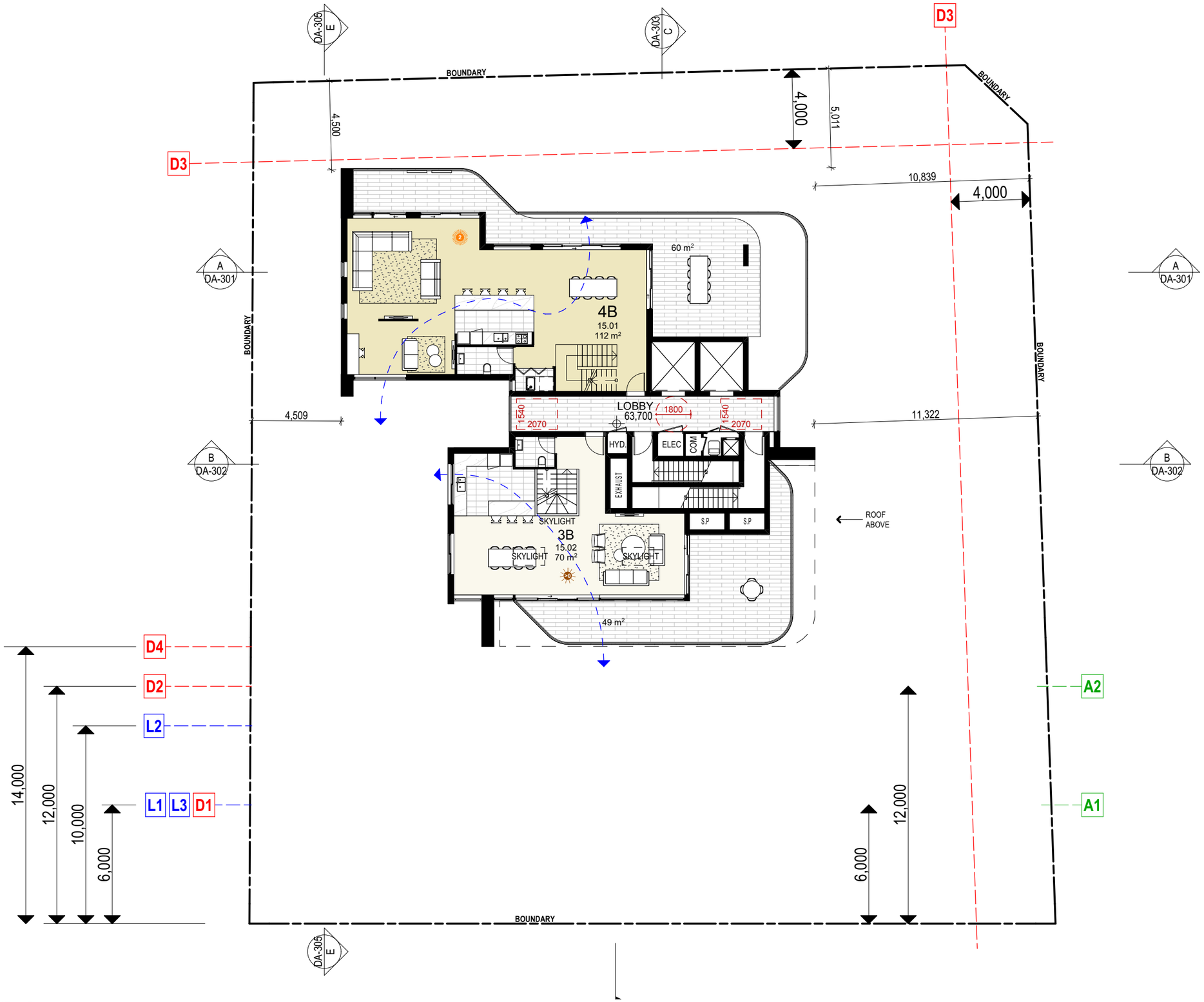
Checked/Approved

Scale
1:200 @A3 Sheet Size

Project Number
19055

Drawing Number Revision
DA-113 H

Status
DEVELOPMENT APPLICATION



LEVEL 15

SCALE 1:200

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Notes
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2. DO NOT SCALE DRAWINGS.
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NATURALLY CROSS VENTILATED
SATISFIES ADG REQUIREMENTS

ACHIEVES 'n' HOURS OF SUNLIGHT
ON 21ST OF JUNE BETWEEN 9AM-3PM TO SATISFY ADG REQUIREMENTS

D1 WOLLONGONG DCP 2.5.3 NON - HABITABLE (PODIUM - 45m)

D2 WOLLONGONG DCP 2.5.3 HABITABLE (PODIUM - 45m)

D3 WOLLONGONG DCP 2.2.3 (ALL USERS)

D4 WOLLONGONG DCP 2.5.3 ALL USES (ABOVE 45m)

L1 LEP CLAUSE 8.6(3)b (HABITABLE)

L2 LEP CLAUSE 8.6(3)a (ALL USERS)

L3 LEP CLAUSE 8.6(2)b (ALL USERS)

L4 LEP CLAUSE 8.6(2)c (ALL USERS)

A1 ADG (NON - HABITABLE 9TH STOREY +)

A2 ADG (HABITABLE 9TH STOREY +)

Energy Rating Certificate Number 15212574

☐ single-dwelling rating — 5.3 stars

☒ multi-unit development (attach listing of ratings) — heating 35.8 MJ/m² — cooling 23.4 MJ/m²

If selected, data specified is the average across the entire development

Recessed downlights confirmation: ☐ Rated with ☒ Rated without

Assessor Name/Number Ved Baheti VIC/BDAV/13/1521

Assessor Signature — Date 03/08/2020

Rev	Description	Date	App'd
H	DA AMMENDMENT	16.10.20	MB
G	DA AMMENDMENT	02.10.20	MB

Project
16-20 Belmore Street Wollongong

16-18 BELMORE STREET
WOLLONGONG NSW Australia

URBAN LINK
Business Address: Level 10, 11-15 Deane Street, Burwood NSW 2134
Postal Address: PO BOX 2223 Burwood North NSW 2134
Phone Number: +61 29745 2014

Nominated Architects:
Ziad Boumelhem Reg no 8008
Youssef El Khawaja Reg no 8933 Nicolas Toubia Reg no 9336

Drawing Title
FLOOR PLANS
LEVEL 15

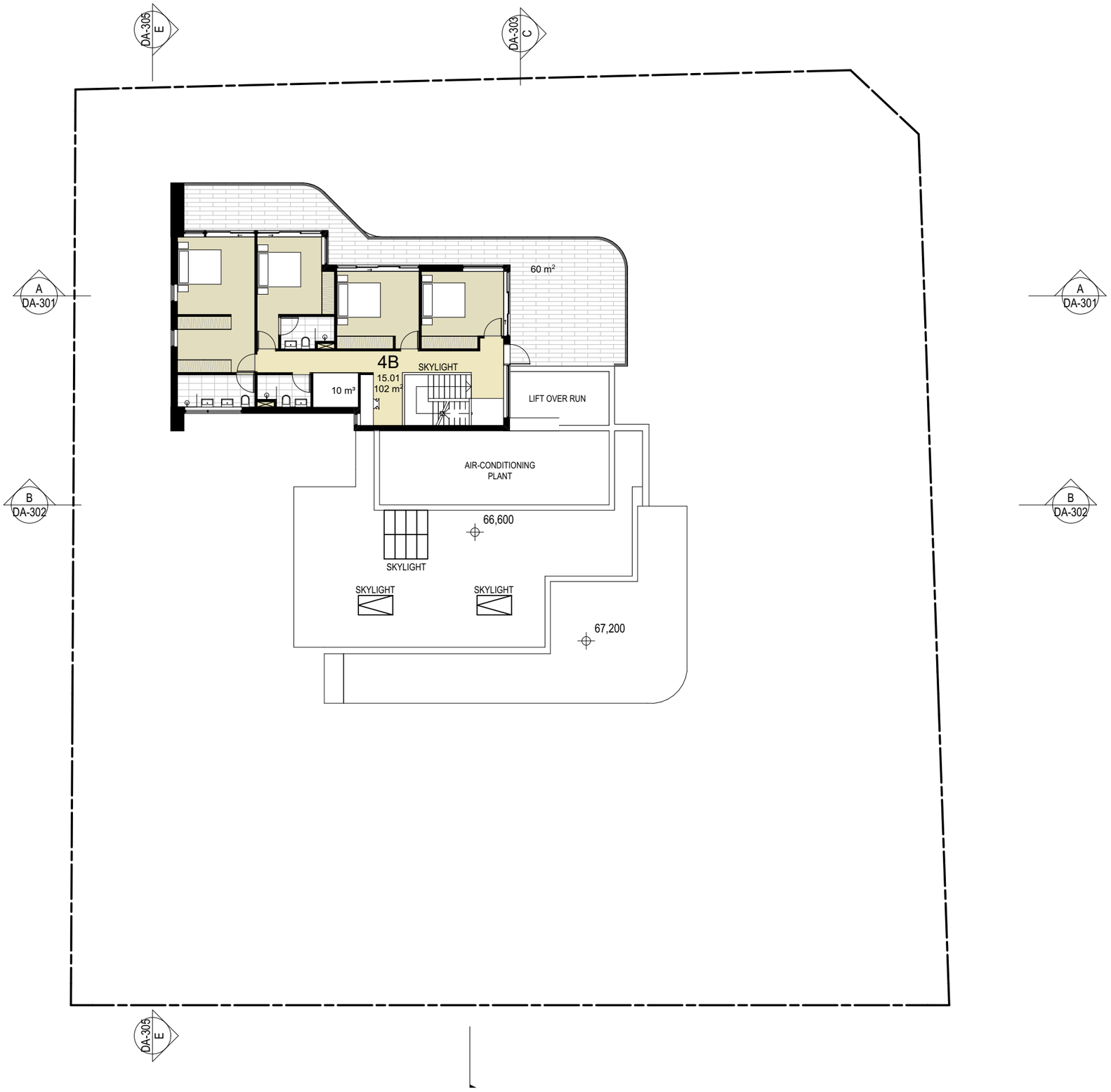
Checked/Approved

Scale
1:200 @A3 Sheet Size

Project Number **19055**

Drawing Number Revision **DA-114 H**

Status
DEVELOPMENT APPLICATION



LEVEL 16

SCALE 1:200

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Notes
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NATURALLY CROSS VENTILATED
SATISFIES ADG REQUIREMENTS

ACHIEVES 'n' HOURS OF SUNLIGHT
ON 21ST OF JUNE BETWEEN 9AM-3PM TO SATISFY ADG REQUIREMENTS

D1 WOLLONGONG DCP 2.5.3
NON - HABITABLE (PODIUM - 45m)

D2 WOLLONGONG DCP 2.5.3
HABITABLE (PODIUM - 45m)

D3 WOLLONGONG DCP 2.2.3
(ALL USERS)

D4 WOLLONGONG DCP 2.5.3
ALL USES (ABOVE 45m)

L1 LEP CLAUSE 8.6(3)b
(HABITABLE)

L2 LEP CLAUSE 8.6(3)a
(ALL USERS)

L3 LEP CLAUSE 8.6(2)b
(ALL USERS)

L4 LEP CLAUSE 8.6(2)c
(ALL USERS)

A1 ADG
(NON - HABITABLE 9TH STOREY +)

A2 ADG
(HABITABLE 9TH STOREY +)

Energy Rating Certificate Number 15212574

☐ single-dwelling rating — 5.3 stars
☒ multi-unit development (attach listing of ratings) — heating 35.8 MJ/m² — cooling 23.4 MJ/m²
If selected, data specified is the average across the entire development

Recessed downlights confirmation: ☐ Rated with ☒ Rated without

Assessor Name/Number Ved Baheti VIC/BDAV/13/1521

Assessor Signature _____ Date 03/08/2020

Rev	Description	Date	App'd
H	DA AMMENDMENT	16.10.20	MB
G	DA AMMENDMENT	02.10.20	MB

Project
16-20 Belmore Street Wollongong

16-18 BELMORE STREET
WOLLONGONG NSW Australia

URBAN LINK
Business Address: Level 10, 11-15 Deane Street, Burwood NSW 2134
Postal Address: PO BOX 2223 Burwood North NSW 2134
Phone Number: +61 29745 2014

Nominated Architects:
Ziad Boumelhem Reg no 8008
Youssef El Khawaja Reg no 8933 Nicolas Toubia Reg no 9336

Drawing Title
FLOOR PLANS
LEVEL 16

Checked/Approved

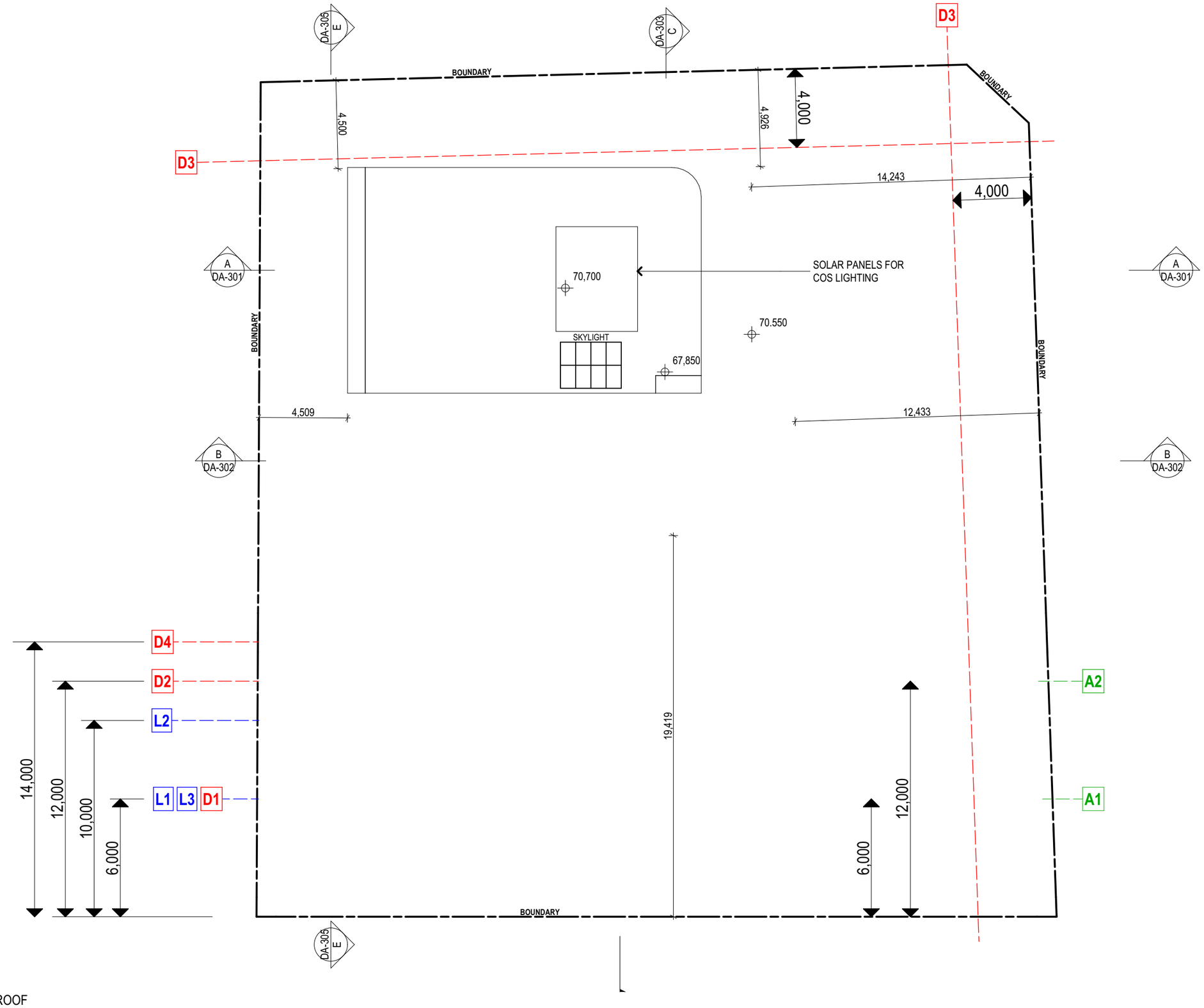
Scale
1:200 @A3 Sheet Size

Project Number
19055

Drawing Number Revision
DA-115 H

Status
DEVELOPMENT APPLICATION

2020-024 DA 16-20 Belmore Street Wollongong 19/10/202012:47 PM



ROOF

SCALE 1:200

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Notes
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NATURALLY CROSS VENTILATED
SATISFIES ADG REQUIREMENTS

ACHIEVES 'n' HOURS OF SUNLIGHT
ON 21ST OF JUNE BETWEEN 9AM-3PM TO SATISFY ADG REQUIREMENTS

D1 WOLLONGONG DCP 2.5.3 NON - HABITABLE (PODIUM - 45m)

D2 WOLLONGONG DCP 2.5.3 HABITABLE (PODIUM - 45m)

D3 WOLLONGONG DCP 2.2.3 (ALL USERS)

D4 WOLLONGONG DCP 2.5.3 ALL USES (ABOVE 45m)

L1 LEP CLAUSE 8.6(3)b (HABITABLE)

L2 LEP CLAUSE 8.6(3)a (ALL USERS)

L3 LEP CLAUSE 8.6(2)b (ALL USERS)

L4 LEP CLAUSE 8.6(2)c (ALL USERS)

A1 ADG (NON - HABITABLE 9TH STOREY +)

A2 ADG (HABITABLE 9TH STOREY +)

Energy Rating Certificate Number 15212574

☐ single-dwelling rating — 5.3 stars

☒ multi-unit development (attach listing of ratings) If selected, data specified is the average across the entire development — heating 35.8 MJ/m² — cooling 23.4 MJ/m²

Recessed downlights confirmation: ☐ Rated with ☒ Rated without

Assessor Name/Number Ved Baheti VIC/BDAV/13/1521

Assessor Signature Date 03/08/2020

Rev	Description	Date	App'd
H	DA AMMENDMENT	16.10.20	MB
G	DA AMMENDMENT	02.10.20	MB

Project
16-20 Belmore Street Wollongong

16-18 BELMORE STREET
WOLLONGONG NSW Australia

URBAN LINK
Business Address: Level 10, 11-15 Deane Street, Burwood NSW 2134
Postal Address: PO BOX 2223 Burwood North NSW 2134
Phone Number: +61 29745 2014

Nominated Architects:
Ziad Boumelhem Reg no 8008
Youssef El Khawaja Reg no 8933 Nicolas Toubia Reg no 9336

Drawing Title
FLOOR PLANS
ROOF PLAN

Checked/Approved

Scale
1:200 @A3 Sheet Size

Project Number **19055**

Drawing Number **DA-116** Revision **H**

Status
DEVELOPMENT APPLICATION

2020-024 DA 16-20 Belmore Street Wollongong 19/10/202012:47 PM

EXTERNAL FINISHES SCHEDULE

1 - PERFORATED MESH
WHITE

2 - CFC PANEL
CEMINTEL
"BARESTONE"
FACTORY FINISH

3 - CONCRETE
NAWKAW COLOUR
STAIN FINISH (25YR
WARRANTY) TO
MATCH DULUX "VIVID
WHITE" OR SIMILAR

4C 4B 4A

4 - ALUMINIUM
EXTRUDED BLADES
POWDERCOAT IN
DULUX DURATEC
4A "ZUES CHARCOAL",
4B "ZUES GREY" &
4C "ZEUS LUNAR GREY"

5 - EQUITONE
TECTIVA TE 80
FACTORY FINISH

6 - POWDER COATING
DULUX DURATEC
"ZUES CHARCOAL" OR
SIMILAR

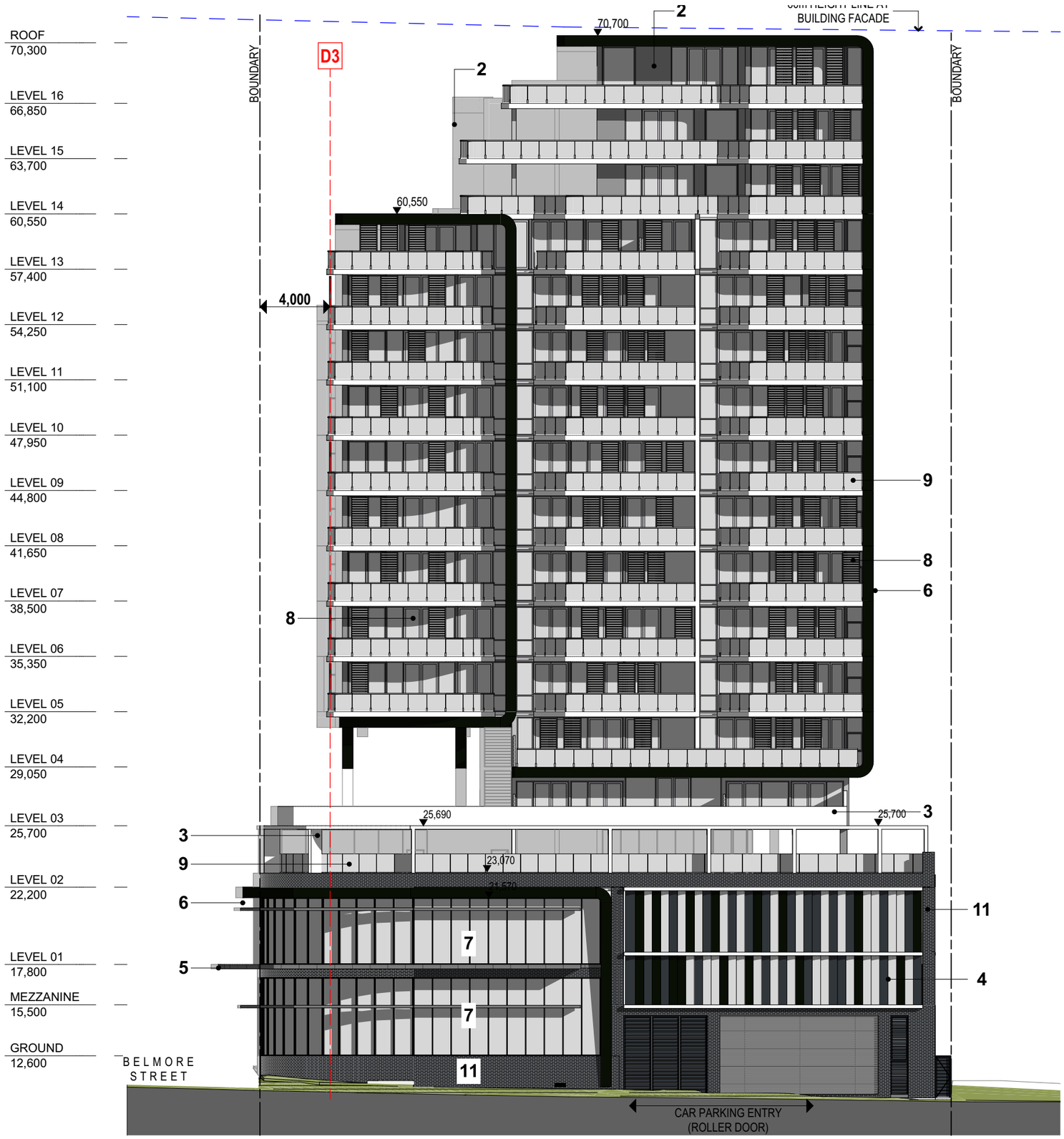
7 - GLASS
(COMMERCIAL)
G-JAMES - CLEAR
GLASS OR SIMILAR

8 - GLASS
(RESIDENTIAL)
GREY GLASS

9 - GLASS
BALUSTRADE
CLEAR GLASS

10 - CONCRETE OR
JAMES HARDIE
EXOTEC
NAWKAW COLOUR
STAIN FINISH (25YR
WARRANTY) IN GREY
CAST IN OR ROUTED
GROOVED PATTERN

11 - BRICK
PGH 'ACADEMY NOBEL'



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Notes
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DIAL BEFORE YOU DIG 1100 SERVICE

D1 WOLLONGONG DCP 2.5.3
NON - HABITABLE (PODIUM - 45m)

D2 WOLLONGONG DCP 2.5.3
HABITABLE (PODIUM - 45m)

D3 WOLLONGONG DCP 2.2.3
(ALL USERS)

D4 WOLLONGONG DCP 2.5.3
ALL USES (ABOVE 45m)

L1 LEP CLAUSE 8.6(3)b
(HABITABLE)

L2 LEP CLAUSE 8.6(3)a
(ALL USERS)

L3 LEP CLAUSE 8.6(2)b
(ALL USERS)

L4 LEP CLAUSE 8.6(2)c
(ALL USERS)

A1 ADG
(NON - HABITABLE 9TH STOREY +)

A2 ADG
(HABITABLE 9TH STOREY +)

Energy Rating Certificate Number 15212574

☐ single-dwelling rating — 5.3 stars
☒ multi-unit development (attach listing of ratings) — heating 35.8 MJ/m² — cooling 23.4 MJ/m²
If selected, data specified is the average across the entire development

Recessed downlights confirmation: ☐ Rated with ☒ Rated without

Assessor Name/Number Ved Baheti VIC/BDAV/13/1521

Assessor Signature — Date 03/08/2020

Rev	Description	Date	App'd
H	DA AMMENDMENT	16.10.20	MB
G	DA AMMENDMENT	02.10.20	MB

Project
16-20 Belmore Street Wollongong

16-18 BELMORE STREET
WOLLONGONG NSW Australia

URBAN LINK
Business Address: Level 10, 11-15 Deane Street, Burwood NSW 2134
Postal Address: PO BOX 2223 Burwood North NSW 2134
Phone Number: +61 29745 2014

Nominated Architects:
Ziad Boumelhem Reg no 8008
Youssef El Khawaja Reg no 8933 Nicolas Toubia Reg no 9336

Drawing Title
ELEVATIONS
NORTH ELEVATION

Checked/Approved

Scale
1:250 @A3 Sheet Size

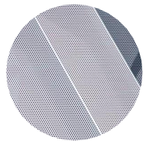
Project Number
19055

Drawing Number Revision
DA-201 H

Status
DEVELOPMENT APPLICATION

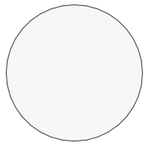
2020-024 DA 16-20 Belmore Street Wollongong 23/10/202012:27 PM

EXTERNAL FINISHES SCHEDULE

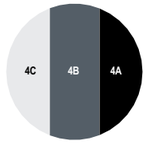


1 - PERFORATED MESH
WHITE

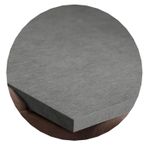
2 - CFC PANEL
CEMINTEL
"BARESTONE"
FACTORY FINISH



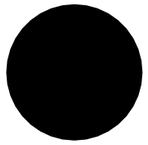
3 - CONCRETE
NAWKAW COLOUR
STAIN FINISH (25YR
WARRANTY) TO
MATCH DULUX "VIVID
WHITE" OR SIMILAR



4 - ALUMINIUM
EXTRUDED BLADES
POWDERCOAT IN
DULUX DURATEC
4A "ZUES CHARCOAL",
4B "ZUES GREY" &
4C "ZEUS LUNAR GREY"



5 - EQUITONE
TECTIVA TE 80
FACTORY FINISH



6 - POWDER COATING
DULUX DURATEC
"ZUES CHARCOAL" OR
SIMILAR

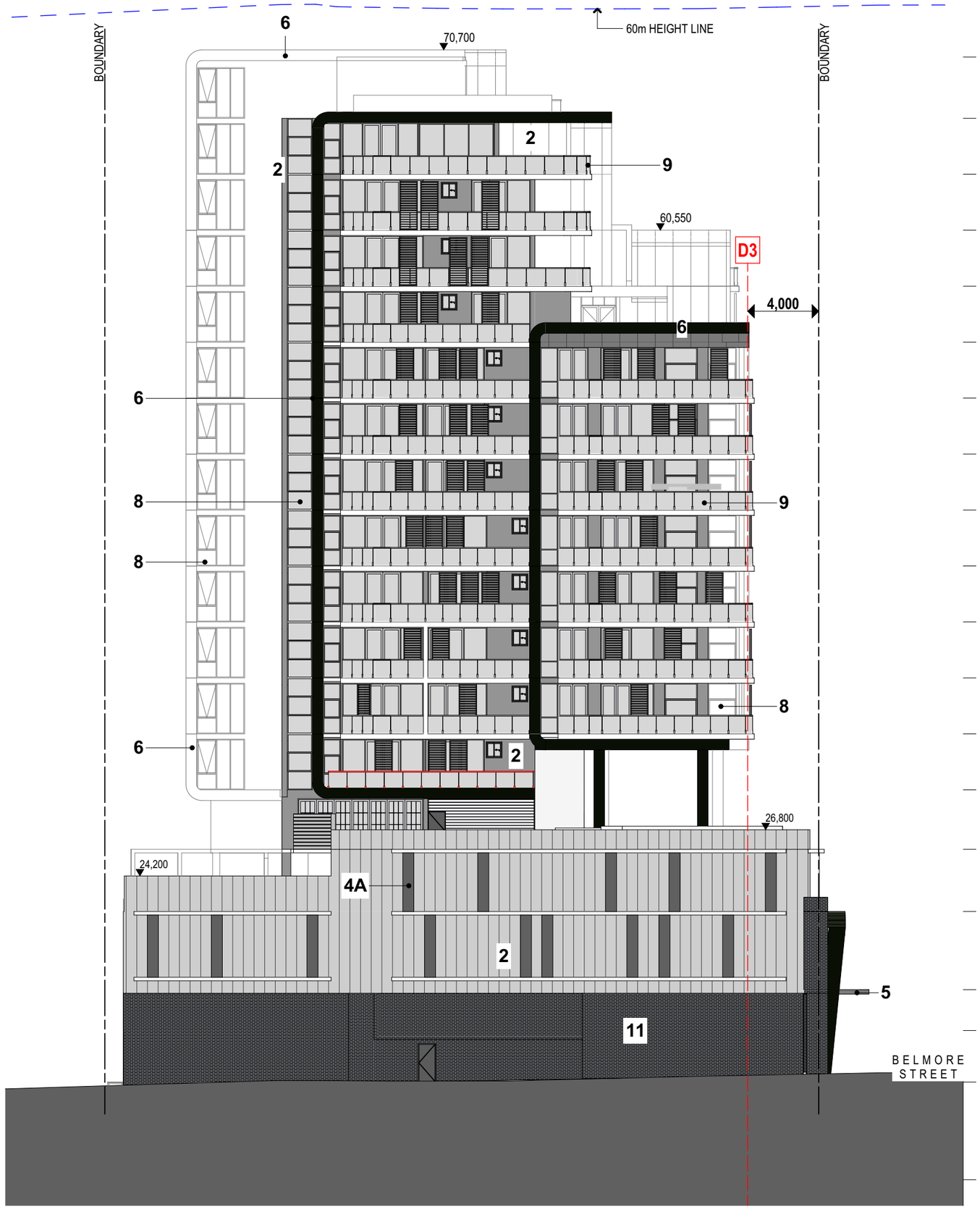
7 - GLASS
(COMMERCIAL)
G-JAMES - CLEAR
GLASS OR SIMILAR

8 - GLASS
(RESIDENTIAL)
GREY GLASS

9 - GLASS
BALUSTRADE
CLEAR GLASS

10 - CONCRETE OR
JAMES HARDIE
EXOTEC
NAWKAW COLOUR
STAIN FINISH (25YR
WARRANTY) IN GREY
CAST IN OR ROUTED
GROOVED PATTERN

11 - BRICK
PGH 'ACADEMY NOBEL'



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Notes
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DIAL BEFORE YOU DIG 1100 SERVICE

D1	WOLLONGONG DCP 2.5.3 NON - HABITABLE (PODIUM - 45m)
D2	WOLLONGONG DCP 2.5.3 HABITABLE (PODIUM - 45m)
D3	WOLLONGONG DCP 2.2.3 (ALL USERS)
D4	WOLLONGONG DCP 2.5.3 ALL USES (ABOVE 45m)
L1	LEP CLAUSE 8.6(3)b (HABITABLE)
L2	LEP CLAUSE 8.6(3)a (ALL USERS)
L3	LEP CLAUSE 8.6(2)b (ALL USERS)
L4	LEP CLAUSE 8.6(2)c (ALL USERS)
A1	ADG (NON - HABITABLE 9TH STOREY +)
A2	ADG (HABITABLE 9TH STOREY +)

Energy Rating Certificate Number 15212574

☐ single-dwelling rating — 5.3 stars
☒ multi-unit development (attach listing of ratings) — heating 35.8 MJ/m² — cooling 23.4 MJ/m²
If selected, data specified is the average across the entire development

Recessed downlights confirmation: ☐ Rated with ☒ Rated without

Assessor Name/Number Ved Baheti VIC/BDAV/13/1521

Assessor Signature _____ Date 03/08/2020

Rev	Description	Date	App'd
H	DA AMMENDMENT	16.10.20	MB
G	DA AMMENDMENT	02.10.20	MB

Project
16-20 Belmore Street Wollongong

16-18 BELMORE STREET
WOLLONGONG NSW Australia

URBAN LINK
Business Address: Level 10, 11-15 Deane Street, Burwood NSW 2134
Postal Address: PO BOX 2223 Burwood North NSW 2134
Phone Number: +61 29745 2014

Nominated Architects:
Ziad Boumelhem Reg no 8008
Youssef El Khawaja Reg no 8933 Nicolas Toubia Reg no 9336

Drawing Title
ELEVATIONS
SOUTH ELEVATION

Checked/Approved

Scale
1:250 @A3 Sheet Size

Project Number
19055

Drawing Number Revision
DA-202 H

Status
DEVELOPMENT APPLICATION

EXTERNAL FINISHES SCHEDULE

1 - PERFORATED MESH
WHITE

2 - CFC PANEL
CEMINTEL
"BARESTONE"
FACTORY FINISH

3 - CONCRETE
NAWKAW COLOUR
STAIN FINISH (25YR
WARRANTY) TO
MATCH DULUX "VIVID
WHITE" OR SIMILAR

4 - ALUMINIUM
EXTRUDED BLADES
POWDERCOAT IN
DULUX DURATEC
4A "ZUES CHARCOAL",
4B "ZUES GREY" &
4C "ZEUS LUNAR GREY"

5 - EQUITONE
TECTIVA TE 80
FACTORY FINISH

6 - POWDER COATING
DULUX DURATEC
"ZUES CHARCOAL" OR
SIMILAR

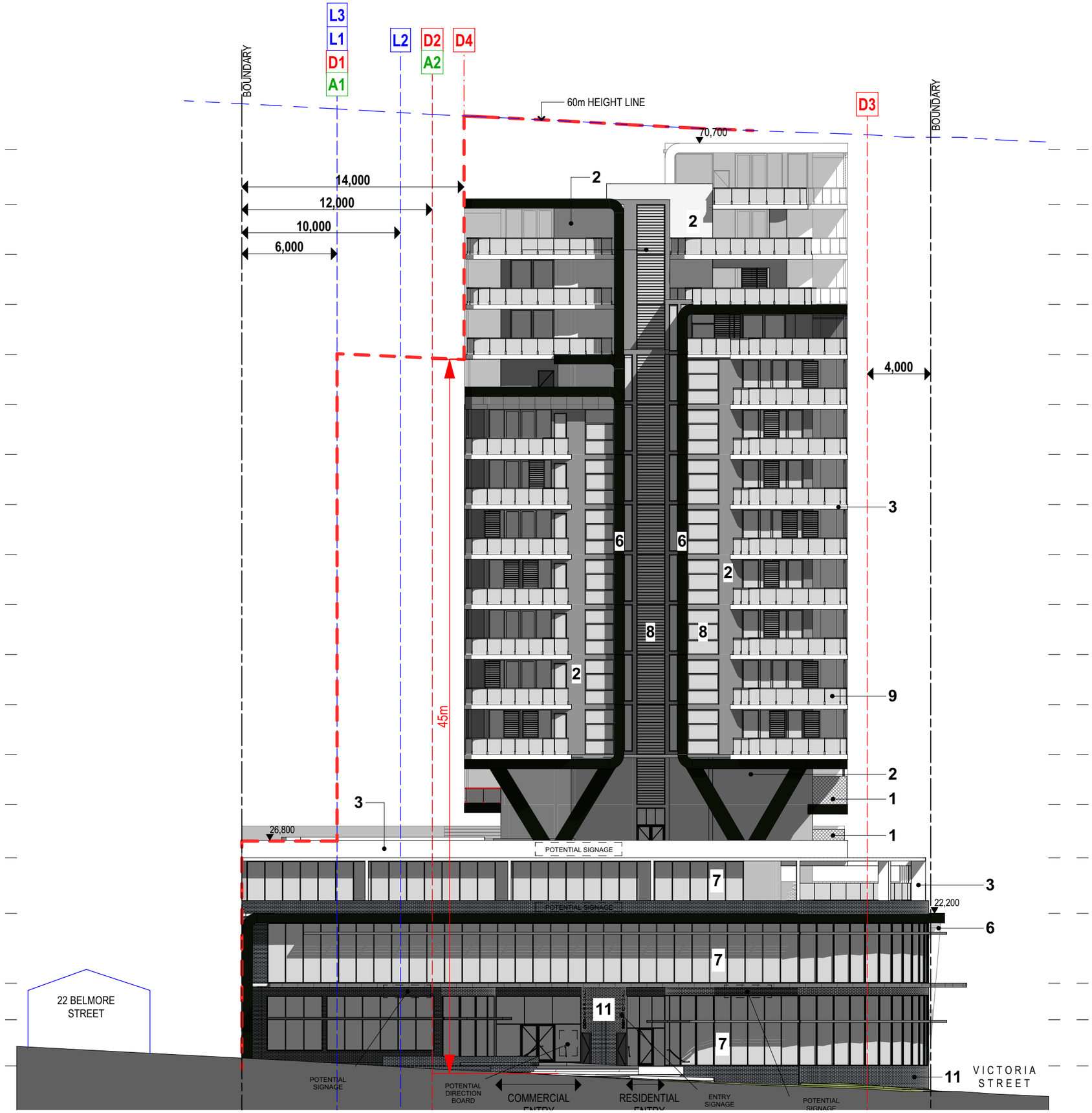
7 - GLASS
(COMMERCIAL)
G-JAMES - CLEAR
GLASS OR SIMILAR

8 - GLASS
(RESIDENTIAL)
GREY GLASS

9 - GLASS
BALUSTRADE
CLEAR GLASS

10 - CONCRETE OR
JAMES HARDIE
EXOTEC
NAWKAW COLOUR
STAIN FINISH (25YR
WARRANTY) IN GREY
CAST IN OR ROUTED
GROOVED PATTERN

11 - BRICK
PGH 'ACADEMY NOBEL'



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Notes
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D1 WOLLONGONG DCP 2.5.3
NON - HABITABLE (PODIUM - 45m)

D2 WOLLONGONG DCP 2.5.3
HABITABLE (PODIUM - 45m)

D3 WOLLONGONG DCP 2.2.3
(ALL USERS)

D4 WOLLONGONG DCP 2.5.3
ALL USES (ABOVE 45m)

L1 LEP CLAUSE 8.6(3)b
(HABITABLE)

L2 LEP CLAUSE 8.6(3)a
(ALL USERS)

L3 LEP CLAUSE 8.6(2)b
(ALL USERS)

L4 LEP CLAUSE 8.6(2)c
(ALL USERS)

A1 ADG
(NON - HABITABLE 9TH STOREY +)

A2 ADG
(HABITABLE 9TH STOREY +)

Energy Rating Certificate Number 15212574

☐ single-dwelling rating — 5.3 stars
☒ multi-unit development (attach listing of ratings) If selected, data specified is the average across the entire development — heating 35.8 MJ/m² — cooling 23.4 MJ/m²

Recessed downlights confirmation: ☐ Rated with ☒ Rated without

Assessor Name/Number Ved Baheti VIC/BDAV/13/1521

Assessor Signature — Date 03/08/2020

Rev	Description	Date	App'd
H	DA AMMENDMENT	16.10.20	MB
G	DA AMMENDMENT	02.10.20	MB

Project
16-20 Belmore Street Wollongong

16-18 BELMORE STREET
WOLLONGONG NSW Australia

URBAN LINK
Business Address: Level 10, 11-15 Deane Street, Burwood NSW 2134
Postal Address: PO BOX 2223 Burwood North NSW 2134
Phone Number: +61 29745 2014

Nominated Architects:
Ziad Boumelhem Reg no 8008
Youssef El Khawaja Reg no 8933 Nicolas Toubia Reg no 9336

Drawing Title
ELEVATIONS
EAST ELEVATION

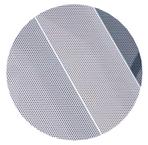
Checked/Approved

Scale
1:250 @A3 Sheet Size

Project Number **19055**
Drawing Number **DA-203** Revision **H**

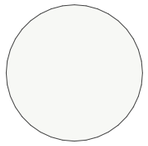
Status
DEVELOPMENT APPLICATION

EXTERNAL FINISHES SCHEDULE

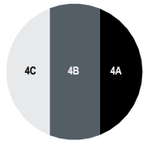


1 - PERFORATED MESH
WHITE

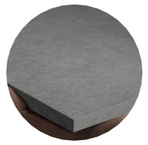
2 - CFC PANEL
CEMINTEL
"BARESTONE"
FACTORY FINISH



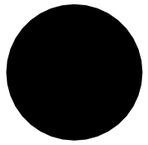
3 - CONCRETE
NAWKAW COLOUR
STAIN FINISH (25YR
WARRANTY) TO
MATCH DULUX "VIVID
WHITE" OR SIMILAR



4 - ALUMINIUM
EXTRUDED BLADES
POWDERCOAT IN
DULUX DURATEC
4A "ZUES CHARCOAL",
4B "ZUES GREY" &
4C "ZEUS LUNAR GREY"



5 - EQUITONE
TECTIVA TE 80
FACTORY FINISH



6 - POWDER COATING
DULUX DURATEC
"ZUES CHARCOAL" OR
SIMILAR

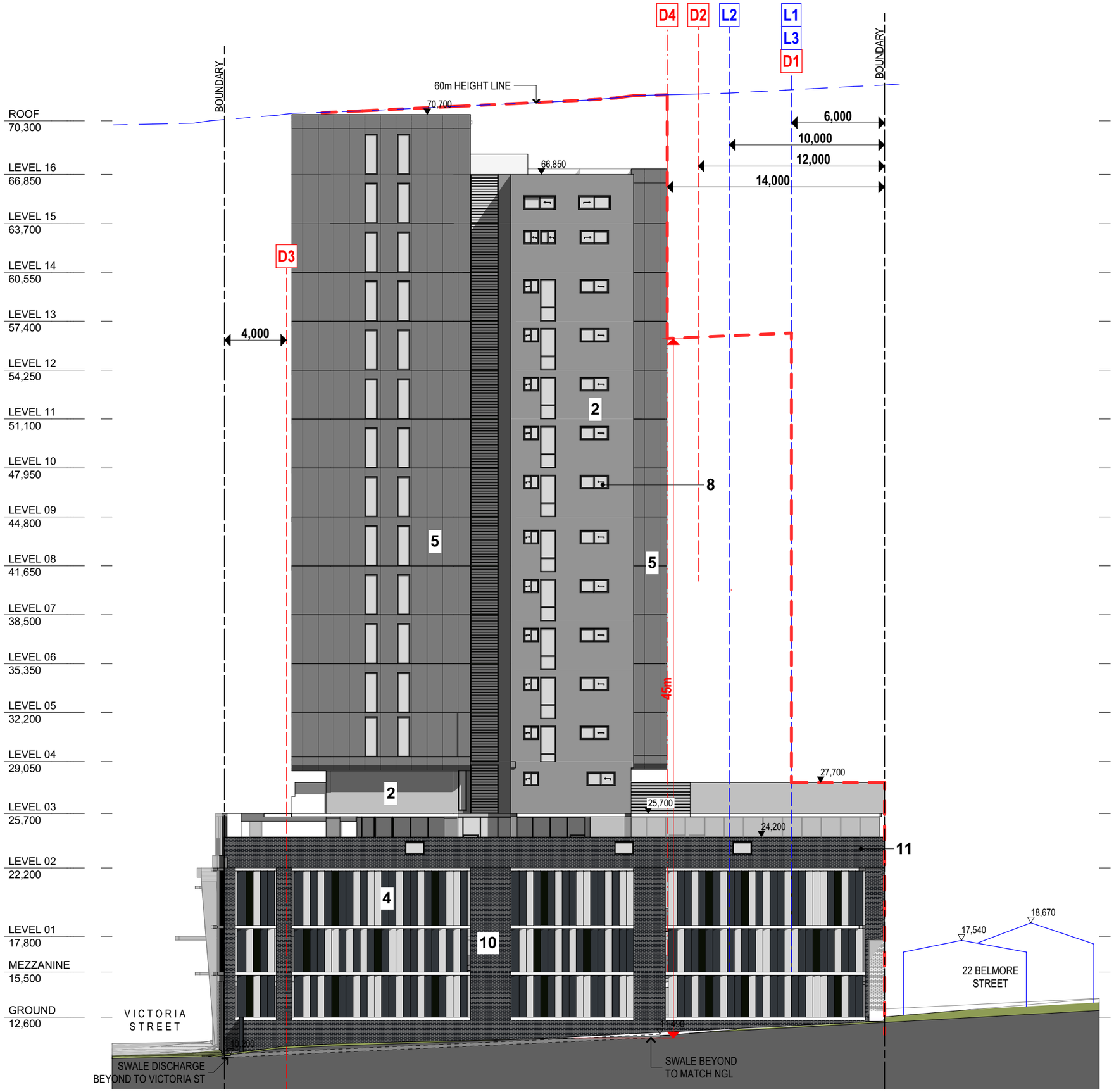
7 - GLASS
(COMMERCIAL)
G-JAMES - CLEAR
GLASS OR SIMILAR

8 - GLASS
(RESIDENTIAL)
GREY GLASS

9 - GLASS
BALUSTRADE
CLEAR GLASS

10 - CONCRETE OR
JAMES HARDIE
EXOTEC
NAWKAW COLOUR
STAIN FINISH (25YR
WARRANTY) IN GREY
CAST IN OR ROUTED
GROOVED PATTERN

11 - BRICK
PGH 'ACADEMY NOBEL'



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D1 WOLLONGONG DCP 2.5.3
NON - HABITABLE (PODIUM - 45m)

D2 WOLLONGONG DCP 2.5.3
HABITABLE (PODIUM - 45m)

D3 WOLLONGONG DCP 2.2.3
(ALL USERS)

D4 WOLLONGONG DCP 2.5.3
ALL USES (ABOVE 45m)

L1 LEP CLAUSE 8.6(3)b
(HABITABLE)

L2 LEP CLAUSE 8.6(3)a
(ALL USERS)

L3 LEP CLAUSE 8.6(2)b
(ALL USERS)

L4 LEP CLAUSE 8.6(2)c
(ALL USERS)

A1 ADG
(NON - HABITABLE 9TH STOREY +)

A2 ADG
(HABITABLE 9TH STOREY +)

Energy Rating Certificate Number 15212574

☐ single-dwelling rating — 5.3 stars
☒ multi-unit development (attach listing of ratings) — heating 35.8 MJ/m² — cooling 23.4 MJ/m²
If selected, data specified is the average across the entire development

Recessed downlights confirmation: ☐ Rated with ☒ Rated without

Assessor Name/Number Ved Baheti VIC/BDAV/13/1521

Assessor Signature _____ Date 03/08/2020

Rev	Description	Date	App'd
H	DA AMMENDMENT	16.10.20	MB
G	DA AMMENDMENT	02.10.20	MB

Project
16-20 Belmore Street Wollongong

16-18 BELMORE STREET
WOLLONGONG NSW Australia

URBAN LINK
Business Address: Level 10, 11-15 Deane Street, Burwood NSW 2134
Postal Address: PO BOX 2223 Burwood North NSW 2134
Phone Number: +61 29745 2014

Nominated Architects:
Ziad Boumelhem Reg no 8008
Youssef El Khawaja Reg no 8933
Nicolas Toubia Reg no 9336

Drawing Title
ELEVATIONS
WEST ELEVATION

Checked/Approved

Scale
1:250 @A3 Sheet Size

Project Number
19055

Drawing Number Revision
DA-204 H

Status
DEVELOPMENT APPLICATION

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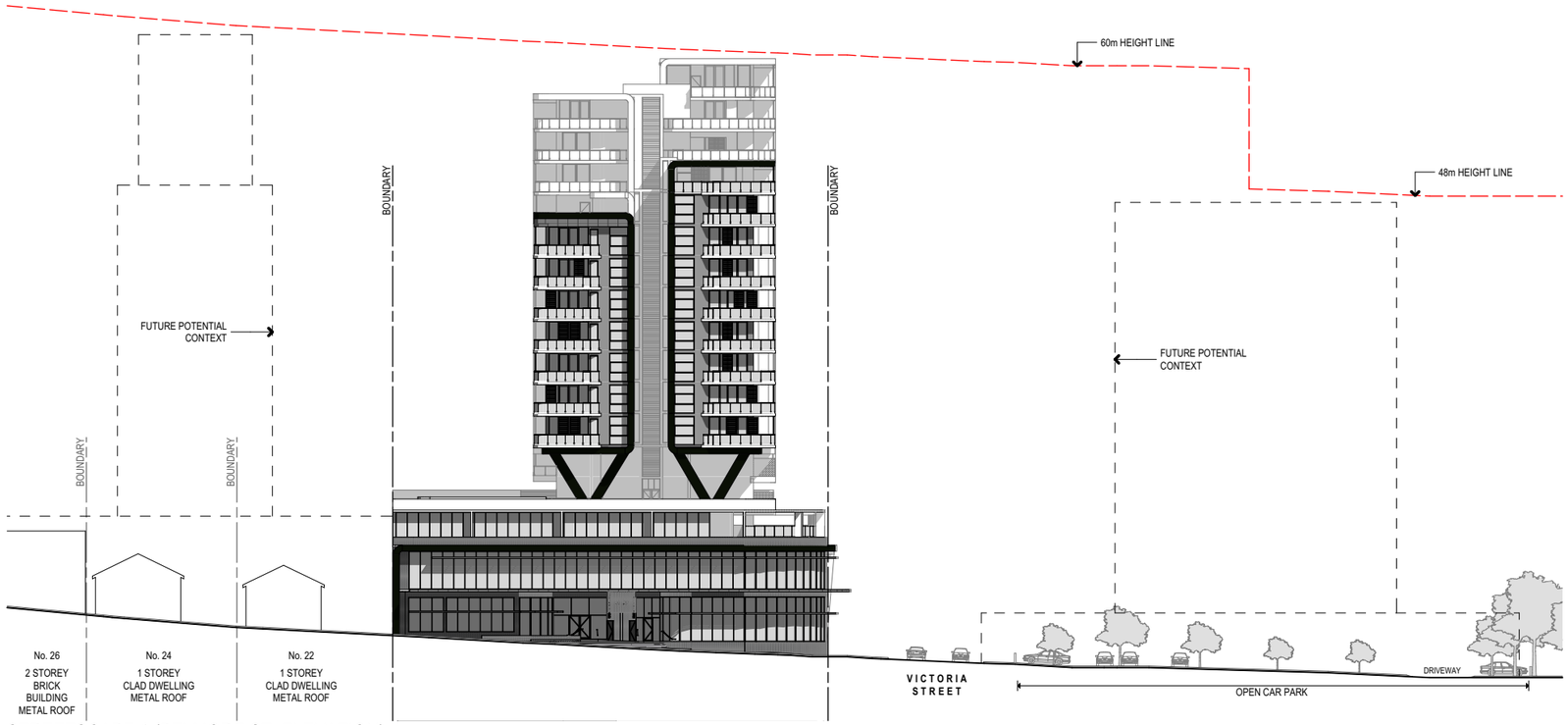
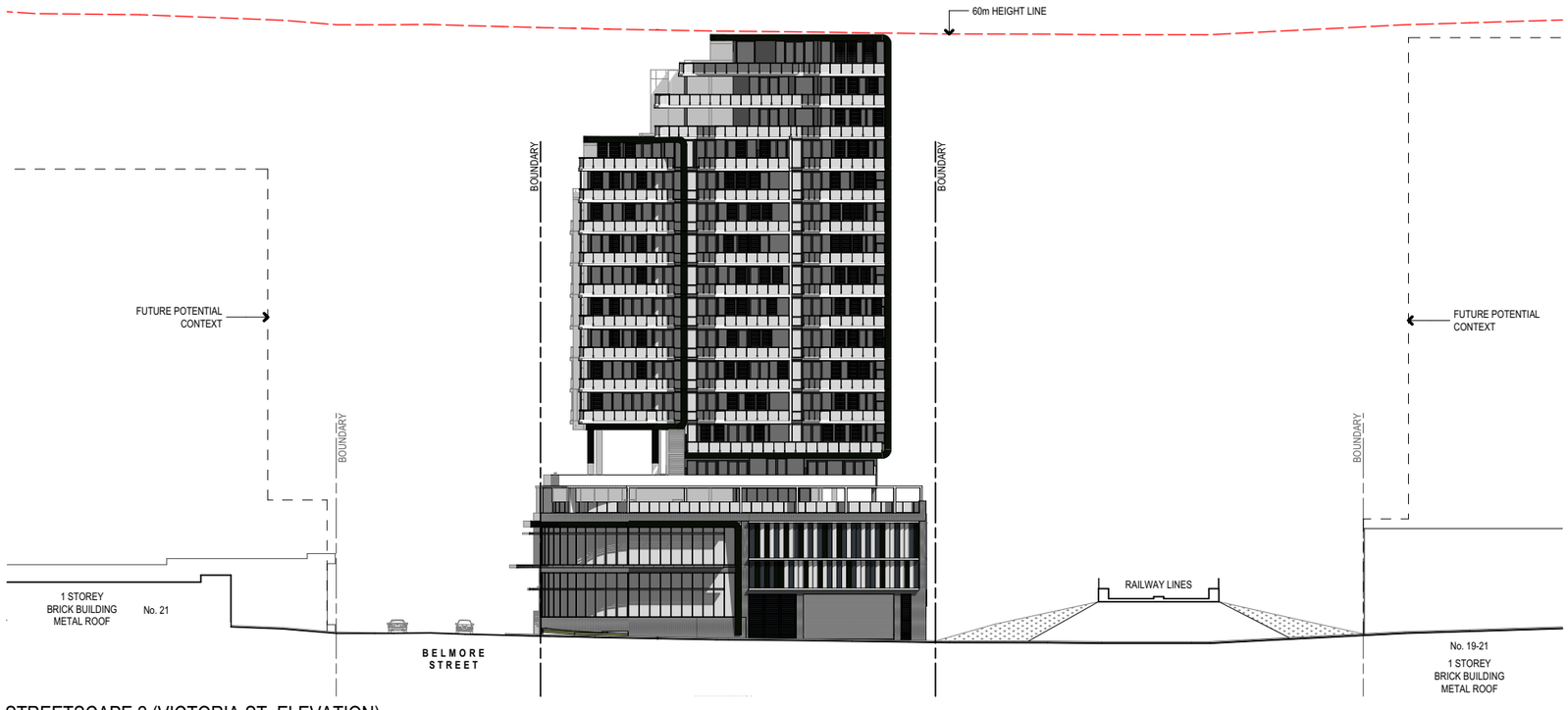


STREETSCAPE 1 (BELMORE ST. ELEVATION)

SCALE 1:600



STREETSCAPE 2 (VICTORIA ST. ELEVATION)

SCALE 1:600

BASIX COMMITMENTS SUMMERY NOTES (TO BE READ IN CONJUNCTION WITH BASIX CERTIFICATE)				
Assessor # BDAV/13/1521 BASIX Certificate #1045383M_03 Assessor's Certificate # 15212574				
Assessor's name: Ved Baheti m: 0421 530 876 e: ved@outsourceideas.com.au				
WATER	No hot water reticulation required			
Fixtures	**All shower heads**	**All toilets**	**All kitchen taps**	**All bathrooms taps**
Rating	4 Star(>4.5 But<=6L/Min	3 star	3 star	3 star
Appliances	**Dishwasher**	**Cloth Washer**		
Rating	3 star	Not specified		
Common area	**Taps**	**All toilets**	**Common kitchen taps**	**Common bath rms**
	4 Star	na	na	na
Alternate water source				
	Type	**Size**	**Roof area connected**	**Connections**
	…	…	…	…
ENERGY				
Hot water	**Type**		**Specification**	
	Individual: Gas instantaneous		6 star	
Mech. Ventilation	**System**		**Operation Control**	
Bath	Indiv. fan, ducted to facade or roof		Manual Switch On/Off	
L'dry	Indiv. fan, ducted to facade or roof		Manual Switch On/Off	
Kitchen	Indiv. fan, ducted to facade or roof		Manual Switch On/Off	
Cooling System	**Type**		**Living areas**	**Bed rooms**
	1 Phase Air conditioning: Day / Night Zoned		EER > 4.0	EER > 4.0
Heating System	**Type**		**Living areas**	**Bed rooms**
	1 Phase Air conditioning: Day / Night Zoned		EER > 4.0	EER > 4.0
Artificial Lighting	**Primary type of artificial lighting is fluorescent or light emitting diode (LED)**			
	No. of Bed rms	**No. of Living**	**Kitchen**	**Toilet, L'dry, Hall, Toilet**
Dedicated	All	All	All	All
Others	Indoor private Cloth Line		No	
	Outdoor or sheltered common Cloth Line		No	
	Well ventilated Fridge space		Yes	
	Kitchen Cook top / Oven		Gas Cook top + Electric Oven	
Appliances	**Dishwasher**	**Cloth Dryer**	**Cloth Washer**	**Refrigerator**
Rating	4 star	..	…	…
Central System	**Type**		**Service Levels**	**Lighting**
Lifts	Gearless Traction With VVVF Motor		As per drawings	As nominated below
Common areas	**Ventilation System**	**Ventilation Efficiency measure**	**Primary type of artificial lighting**	**Lighting Efficiency measure**
Car parking areas	Ventilation Exhaust Only	Carbon Monoxide Monitor + 2 Speed Fan	Fluorescent	daylight sensor and motion sensor
Garbage rooms	Ventilation Exhaust Only	..	Fluorescent	motion sensors
Plant rooms, Service rooms	Mo Mech. Ventilation	..	Fluorescent	daylight sensor and motion sensor
GF Lobby	Mo Mech. Ventilation	..	Fluorescent	daylight sensor and motion sensor
Hallways & Lobby's L1-L12	Mo Mech. Ventilation	..	Fluorescent	daylight sensor and motion sensor
Lifts	Mo Mech. Ventilation	..	LED	Connected to Lift Call button
THERMAL	As per thermal simulation carried out by assessor			
	Refer assessor's stamped drawings with NatHERS Commitments for Wall insulation, Ceiling Insulation, Glazing details etc.			

Energy Rating Certificate Number 15212574

☐ single-dwelling rating

☒ multi-unit development (attach listing of ratings) *If selected, data specified is the average across the entire development*

5.3 stars

heating 35.8 MJ/m²

cooling 23.4 MJ/m²

Recessed downlights confirmation: ☐ Rated with ☒ Rated without

Assessor Name/Number Ved Baheti VIC/BDAV/13/1521

Assessor Signature Date 03/08/2020

Rev	Description	Date	App'd
H	DA AMMENDMENT	16.10.20	MB
G	DA AMMENDMENT	02.10.20	MB

Project

16-20 Belmore Street Wollongong

16-18 BELMORE STREET
WOLLONGONG NSW Australia

URBAN LINK
Business Address: Level 10, 11-15 Deane Street, Burwood NSW 2134
Postal Address: PO BOX 2223 Burwood North NSW 2134
Phone Number: +61 29745 2014

Nominated Architects:
Ziad Boumelhem Reg no 8008
Youssef El Khawaja Reg no 8933 Nicolas Toubia Reg no 9336

Drawing Title

ELEVATIONS

STREETSCAPE ELEVATIONS

Checked/Approved

Scale

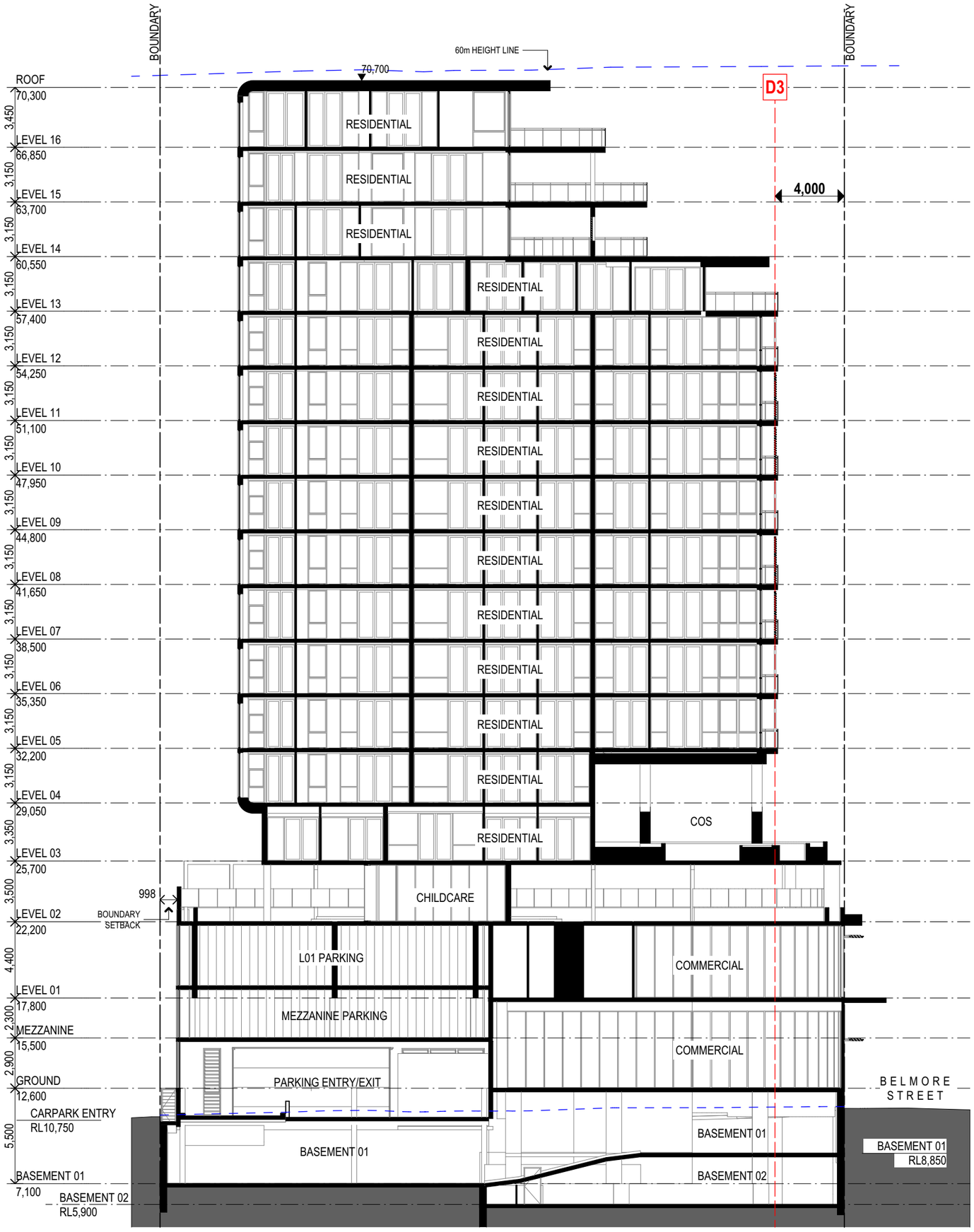
1:600 @A3 Sheet Size

Project Number **19055**

Drawing Number **DA-205** Revision **H**

Status

DEVELOPMENT APPLICATION



Assessor # BDAV/13/1521 Assessor's Cert # 15212574			
Thermal Load & NatHERS Spec			
Unit no.	Heating load MJ/m2/yr	Cooling load MJ/m2/yr	Star Rating
3.01	38	25	5.2
3.02	39	26	5.1
3.03	38	26	5.1
3.04	35	22	5.6
3.05	37	23	5.5
4.01	32	21	5.7
4.02	35	22	5.4
4.03	36	24	5.3
4.04	31	21	5.7
4.05	34	22	5.4
5.01	32	21	5.7
5.02	35	22	5.4
5.03	36	24	5.3
5.04	35	23	5.4
5.05	34	23	5.3
6.01	32	21	5.7
6.02	35	22	5.4
6.03	36	24	5.3
6.04	35	23	5.4
6.05	34	23	5.3
7.01	33	22	5.7
7.02	36	23	5.4
7.03	36	25	5.3
7.04	34	24	5.4
7.05	33	23	5.3
8.01	33	22	5.7
8.02	36	23	5.4
8.03	36	25	5.3
8.04	34	24	5.4
8.05	33	23	5.3
9.01	33	22	5.7
9.02	36	23	5.4
9.03	36	25	5.3
9.04	34	24	5.4
9.05	33	23	5.3
10.01	37	23	5.2
10.02	40	25	5.1
10.03	34	22	5.6
10.04	38	23	5.3
10.05	39	25	5.2
11.01	36	23	5.2
11.02	41	26	5.1
11.03	35	22	5.6
11.04	43	23	5
11.05	38	24	5.2
12.01	36	23	5.2
12.02	41	26	5.1
12.03	35	22	5.6
12.04	37	25	5.3
13.01	38	24	5.2
13.02	35	24	5.4
14.01	37	25	5.3
15.01	40	26	5.1
16.01	43	25	5
Total (54)	**1938**	**1265**	**289.2**
Average	**35.8**	**23.4**	**5.3**

Ceiling Insulation: R2.0 (For units with direct floor above)

External wall Insulation: R1.0

Roof type / colour
Concrete: Medium colour SA 0.475 -0.7

All External Glazing:
ALM-002-01 A: Aluminium B SG Clear
U=6.7 SHGC =0.70

All External door & window to be weather sealed

Eaves / shading as per drawings

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Notes
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DIAL BEFORE YOU DIG 1100 SERVICE

D1 WOLLONGONG DCP 2.5.3
NON - HABITABLE (PODIUM - 45m)

D2 WOLLONGONG DCP 2.5.3
HABITABLE (PODIUM - 45m)

D3 WOLLONGONG DCP 2.2.3
(ALL USERS)

D4 WOLLONGONG DCP 2.5.3
ALL USES (ABOVE 45m)

L1 LEP CLAUSE 8.6(3)b
(HABITABLE)

L2 LEP CLAUSE 8.6(3)a
(ALL USERS)

L3 LEP CLAUSE 8.6(2)b
(ALL USERS)

L4 LEP CLAUSE 8.6(2)c
(ALL USERS)

A1 ADG
(NON - HABITABLE 9TH STOREY +)

A2 ADG
(HABITABLE 9TH STOREY +)

Energy Rating Certificate Number 15212574

☐ single-dwelling rating — 5.3 stars
☒ multi-unit development (attach listing of ratings) — heating 35.8 MJ/m² — cooling 23.4 MJ/m²
If selected, data specified is the average across the entire development

Recessed downlights confirmation: ☐ Rated with ☒ Rated without

Assessor Name/Number Ved Baheti VIC/BDAV/13/1521

Assessor Signature _____ Date 03/08/2020

Rev	Description	Date	App'd
H	DA AMMENDMENT	16.10.20	MB
G	DA AMMENDMENT	02.10.20	MB

Project
16-20 Belmore Street Wollongong

16-18 BELMORE STREET
WOLLONGONG NSW Australia

URBAN LINK
Business Address: Level 10, 11-15 Deane Street, Burwood NSW 2134
Postal Address: PO BOX 2223 Burwood North NSW 2134
Phone Number: +61 29745 2014

Nominated Architects:
Ziad Boumelhem Reg no 8008
Youssef El Khawaja Reg no 8933 Nicolas Toubia Reg no 9336

Drawing Title
SECTIONS
SECTION A

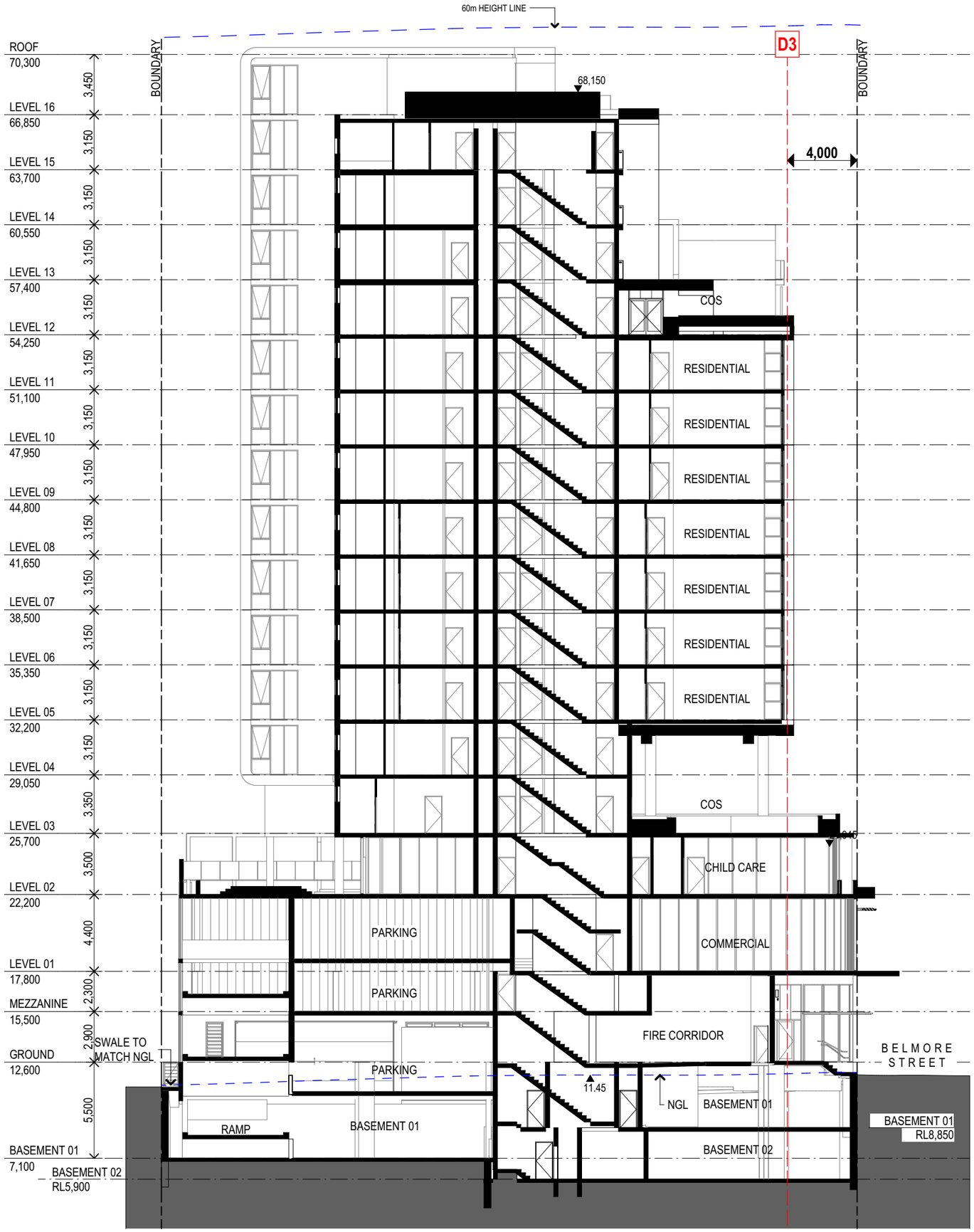
Checked/Approved

Scale
1:250 @A3 Sheet Size

Project Number
19055

Drawing Number **DA-301** Revision **H**

Status
DEVELOPMENT APPLICATION



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D1 WOLLONGONG DCP 2.5.3
NON - HABITABLE (PODIUM - 45m)

D2 WOLLONGONG DCP 2.5.3
HABITABLE (PODIUM - 45m)

D3 WOLLONGONG DCP 2.2.3
(ALL USERS)

D4 WOLLONGONG DCP 2.5.3
ALL USES (ABOVE 45m)

L1 LEP CLAUSE 8.6(3)b
(HABITABLE)

L2 LEP CLAUSE 8.6(3)a
(ALL USERS)

L3 LEP CLAUSE 8.6(2)b
(ALL USERS)

L4 LEP CLAUSE 8.6(2)c
(ALL USERS)

A1 ADG
(NON - HABITABLE 9TH STOREY +)

A2 ADG
(HABITABLE 9TH STOREY +)

Energy Rating Certificate Number 15212574

☐ single-dwelling rating — 5.3 stars

☒ multi-unit development (attach listing of ratings) — heating 35.8 MJ/m² — cooling 23.4 MJ/m²
If selected, data specified is the average across the entire development

Recessed downlights confirmation: ☐ Rated with ☒ Rated without

Assessor Name/Number Ved Baheti VIC/BDAV/13/1521

Assessor Signature _____ Date 03/08/2020

Rev	Description	Date	App'd
H	DA AMMENDMENT	16.10.20	MB
G	DA AMMENDMENT	02.10.20	MB

Project
16-20 Belmore Street Wollongong

16-18 BELMORE STREET
WOLLONGONG NSW Australia

URBAN LINK
Business Address: Level 10, 11-15 Deane Street, Burwood NSW 2134
Postal Address: PO BOX 2223 Burwood North NSW 2134
Phone Number: +61 29745 2014

Nominated Architects:
Ziad Boumelhem Reg no 8008
Youssef El Khawaja Reg no 8933 Nicolas Toubia Reg no 9336

Drawing Title
SECTIONS
SECTION B

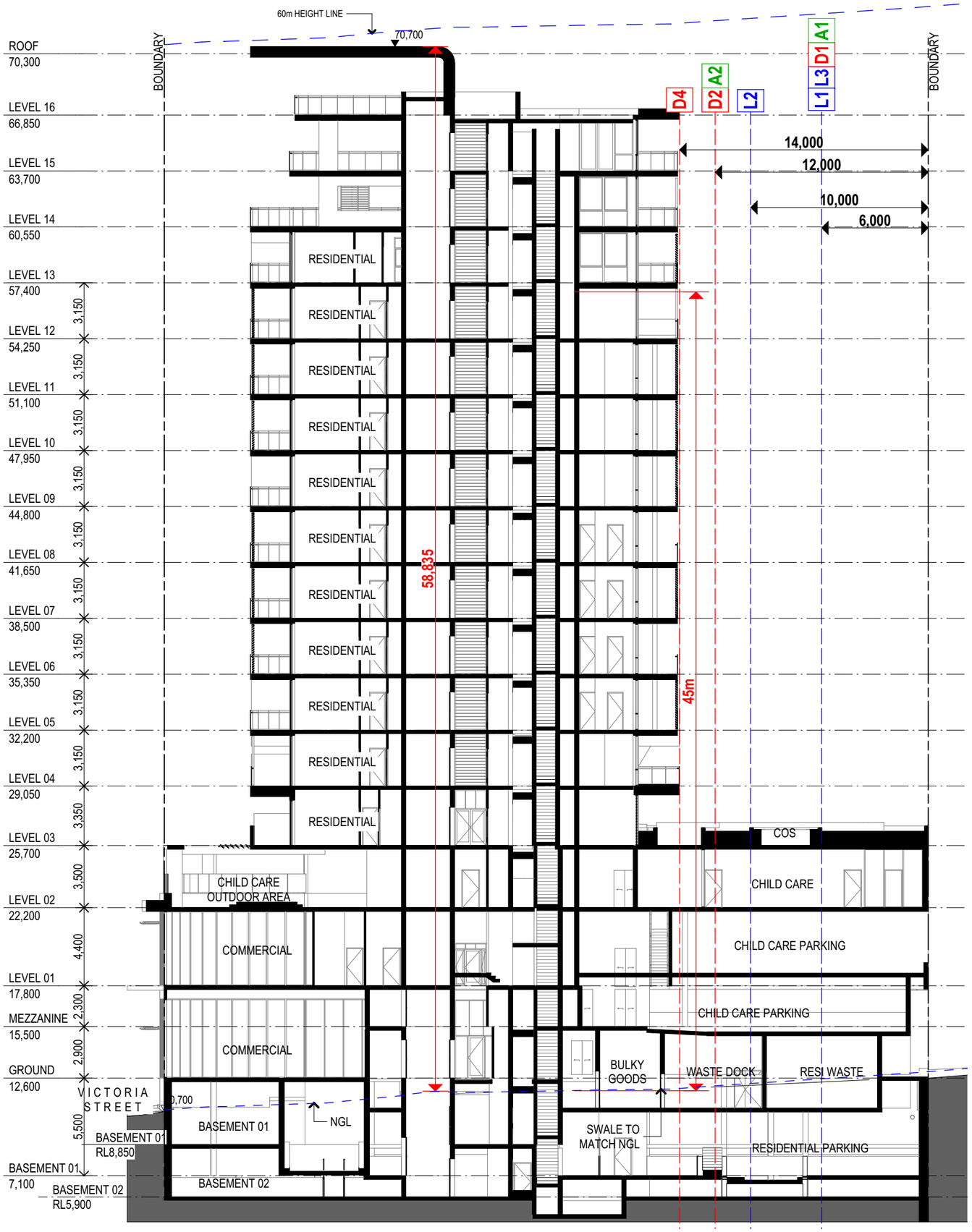
Checked/Approved

Scale
1:250 @A3 Sheet Size

Project Number
19055

Drawing Number Revision
DA-302 H

Status
DEVELOPMENT APPLICATION



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DIAL BEFORE YOU DIG

D1 WOLLONGONG DCP 2.5.3 NON - HABITABLE (PODIUM - 45m)

D2 WOLLONGONG DCP 2.5.3 HABITABLE (PODIUM - 45m)

D3 WOLLONGONG DCP 2.2.3 (ALL USERS)

D4 WOLLONGONG DCP 2.5.3 ALL USES (ABOVE 45m)

L1 LEP CLAUSE 8.6(3)b (HABITABLE)

L2 LEP CLAUSE 8.6(3)a (ALL USERS)

L3 LEP CLAUSE 8.6(2)b (ALL USERS)

L4 LEP CLAUSE 8.6(2)c (ALL USERS)

A1 ADG (NON - HABITABLE 9TH STOREY +)

A2 ADG (HABITABLE 9TH STOREY +)

Energy Rating Certificate Number 15212574

☐ single-dwelling rating — 5.3 stars

☒ multi-unit development (attach listing of ratings) — heating 35.8 MJ/m² — cooling 23.4 MJ/m²

If selected, data specified is the average across the entire development

Recessed downlights confirmation: ☐ Rated with ☒ Rated without

Assessor Name/Number Ved Baheti VIC/BDAV/13/1521

Assessor Signature — Date 03/08/2020

Rev	Description	Date	App'd
H	DA AMMENDMENT	16.10.20	MB
G	DA AMMENDMENT	02.10.20	MB

Project
16-20 Belmore Street Wollongong

16-18 BELMORE STREET
WOLLONGONG NSW Australia

URBAN LINK
Business Address: Level 10, 11-15 Deane Street, Burwood NSW 2134
Postal Address: PO BOX 2223 Burwood North NSW 2134
Phone Number: +61 29745 2014

Nominated Architects:
Ziad Boumelhem Reg no 8008
Youssef El Khawaja Reg no 8933 Nicolas Toubia Reg no 9336

Drawing Title
SECTIONS
SECTION C

Checked/Approved

Scale
1:250 @A3 Sheet Size

Project Number
19055

Drawing Number Revision
DA-303 H

Status
DEVELOPMENT APPLICATION

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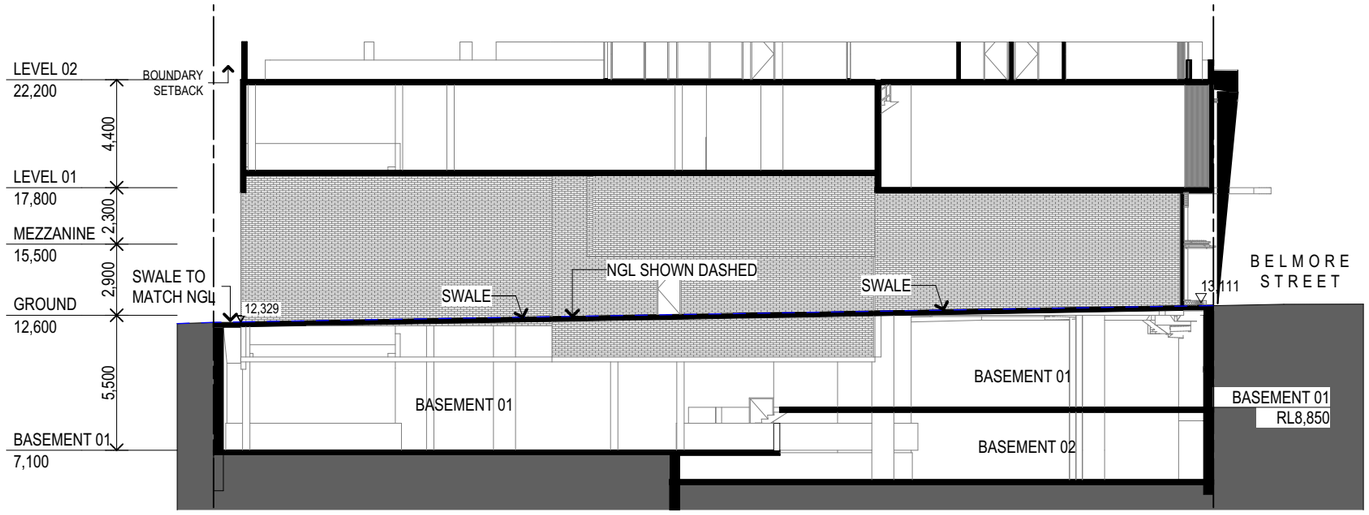

D1 WOLLONGONG DCP 2.5.3
NON - HABITABLE (PODIUM - 45m)

D2 WOLLONGONG DCP 2.5.3
HABITABLE (PODIUM - 45m)

D3 WOLLONGONG DCP 2.2.3
(ALL USERS)

D4 WOLLONGONG DCP 2.5.3
ALL USES (ABOVE 45m)

L1 LEP CLAUSE 8.6(3)b
(HABITABLE)

L2 LEP CLAUSE 8.6(3)a
(ALL USERS)

L3 LEP CLAUSE 8.6(2)b
(ALL USERS)

L4 LEP CLAUSE 8.6(2)c
(ALL USERS)

A1 ADG
(NON - HABITABLE 9TH STOREY +)

A2 ADG
(HABITABLE 9TH STOREY +)

Energy Rating Certificate Number 15212574

☐ single-dwelling rating — 5.3 stars
☒ multi-unit development (attach listing of ratings) — heating 35.8 MJ/m² — cooling 23.4 MJ/m²
If selected, data specified is the average across the entire development

Recessed downlights confirmation: ☐ Rated with ☒ Rated without

Assessor Name/Number Ved Baheti VIC/BDAV/13/1521

Assessor Signature _____ Date 03/08/2020

Rev	Description	Date	App'd
H	DA AMMENDMENT	16.10.20	MB
G	DA AMMENDMENT	02.10.20	MB

Project
16-20 Belmore Street Wollongong

16-18 BELMORE STREET
WOLLONGONG NSW Australia

URBAN LINK
Business Address: Level 10, 11-15 Deane Street, Burwood NSW 2134
Postal Address: PO BOX 2223 Burwood North NSW 2134
Phone Number: +61 29745 2014

Nominated Architects:
Ziad Boumelhem Reg no 8008
Youssef El Khawaja Reg no 8933 Nicolas Toubia Reg no 9336

Drawing Title
SECTIONS
SECTION D

Checked/Approved

Scale
1:250 @A3 Sheet Size

Project Number
19055

Drawing Number Revision
DA-304 H

Status
DEVELOPMENT APPLICATION

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Notes
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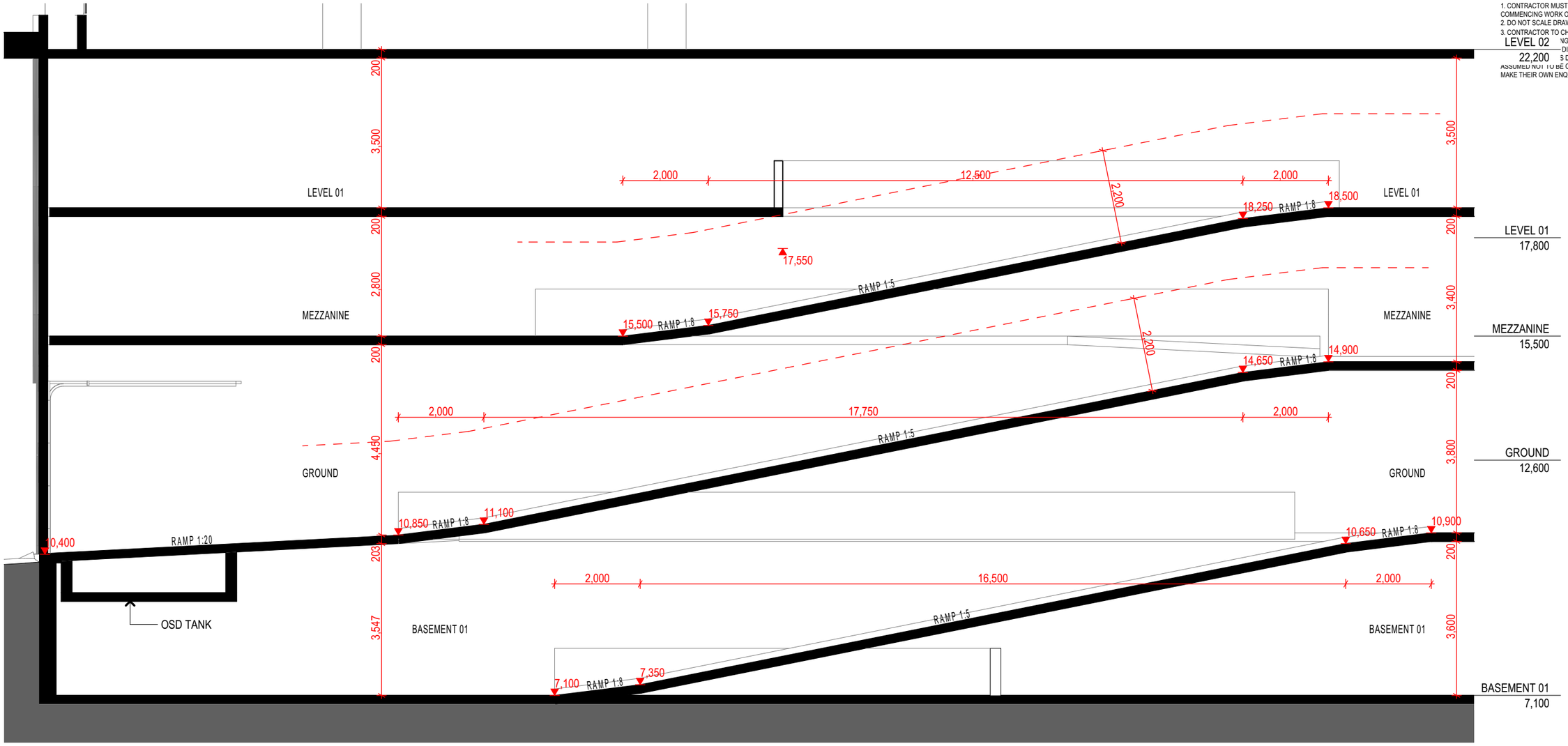


Rev	Description	Date	App'd
H	DA AMMENDMENT	16.10.20	MB
G	DA AMMENDMENT	02.10.20	MB

Project
16-20 Belmore Street Wollongong

16-18 BELMORE STREET
WOLLONGONG NSW Australia

URBAN LINK

Business Address: Level 10, 11-15 Deane Street, Burwood NSW 2134
Postal Address: PO BOX 2223 Burwood North NSW 2134
Phone Number: +61 29745 2014

Nominated Architects:
Ziad Boumelhem Reg no 8008
Youssef El Khawaja Reg no 8933 Nicolas Toubia Reg no 9336

Drawing Title
SECTIONS
SECTION F - RAMP

Checked/Approved

Scale
1:100 @A3 Sheet Size

Project Number
19055

Drawing Number Revision
DA-305 H

Status
DEVELOPMENT APPLICATION

2020-024 DA 16-20 Belmore Street Wollongong 19/10/20204:18 PM

EXTERNAL FINISHES SCHEDULE

1 - PERFORATED MESH
WHITE

2 - CFC PANEL
CEMINTEL
"BARESTONE"
FACTORY FINISH

3 - CONCRETE
NAWKAW COLOUR
STAIN FINISH (25YR
WARRANTY) TO
MATCH DULUX "VIVID
WHITE" OR SIMILAR

4 - ALUMINIUM
EXTRUDED BLADES
POWDERCOAT IN
DULUX DURATEC
4A "ZUES CHARCOAL",
4B "ZUES GREY" &
4C "ZEUS LUNAR GREY"

5 - EQUITONE
TECTIVA TE 80
FACTORY FINISH

6 - POWDER COATING
DULUX DURATEC
"ZUES CHARCOAL" OR
SIMILAR

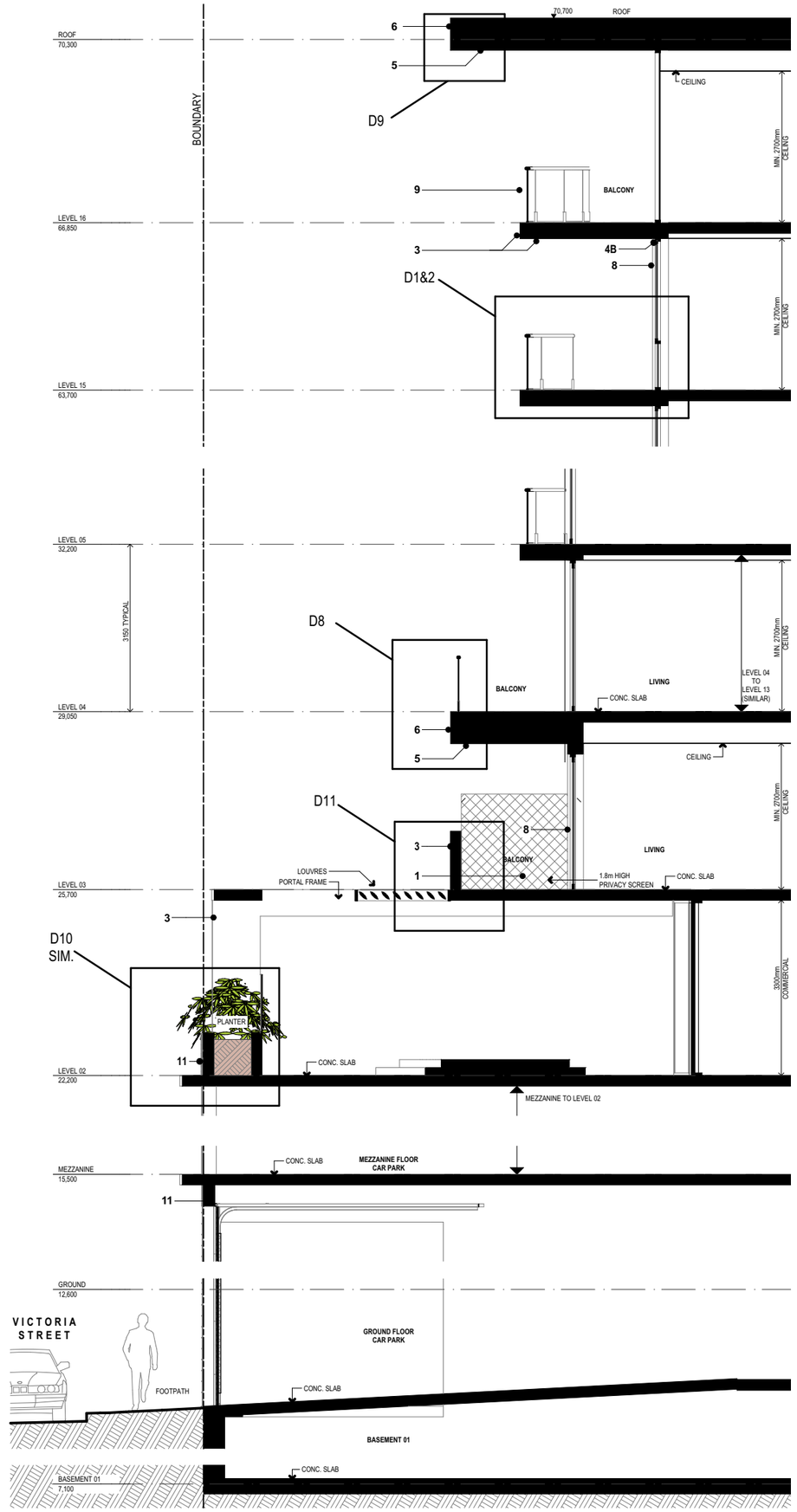
7 - GLASS
(COMMERCIAL)
G-JAMES - CLEAR
GLASS OR SIMILAR

8 - GLASS
(RESIDENTIAL)
GREY GLASS

9 - GLASS
BALUSTRADE
CLEAR GLASS

10 - CONCRETE OR
JAMES HARDIE
EXOTEC
NAWKAW COLOUR
STAIN FINISH (25YR
WARRANTY) IN GREY
CAST IN OR ROUTED
GROOVED PATTERN

11 - BRICK
PGH 'ACADEMY NOBEL'



SECTION DETAIL 1 (NORTH FACADE)

SCALE 1:100

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Notes
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Rev	Description	Date	App'd
H	DA AMMENDMENT	16.10.20	MB
G	DA AMMENDMENT	02.10.20	MB

Project
16-20 Belmore Street Wollongong

16-18 BELMORE STREET
WOLLONGONG NSW Australia

URBAN LINK
Business Address: Level 10, 11-15 Deane Street, Burwood NSW 2134
Postal Address: PO BOX 2223 Burwood North NSW 2134
Phone Number: +61 29745 2014

Nominated Architects:
Ziad Boumelhem Reg no 8008
Youssef El Khawaja Reg no 8933 Nicolas Toubia Reg no 9336

Drawing Title
SECTION DETAILS
FACADE SECTION DETAILS 1

Checked/Approved

Scale
1:100 @A3 Sheet Size

Project Number
19055

Drawing Number Revision
DA-351 H

Status
DEVELOPMENT APPLICATION

2020-024 DA 16-20 Belmore Street Wollongong 22/10/2020 9:55 AM

EXTERNAL FINISHES SCHEDULE

1 - PERFORATED MESH
WHITE

2 - CFC PANEL
CEMINTEL
"BARESTONE"
FACTORY FINISH

3 - CONCRETE
NAWKAW COLOUR
STAIN FINISH (25YR
WARRANTY) TO
MATCH DULUX "VIVID
WHITE" OR SIMILAR

4C 4B 4A

4 - ALUMINIUM
EXTRUDED BLADES
POWDERCOAT IN
DULUX DURATEC
4A "ZUES CHARCOAL",
4B "ZUES GREY" &
4C "ZEUS LUNAR GREY"

5 - EQUITONE
TECTIVA TE 80
FACTORY FINISH

6 - POWDER COATING
DULUX DURATEC
"ZUES CHARCOAL" OR
SIMILAR

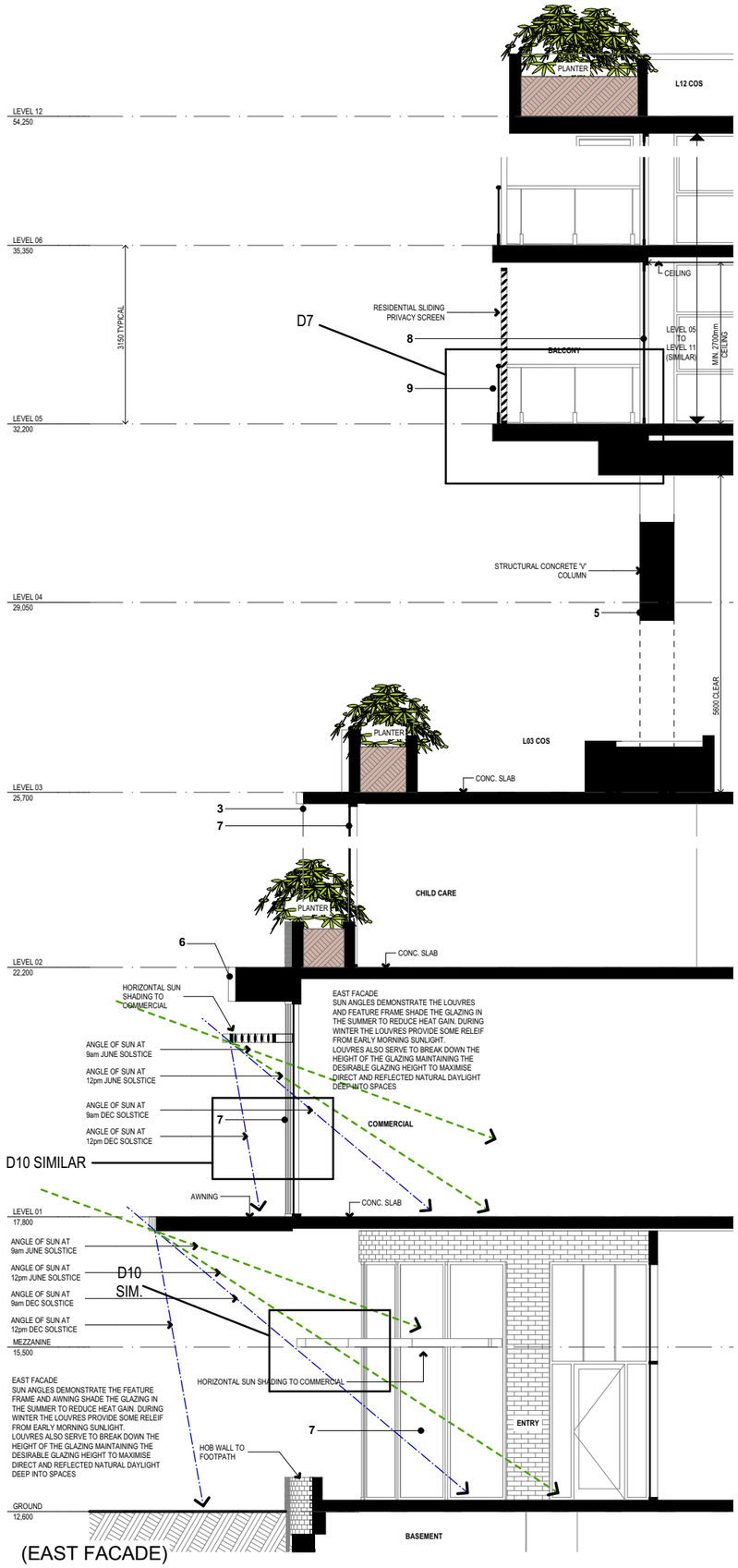
7 - GLASS
(COMMERCIAL)
G-JAMES - CLEAR
GLASS OR SIMILAR

8 - GLASS
(RESIDENTIAL)
GREY GLASS

9 - GLASS
BALUSTRADE
CLEAR GLASS

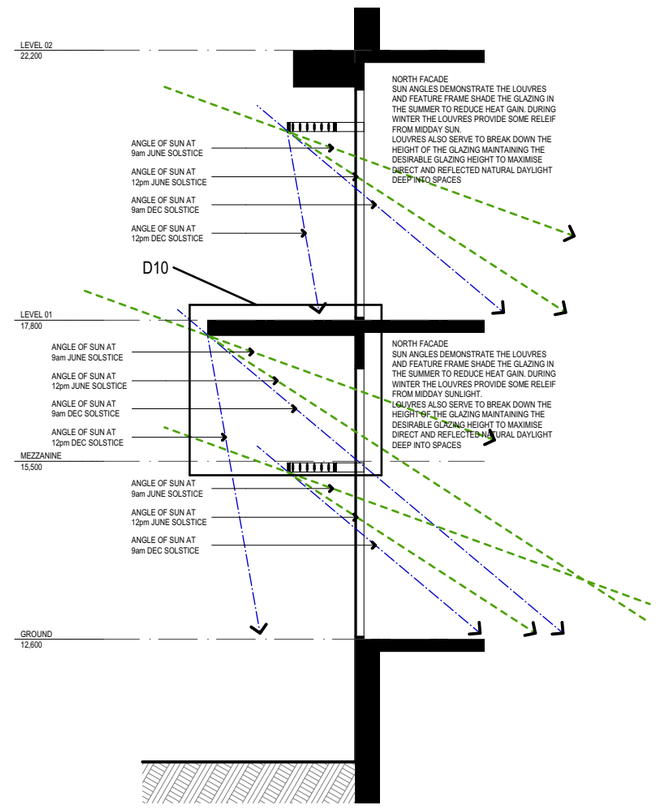
10 - CONCRETE OR
JAMES HARDIE
EXOTEC
NAWKAW COLOUR
STAIN FINISH (25YR
WARRANTY) IN GREY
CAST IN OR ROUTED
GROOVED PATTERN

11 - BRICK
PGH 'ACADEMY NOBEL'



SECTION DETAIL 2 (EAST FACADE)

SCALE 1:100



SECTION DETAIL 4 (NORTH FACADE)

SCALE 1:100

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DIAL BEFORE YOU DIG 1100 NATIONAL

Rev	Description	Date	App'd
H	DA AMMENDMENT	16.10.20	MB
G	DA AMMENDMENT	02.10.20	MB

Project
16-20 Belmore Street Wollongong

16-18 BELMORE STREET
WOLLONGONG NSW Australia

URBAN LINK
Business Address: Level 10, 11-15 Deane Street, Burwood NSW 2134
Postal Address: PO BOX 2223 Burwood North NSW 2134
Phone Number: +61 29745 2014

Nominated Architects:
Ziad Boumelhem Reg no 8008
Youssef El Khawaja Reg no 8933 Nicolas Toubia Reg no 9336

Drawing Title
SECTION DETAILS
FACADE SECTION DETAILS 2

Checked/Approved

Scale
1:100 @A3 Sheet Size

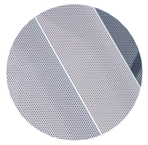
Project Number
19055

Drawing Number Revision
DA-352 H

Status
DEVELOPMENT APPLICATION

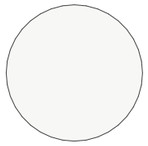
2020-024 DA 16-20 Belmore Street Wollongong 22/10/20209:55 AM

EXTERNAL FINISHES SCHEDULE

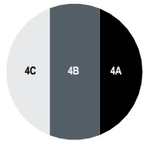


1 - PERFORATED MESH
WHITE

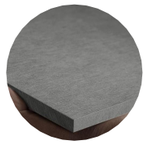
2 - CFC PANEL
CEMINTEL
"BARESTONE"
FACTORY FINISH



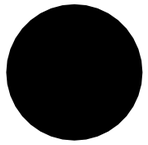
3 - CONCRETE
NAWKAW COLOUR
STAIN FINISH (25YR
WARRANTY) TO
MATCH DULUX "VIVID
WHITE" OR SIMILAR



4 - ALUMINIUM
EXTRUDED BLADES
POWDERCOAT IN
DULUX DURATEC
4A "ZUES CHARCOAL",
4B "ZUES GREY" &
4C "ZEUS LUNAR GREY"



5 - EQUITONE
TECTIVA TE 80
FACTORY FINISH



6 - POWDER COATING
DULUX DURATEC
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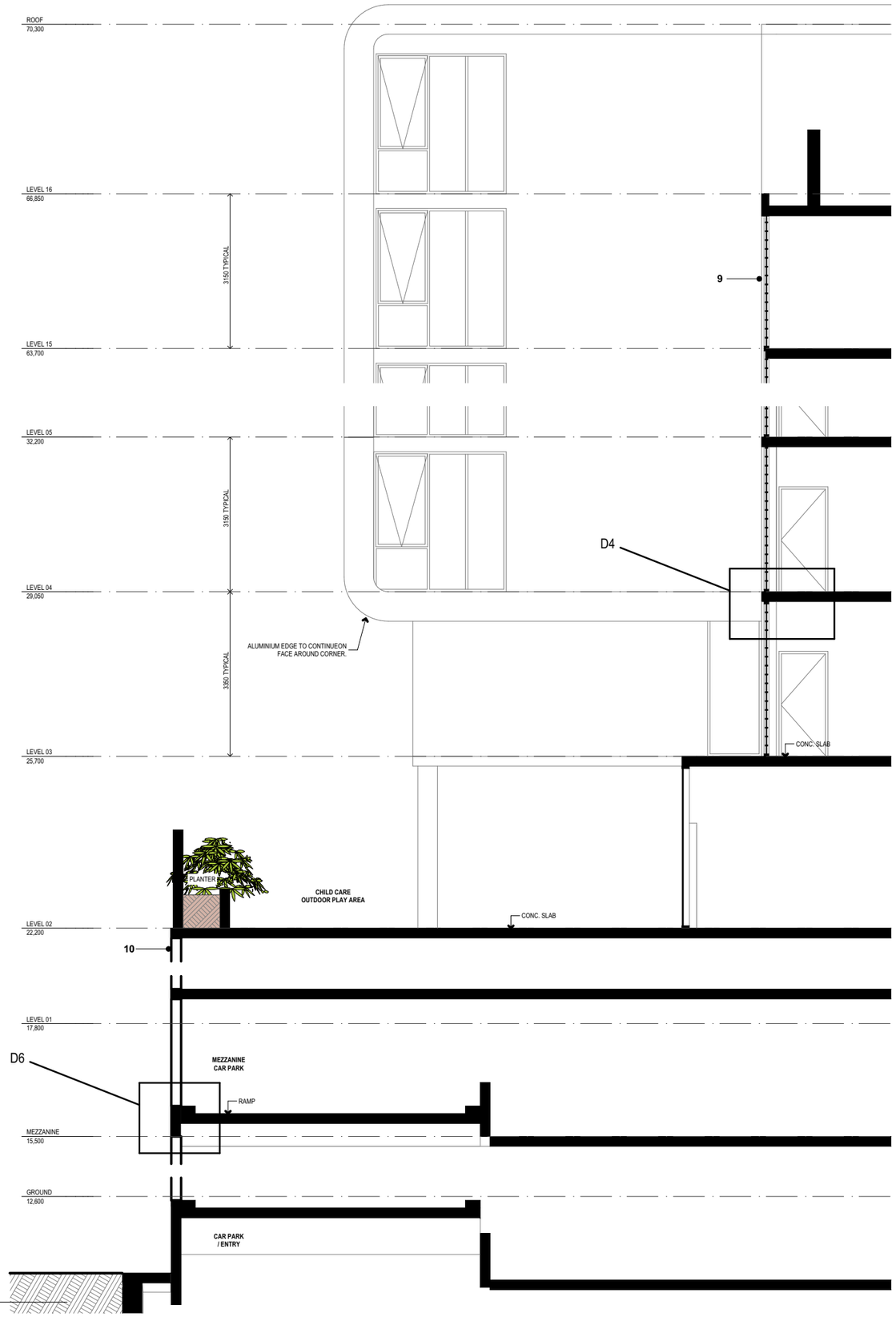
PGH 'ACADEMY NOBEL'



SECTION DETAIL 3 (WEST FACADE)
SCALE 1:100

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Notes
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DIAL BEFORE YOU DIG 1100 SERVICE

Rev	Description	Date	App'd
H	DA AMMENDMENT	16.10.20	MB
G	DA AMMENDMENT	02.10.20	MB

Project
16-20 Belmore Street Wollongong

16-18 BELMORE STREET
WOLLONGONG NSW Australia

URBAN LINK
Business Address: Level 10, 11-15 Deane Street, Burwood NSW 2134
Postal Address: PO BOX 2223 Burwood North NSW 2134
Phone Number: +61 29745 2014

Nominated Architects:
Ziad Boumelhem Reg no 8008
Youssef El Khawaja Reg no 8933 Nicolas Toubia Reg no 9336

Drawing Title
SECTION DETAILS
FACADE SECTION DETAILS 3

Checked/Approved

Scale
1:100 @A3 Sheet Size

Project Number
19055

Drawing Number Revision
DA-353 H

Status
DEVELOPMENT APPLICATION

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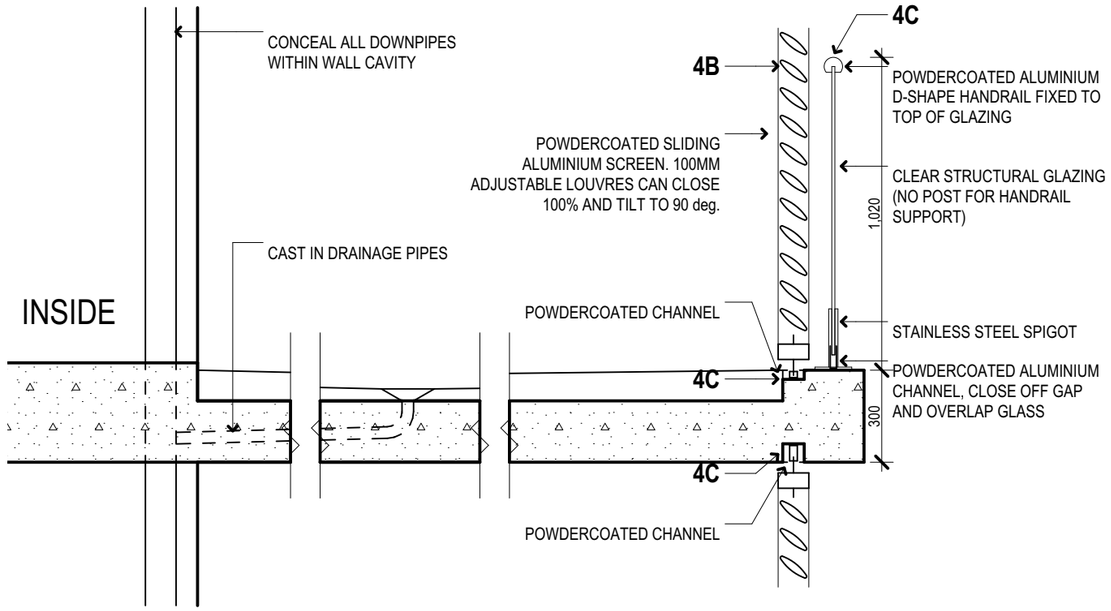
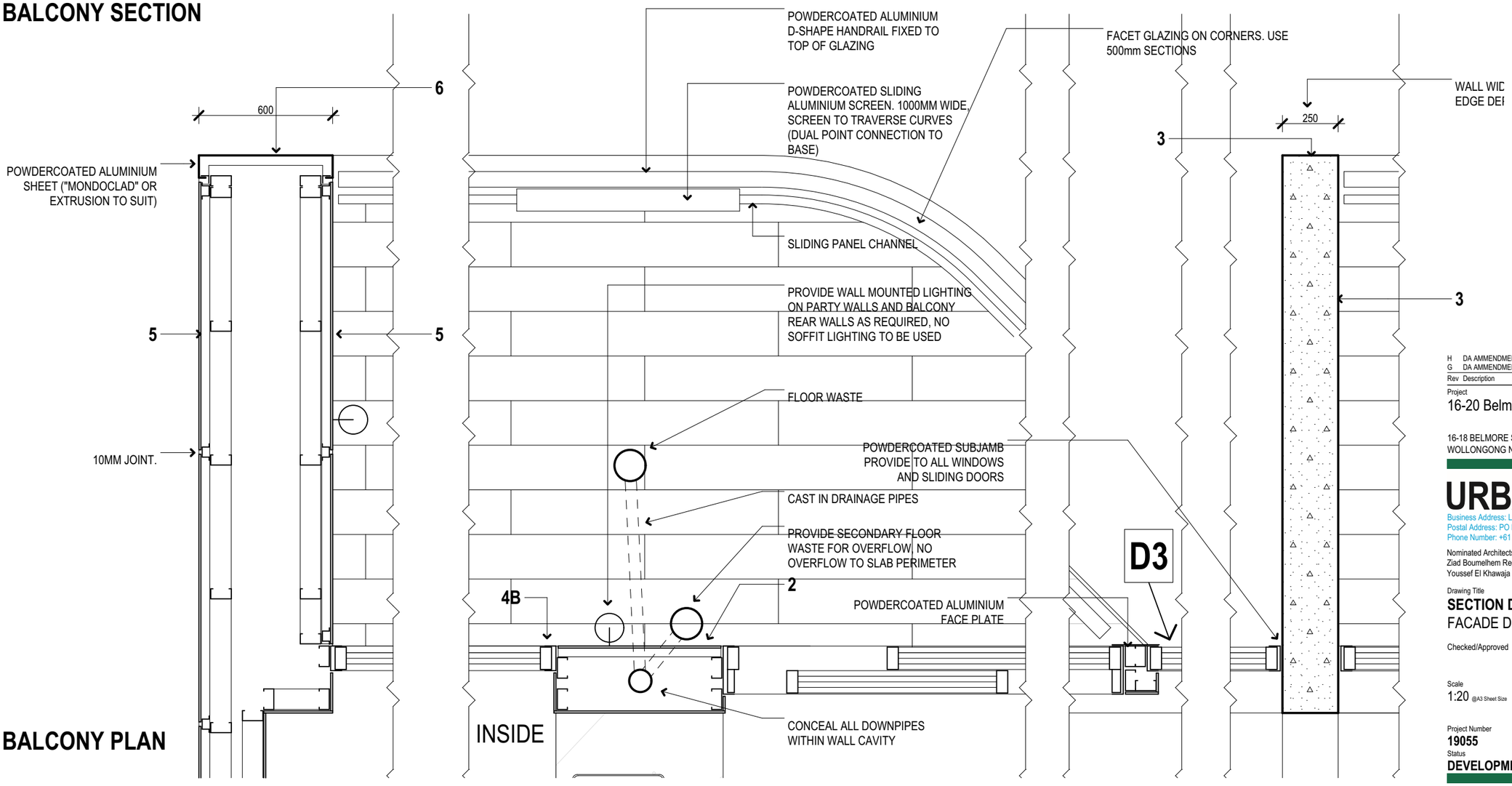


D1

TYPICAL BALCONY SECTION



D2

TYPICAL BALCONY PLAN

Rev	Description	Date	App'd
H	DA AMMENDMENT	16.10.20	MB
G	DA AMMENDMENT	02.10.20	MB

Project
16-20 Belmore Street Wollongong

16-18 BELMORE STREET
WOLLONGONG NSW Australia

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Postal Address: PO BOX 2223 Burwood North NSW 2134
Phone Number: +61 29745 2014

Nominated Architects:
Ziad Boumelhem Reg no 8008
Youssef El Khawaja Reg no 8933 Nicolas Toubia Reg no 9336

Drawing Title
SECTION DETAILS
FACADE DETAIL SECTIONS 1

Checked/Approved

Scale
1:20 @A3 Sheet Size

Project Number
19055

Drawing Number Revision
DA-354 H

Status
DEVELOPMENT APPLICATION

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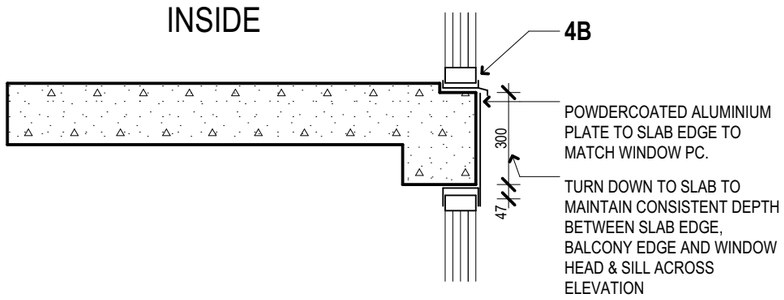
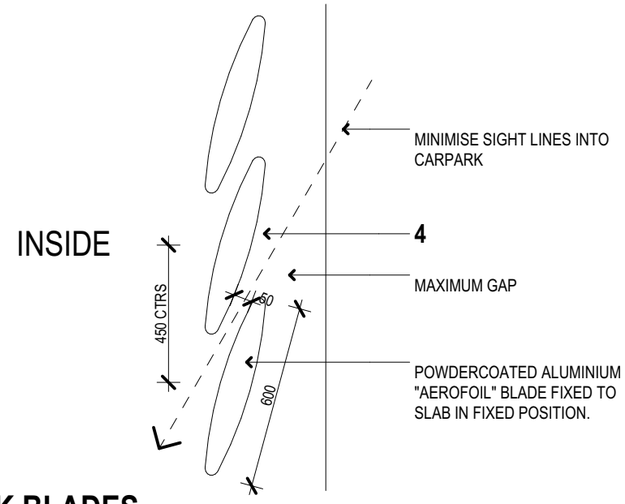


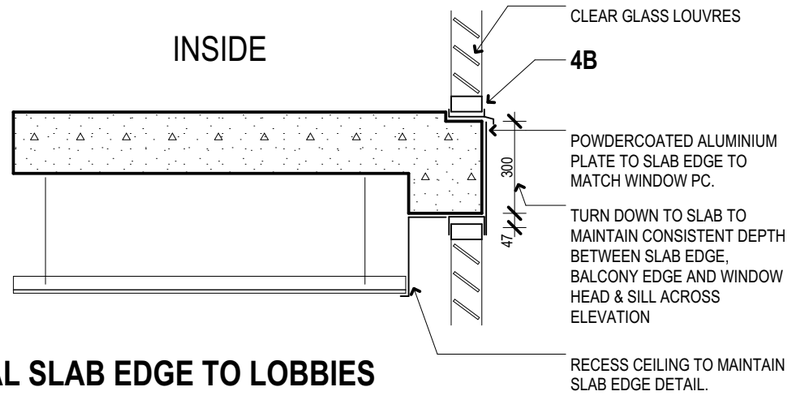
D3

TYPICAL SLAB EDGE WHERE WINDOWS STACKED SECTION



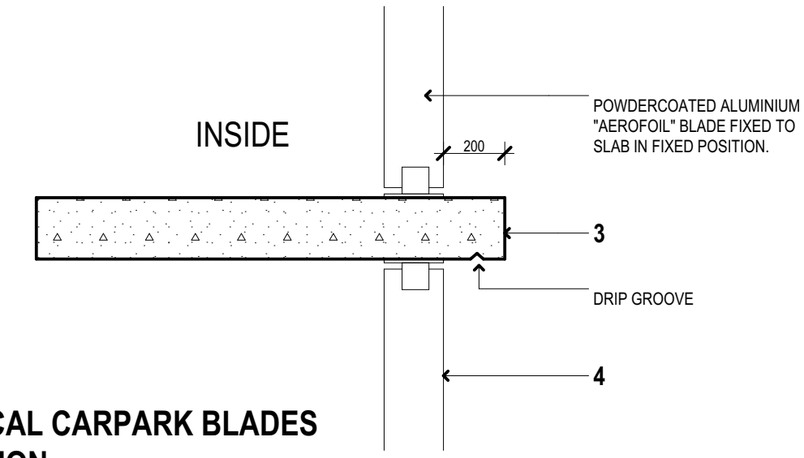
D5

TYPICAL CARPARK BLADES PLAN



D4

TYPICAL SLAB EDGE TO LOBBIES SECTION



D6

TYPICAL CARPARK BLADES SECTION

Rev	Description	Date	App'd
H	DA AMMENDMENT	16.10.20	MB
G	DA AMMENDMENT	02.10.20	MB

Project
16-20 Belmore Street Wollongong

16-18 BELMORE STREET
WOLLONGONG NSW Australia

URBAN LINK
Business Address: Level 10, 11-15 Deane Street, Burwood NSW 2134
Postal Address: PO BOX 2223 Burwood North NSW 2134
Phone Number: +61 29745 2014

Nominated Architects:
Ziad Boumelhem Reg no 8008
Youssef El Khawaja Reg no 8933 Nicolas Toubia Reg no 9336

Drawing Title
SECTION DETAILS
FACADE DETAIL SECTIONS 2

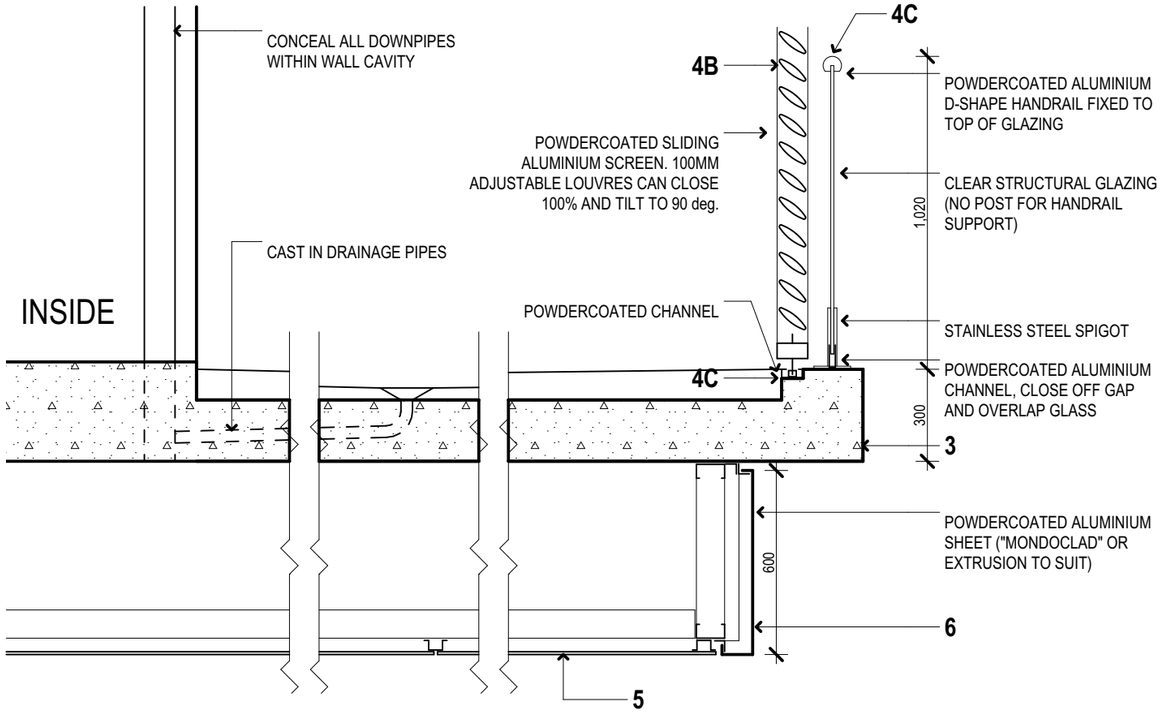
Checked/Approved

Scale
1:20 @A3 Sheet Size

Project Number
19055

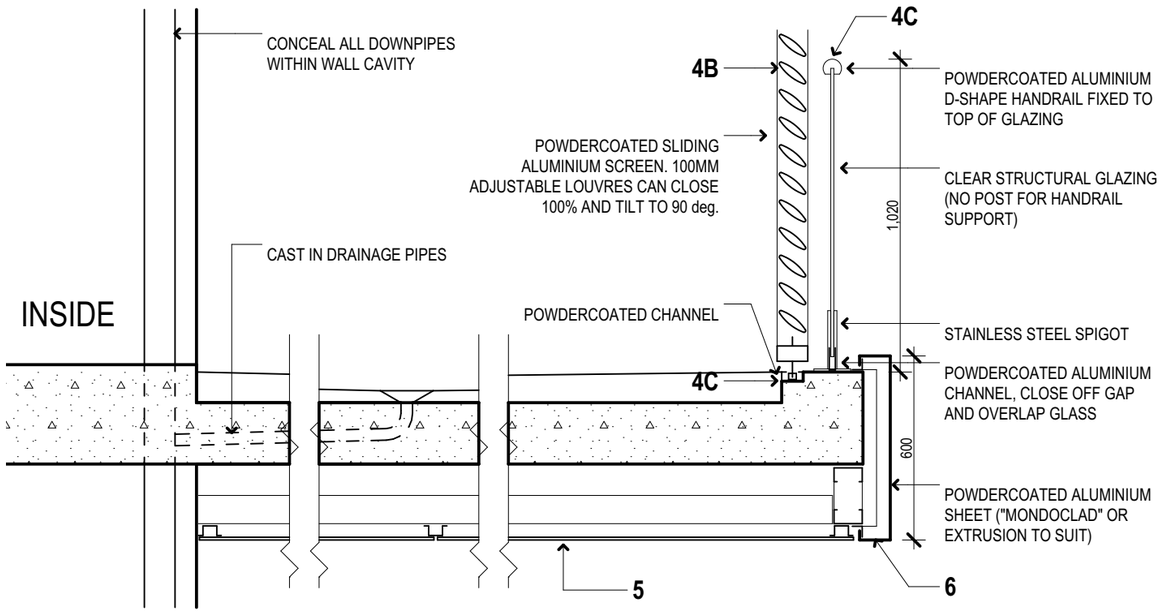
Drawing Number Revision
DA-355 H

Status
DEVELOPMENT APPLICATION



D7

TYPICAL BALCONY SECTION
WHERE FEATURE FRAME UNDER BALCONY EDGE



D8

TYPICAL BALCONY SECTION
WHERE FEATURE FRAME COVERS BALCONY EDGE

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Notes
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DIAL BEFORE YOU DIG 1100 SERVICE

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H	DA AMMENDMENT	16.10.20	MB
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Project
16-20 Belmore Street Wollongong

16-18 BELMORE STREET
WOLLONGONG NSW Australia

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Phone Number: +61 29745 2014

Nominated Architects:
Ziad Boumelhem Reg no 8008
Youssef El Khawaja Reg no 8933 Nicolas Toubia Reg no 9336

Drawing Title
SECTION DETAILS
FACADE DETAIL SECTIONS 3

Checked/Approved

Scale
1:20 @A3 Sheet Size

Project Number
19055

Drawing Number Revision
DA-356 H

Status
DEVELOPMENT APPLICATION

2020-024 DA 16-20 Belmore Street Wollongong 22/10/20209:55 AM

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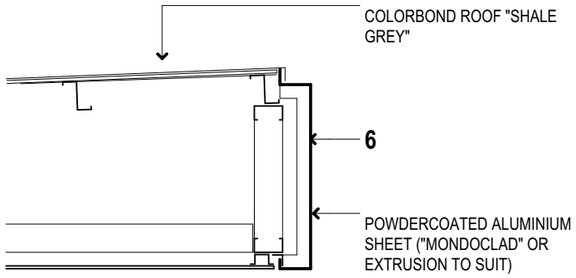
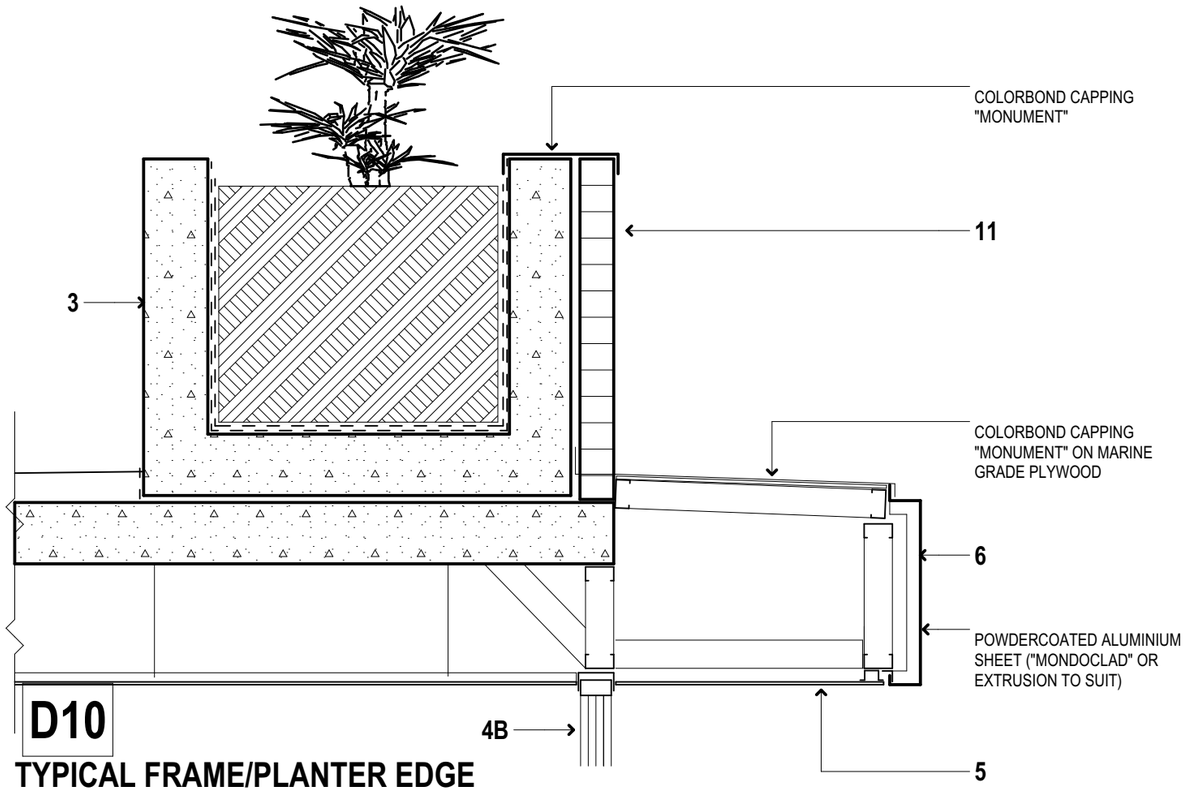


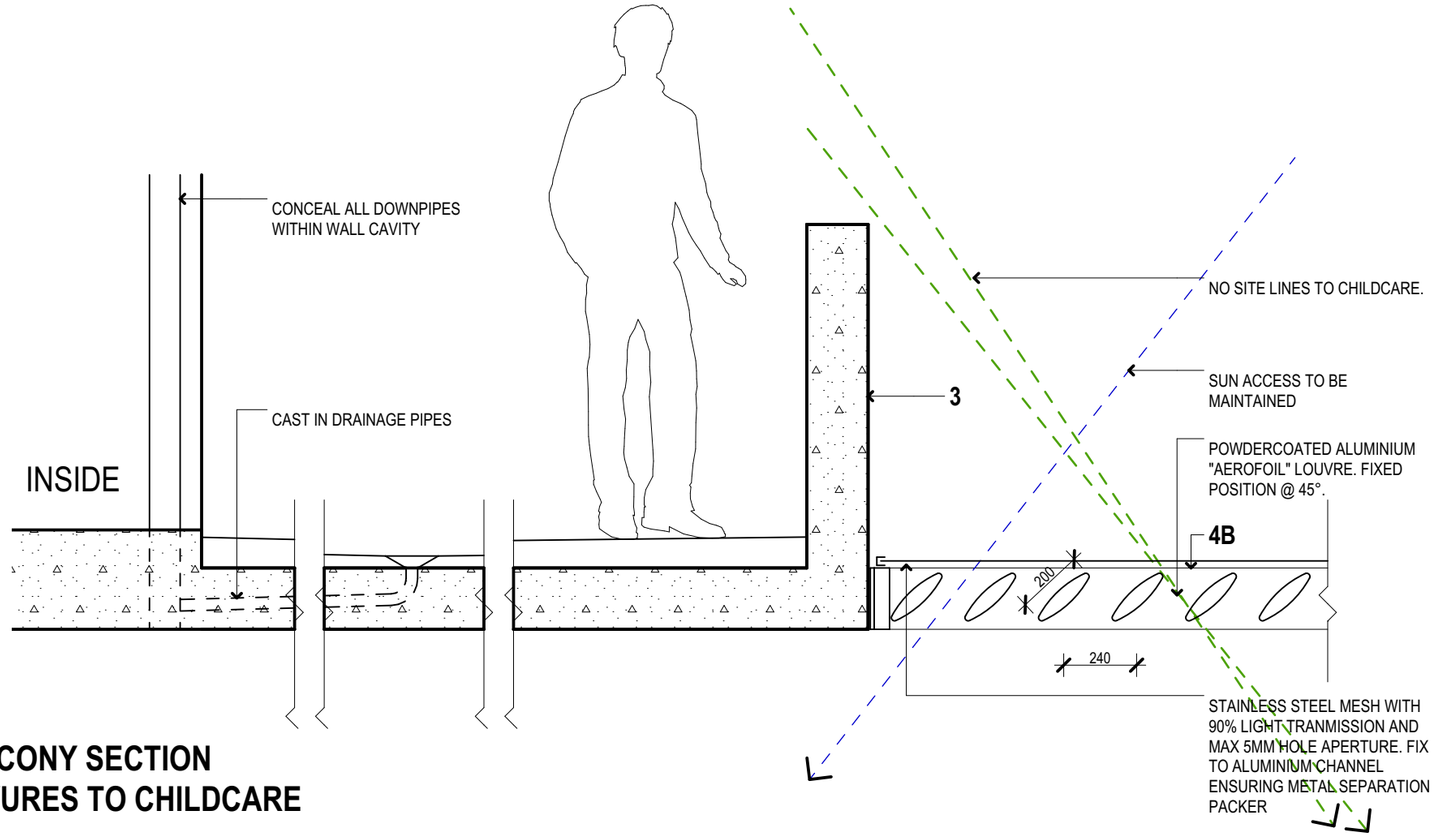
D9

TYPICAL ROOF FRAME EDGE



D10

TYPICAL FRAME/PLANTER EDGE TO CHILDCARE



D11

TYPICAL BALCONY SECTION PRIVACY LOVURES TO CHILDCARE

Rev	Description	Date	App'd
H	DA AMMENDMENT	16.10.20	MB
G	DA AMMENDMENT	02.10.20	MB

Project
16-20 Belmore Street Wollongong

16-18 BELMORE STREET
WOLLONGONG NSW Australia

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Nominated Architects:
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Youssef El Khawaja Reg no 8933 Nicolas Toubia Reg no 9336

Drawing Title
SECTION DETAILS
FACADE DETAIL SECTIONS 4

Checked/Approved

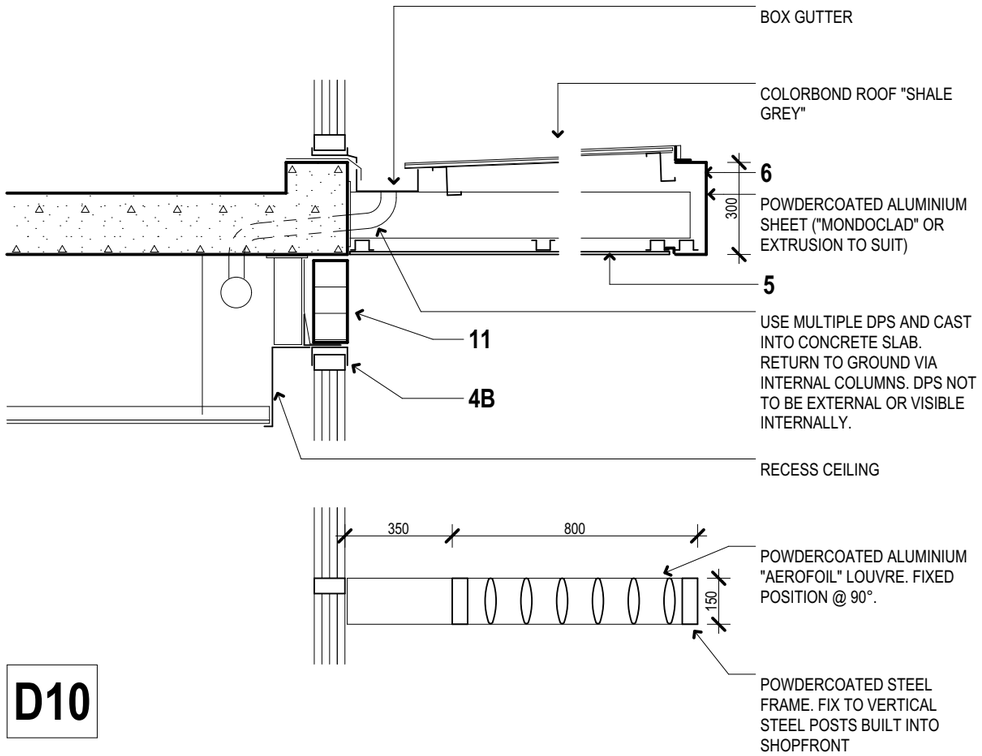
Scale
1:20 @A3 Sheet Size

Project Number
19055

Drawing Number Revision
DA-357 H

Status
DEVELOPMENT APPLICATION

2020-024 DA 16-20 Belmore Street Wollongong 22/10/20209:55 AM



D10

TYPICAL COMMERCIAL AWNING/LOUVRE SHADE

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Notes
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Project
16-20 Belmore Street Wollongong

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WOLLONGONG NSW Australia

URBAN LINK
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Drawing Title
SECTION DETAILS
FACADE DETAIL SECTIONS 5

Checked/Approved

Scale
1:20 @A3 Sheet Size

Project Number
19055

Drawing Number Revision
DA-358 H

Status
DEVELOPMENT APPLICATION

2020-024 DA 16-20 Belmore Street Wollongong 22/10/202209:55 AM

EXTERNAL FINISHES SCHEDULE

1 - PERFORATED MESH
WHITE

2 - CFC PANEL
CEMINTEL
"BARESTONE"
FACTORY FINISH

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NAWKAW COLOUR
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WARRANTY) TO
MATCH DULUX "VIVID
WHITE" OR SIMILAR

4C 4B 4A

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EXTRUDED BLADES
POWDERCOAT IN
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4C "ZEUS LUNAR GREY"

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TECTIVA TE 80
FACTORY FINISH

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DULUX DURATEC
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G-JAMES - CLEAR
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GREY GLASS

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GROOVED PATTERN

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PGH 'ACADEMY NOBEL'

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DIAL BEFORE YOU DIG 1100 NSW

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G	DA AMMENDMENT	02.10.20	MB

Project
16-20 Belmore Street Wollongong

16-18 BELMORE STREET
WOLLONGONG NSW Australia

URBAN LINK
Business Address: Level 10, 11-15 Deane Street, Burwood NSW 2134
Postal Address: PO BOX 2223 Burwood North NSW 2134
Phone Number: +61 29745 2014

Nominated Architects:
Ziad Boumelhem Reg no 8008
Youssef El Khawaja Reg no 8933 Nicolas Toubia Reg no 9336

Drawing Title
EXTERNAL FINISHES
FINISHES SCHEDULE

Checked/Approved

Scale
@A3 Sheet Size

Project Number
19055

Drawing Number Revision
DA-901 H

Status
DEVELOPMENT APPLICATION

2020-024 DA 16-20 Belmore Street Wollongong 23/10/2020 12:45 PM

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Rev	Description	Date	App'd
H	DA AMMENDMENT	16.10.20	MB
G	DA AMMENDMENT	02.10.20	MB

Project
16-20 Belmore Street Wollongong

16-18 BELMORE STREET
WOLLONGONG NSW Australia

URBAN LINK
Business Address: Level 10, 11-15 Deane Street, Burwood NSW 2134
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Phone Number: +61 29745 2014

Nominated Architects:
Ziad Boumelhem Reg no 8008
Youssef El Khawaja Reg no 8933 Nicolas Toubia Reg no 9336

Drawing Title
3D MODEL
PHOTOMONTAGE

Checked/Approved

Scale
@A3 Sheet Size

Project Number
19055

Drawing Number Revision
DA-1601 H

Status
DEVELOPMENT APPLICATION

2020-024 DA 16-20 Belmore Street Wollongong 23/10/202201:54 PM

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Rev	Description	Date	App'd
H	DA AMMENDMENT	16.10.20	MB
G	DA AMMENDMENT	02.10.20	MB

Project
16-20 Belmore Street Wollongong

16-18 BELMORE STREET
WOLLONGONG NSW Australia

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Business Address: Level 10, 11-15 Deane Street, Burwood NSW 2134
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Phone Number: +61 29745 2014

Nominated Architects:
Ziad Boumelhem Reg no 8008
Youssef El Khawaja Reg no 8933 Nicolas Toubia Reg no 9336

Drawing Title
3D MODEL
PHOTOMONTAGE

Checked/Approved

Scale
@A3 Sheet Size

Project Number
19055

Drawing Number Revision
DA-1602 H

Status
DEVELOPMENT APPLICATION

2020-024 DA 16-20 Belmore Street Wollongong 23/10/202201:54 PM

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Rev	Description	Date	App'd
H	DA AMMENDMENT	16.10.20	MB
G	DA AMMENDMENT	02.10.20	MB

Project
16-20 Belmore Street Wollongong

16-18 BELMORE STREET
WOLLONGONG NSW Australia

URBAN LINK
Business Address: Level 10, 11-15 Deane Street, Burwood NSW 2134
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Phone Number: +61 29745 2014

Nominated Architects:
Ziad Boumelhem Reg no 8008
Youssef El Khawaja Reg no 8933 Nicolas Toubia Reg no 9336

Drawing Title
3D MODEL
PHOTOMONTAGE

Checked/Approved

Scale
@A3 Sheet Size

Project Number
19055

Drawing Number Revision
DA-1603 H

Status
DEVELOPMENT APPLICATION

2020-024 DA 16-20 Belmore Street Wollongong 23/10/202201:54 PM

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Notes
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Rev	Description	Date	App'd
H	DA AMMENDMENT	16.10.20	MB
G	DA AMMENDMENT	02.10.20	MB

Project
16-20 Belmore Street Wollongong

16-18 BELMORE STREET
WOLLONGONG NSW Australia

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Phone Number: +61 29745 2014

Nominated Architects:
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Youssef El Khawaja Reg no 8933 Nicolas Toubia Reg no 9336

Drawing Title
3D MODEL
PHOTOMONTAGE

Checked/Approved

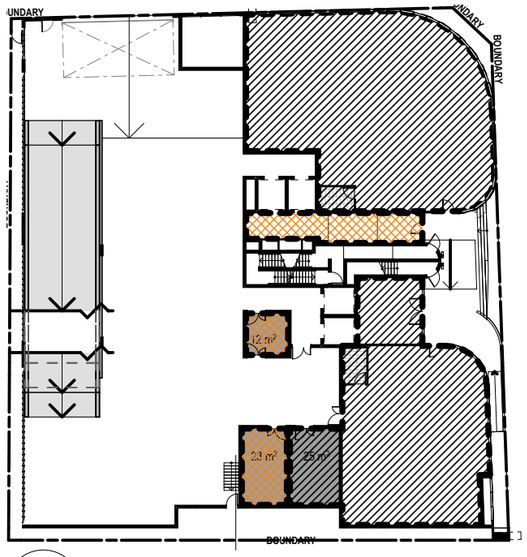
Scale
@A3 Sheet Size

Project Number
19055

Drawing Number Revision
DA-1604 H

Status
DEVELOPMENT APPLICATION

2020-024 DA 16-20 Belmore Street Wollongong 23/10/202201:54 PM



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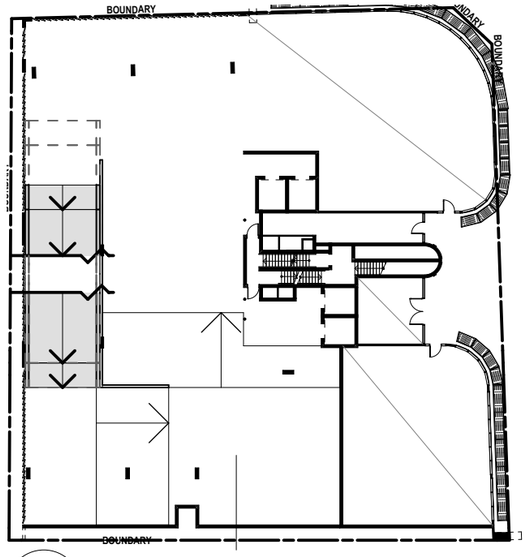

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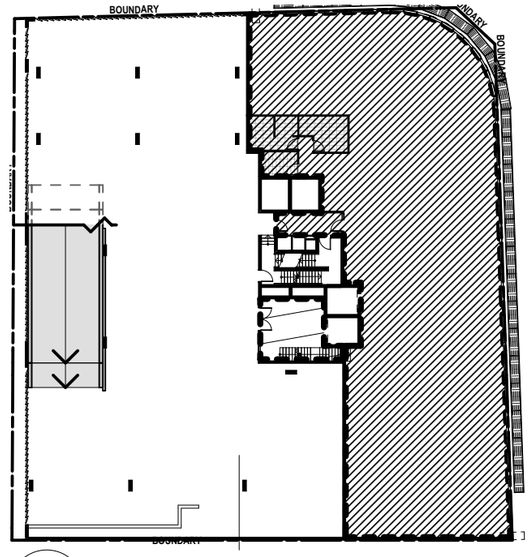

LEVEL 01
SCALE 1:500

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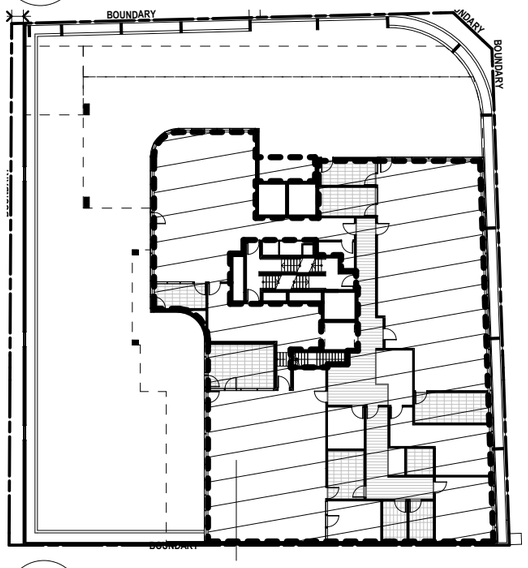
COMMERCIAL GFA

RESIDENTIAL GFA

CHILDCARE GFA

REFER COVER SHEET
FOR GFA NUMBERS



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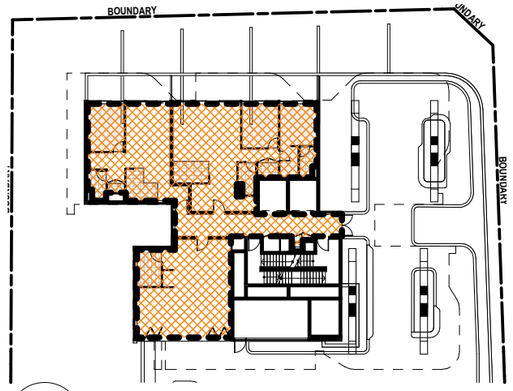

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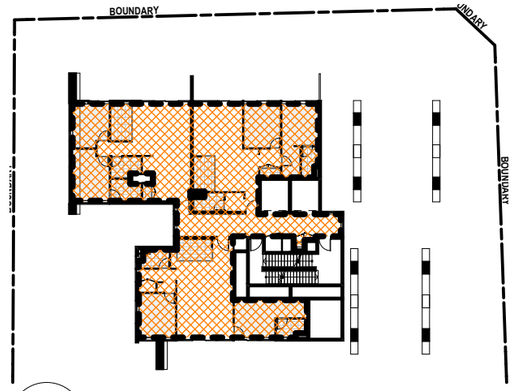

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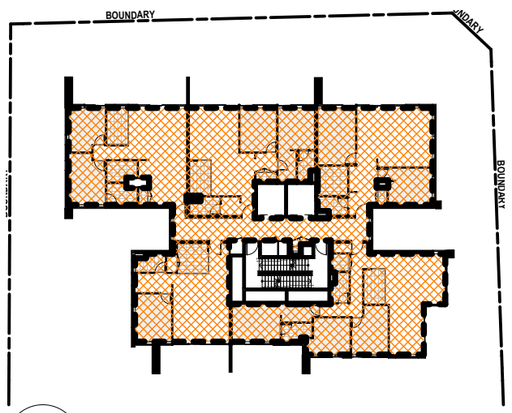
Rev	Description	Date	App'd
H	DA AMMENDMENT	16.10.20	MB
G	DA AMMENDMENT	02.10.20	MB

Project
16-20 Belmore Street Wollongong

16-18 BELMORE STREET
WOLLONGONG NSW Australia



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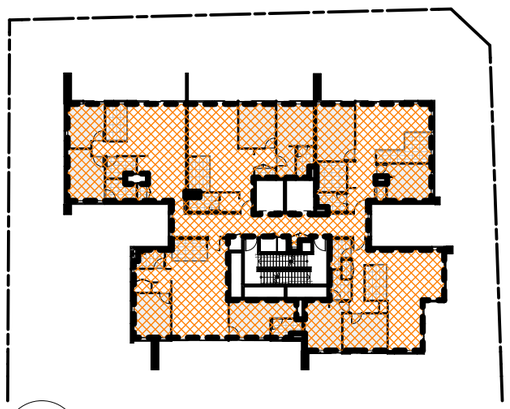

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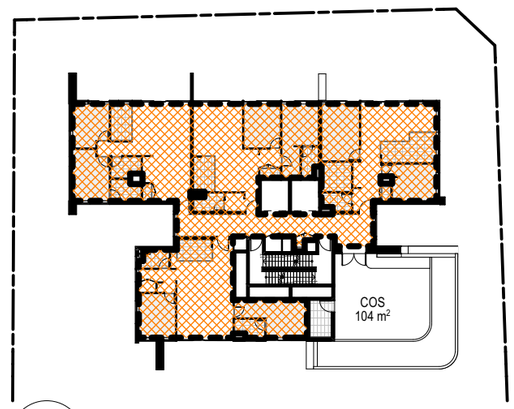


LEVEL 12
SCALE 1:500

URBAN LINK
Business Address: Level 10, 11-15 Deane Street, Burwood NSW 2134
Postal Address: PO BOX 2223 Burwood North NSW 2134
Phone Number: +61 29745 2014

Nominated Architects:
Ziad Boumelhem Reg no 8008
Youssef El Khawaja Reg no 8933 Nicolas Toubia Reg no 9336

Drawing Title
OPTIONS - COMPLIANCE
GFA DIAGRAMS 01

Checked/Approved

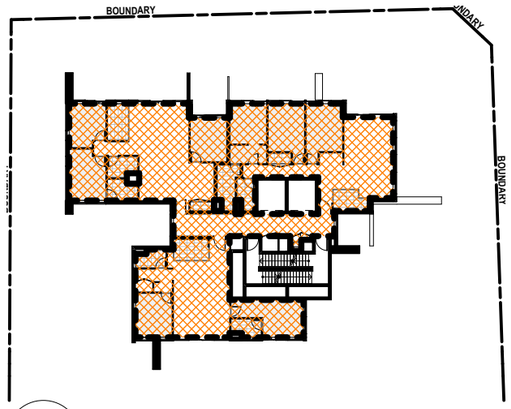
Scale
1:500 @A3 Sheet Size

Project Number
19055

Drawing Number Revision
DA-1401 H

Status
DEVELOPMENT APPLICATION

2020-024 DA 16-20 Belmore Street Wollongong 22/10/20203:11 PM



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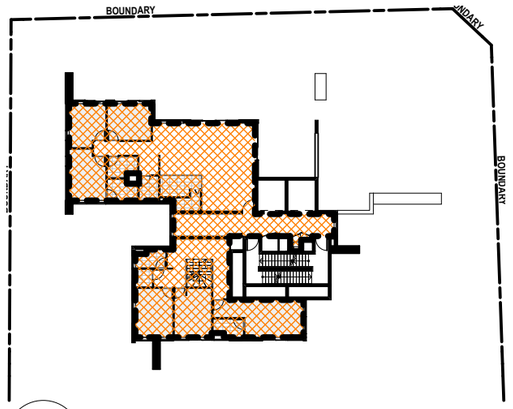

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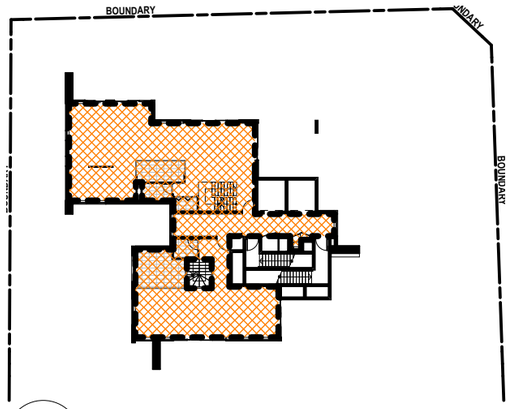

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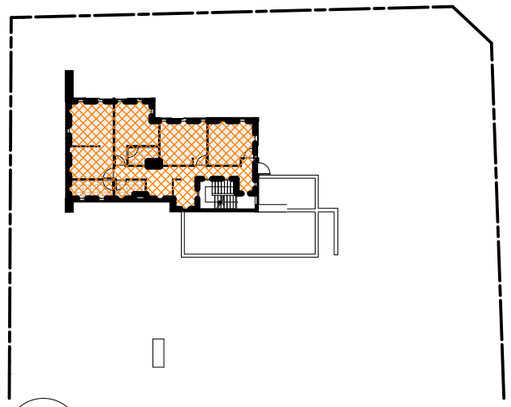

LEVEL 16
SCALE 1:500

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DIAL BEFORE YOU DIG
1100 ALWAYS

COMMERCIAL GFA

RESIDENTIAL GFA

CHILDCARE GFA

REFER COVER SHEET
FOR GFA NUMBERS

Rev	Description	Date	App'd
H	DA AMMENDMENT	16.10.20	MB
G	DA AMMENDMENT	02.10.20	MB

Project
16-20 Belmore Street Wollongong

16-18 BELMORE STREET
WOLLONGONG NSW Australia

URBAN LINK
Business Address: Level 10, 11-15 Deane Street, Burwood NSW 2134
Postal Address: PO BOX 2223 Burwood North NSW 2134
Phone Number: +61 29745 2014

Nominated Architects:
Ziad Boumelhem Reg no 8008
Youssef El Khawaja Reg no 8933 Nicolas Toubia Reg no 9336

Drawing Title
OPTIONS - COMPLIANCE
GFA DIAGRAMS 02

Checked/Approved

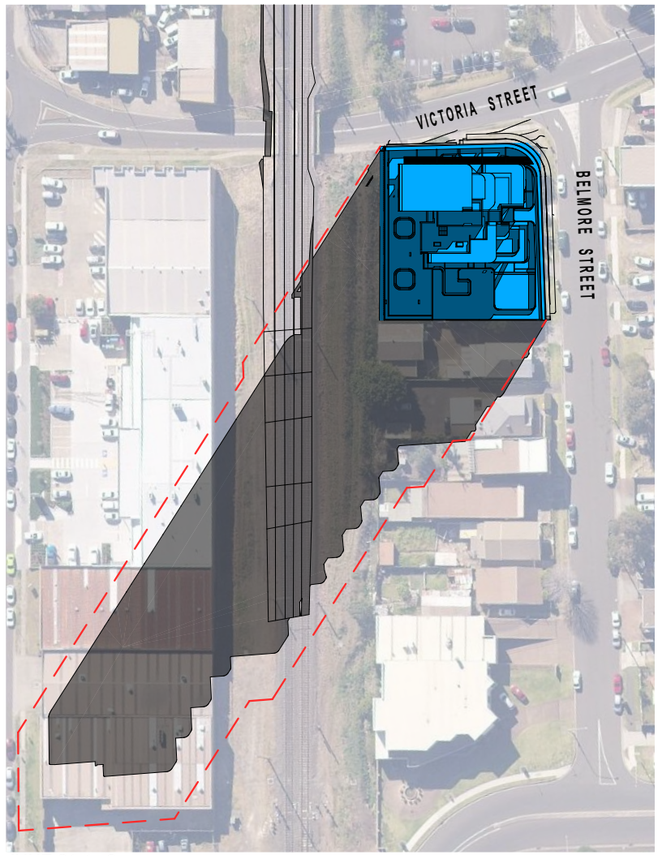
Scale
1:500 @A3 Sheet Size

Project Number
19055

Drawing Number Revision
DA-1402 H

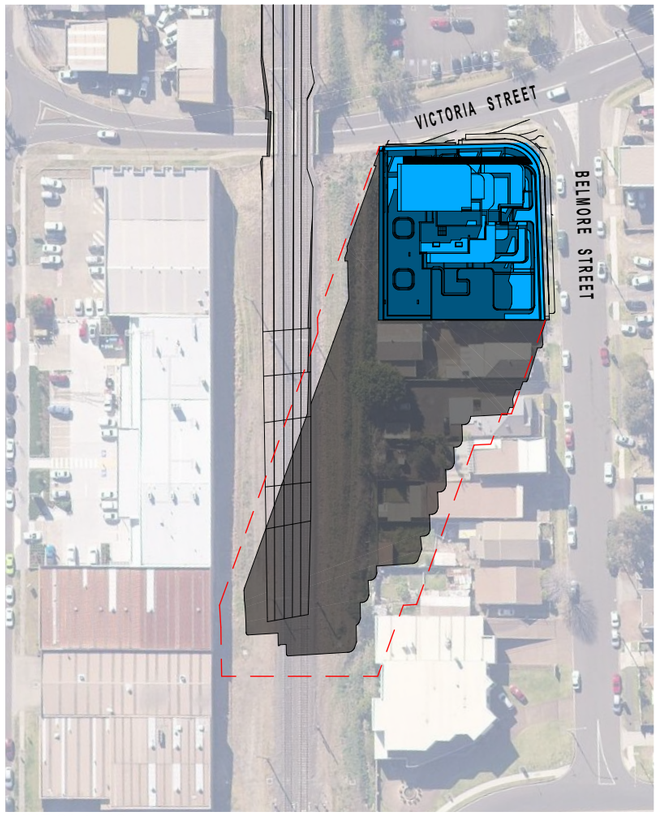
Status
DEVELOPMENT APPLICATION

2020-024 DA 16-20 Belmore Street Wollongong 22/10/202203:11 PM



JUNE 21st - 9am

SCALE 1:1500



JUNE 21st - 10am

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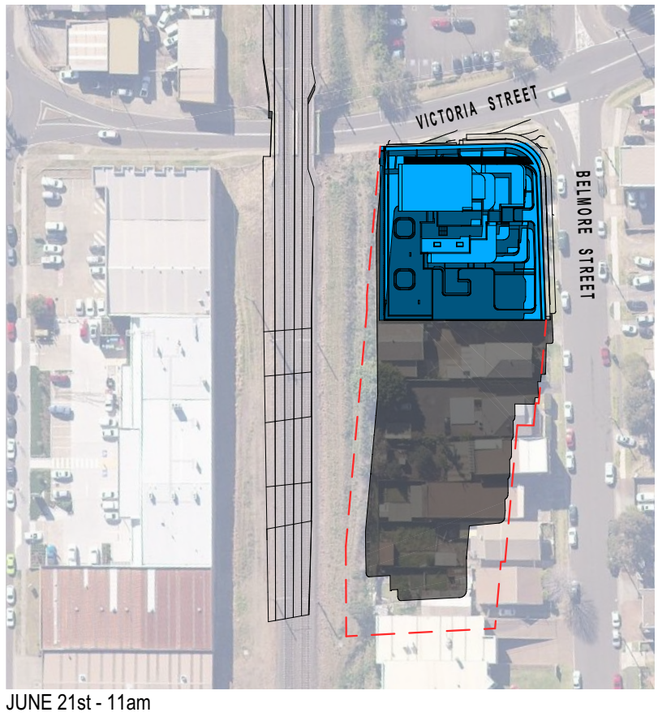

JUNE 21st - 11am

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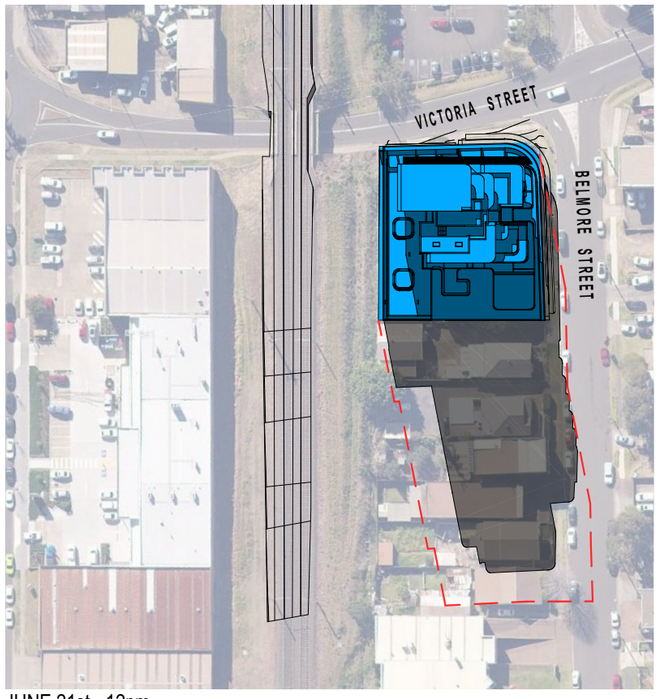

JUNE 21st - 12pm

SCALE 1:1500

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DIAL BEFORE YOU DIG 1100 NOW

KEY

SHADOW OUTLINE OF MAXIMUM BUILDING ENVELOPE (60m HEIGHT LIMIT)

SHADOW OUTLINE OF PROPOSED BUILDING ENVELOPE

Rev	Description	Date	App'd
H	DA AMMENDMENT	16.10.20	MB
G	DA AMMENDMENT	02.10.20	MB

Project
16-20 Belmore Street Wollongong

16-18 BELMORE STREET
WOLLONGONG NSW Australia

URBAN LINK
Business Address: Level 10, 11-15 Deane Street, Burwood NSW 2134
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Phone Number: +61 29745 2014

Nominated Architects:
Ziad Boumelhem Reg no 8008
Youssef El Khawaja Reg no 8933
Nicolas Toubia Reg no 9336

Drawing Title
OPTIONS - COMPLIANCE
SHADOW DIAGRAMS - WINTER

Checked/Approved

Scale
1:1500 @A3 Sheet Size

Project Number
19055

Drawing Number Revision
DA-1403 H

Status
DEVELOPMENT APPLICATION

2020-024 DA 16-20 Belmore Street Wollongong 22/10/202203:11 PM

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Notes
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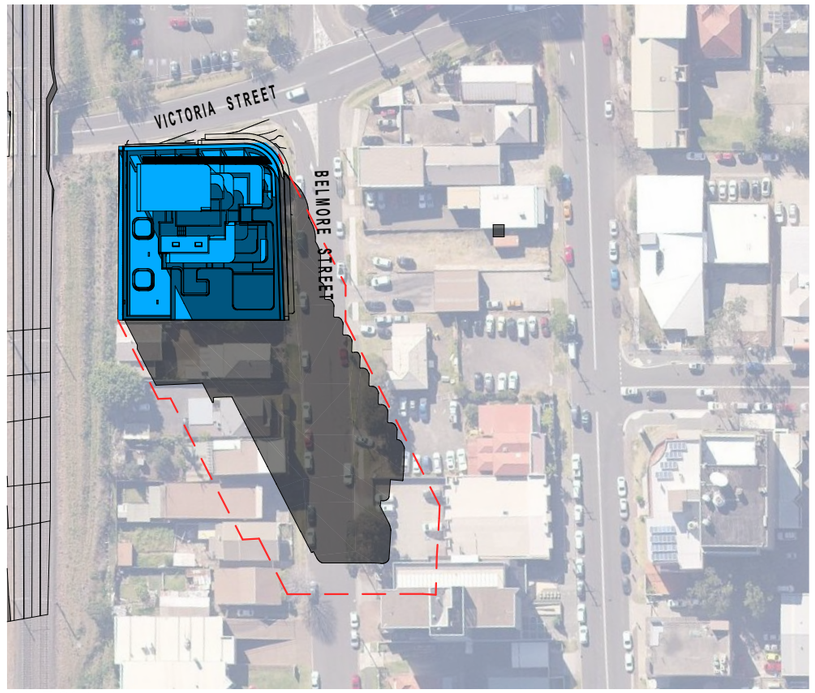

JUNE 21st - 1pm

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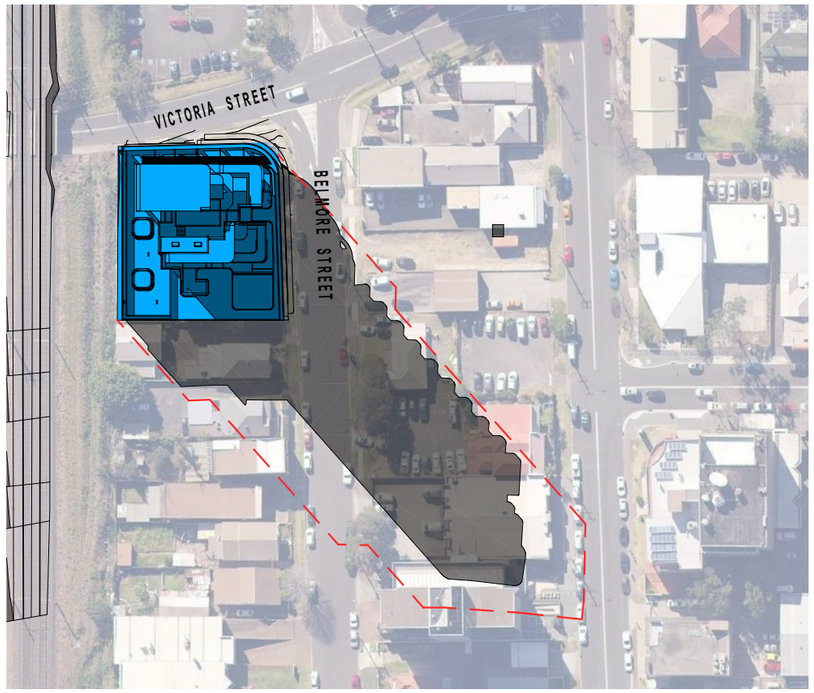

JUNE 21st - 2pm

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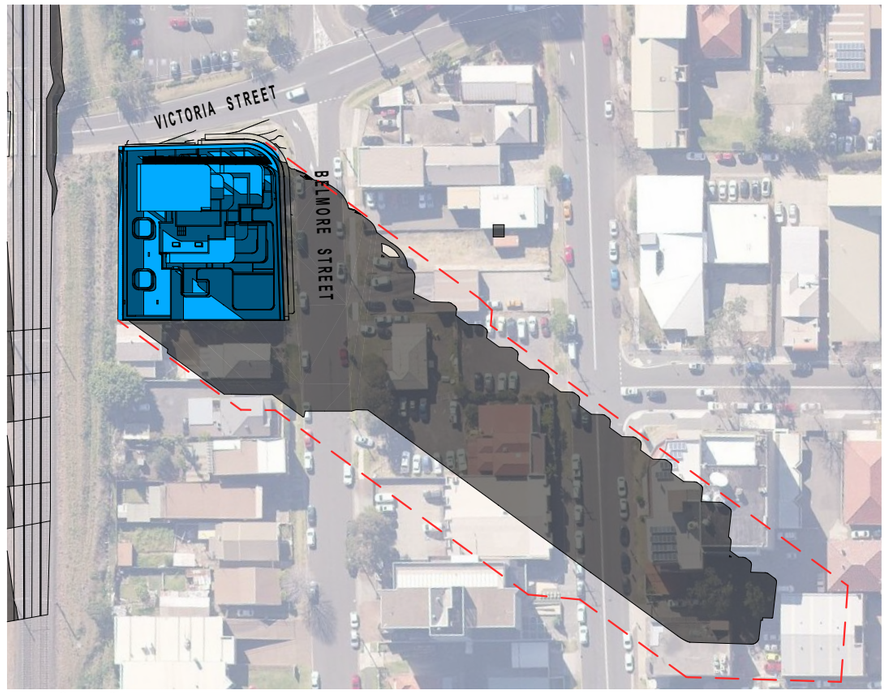

JUNE 21st - 3pm

SCALE 1:1500

KEY

SHADOW OUTLINE OF MAXIMUM BUILDING ENVELOPE (60m HEIGHT LIMIT)

SHADOW OUTLINE OF PROPOSED BUILDING ENVELOPE

Rev	Description	Date	App'd
H	DA AMMENDMENT	16.10.20	MB
G	DA AMMENDMENT	02.10.20	MB

Project
16-20 Belmore Street Wollongong

16-18 BELMORE STREET
WOLLONGONG NSW Australia

URBAN LINK
Business Address: Level 10, 11-15 Deane Street, Burwood NSW 2134
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Phone Number: +61 29745 2014

Nominated Architects:
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Youssef El Khawaja Reg no 8933 Nicolas Toubia Reg no 9336

Drawing Title
OPTIONS - COMPLIANCE
SHADOW DIAGRAMS - WINTER

Checked/Approved

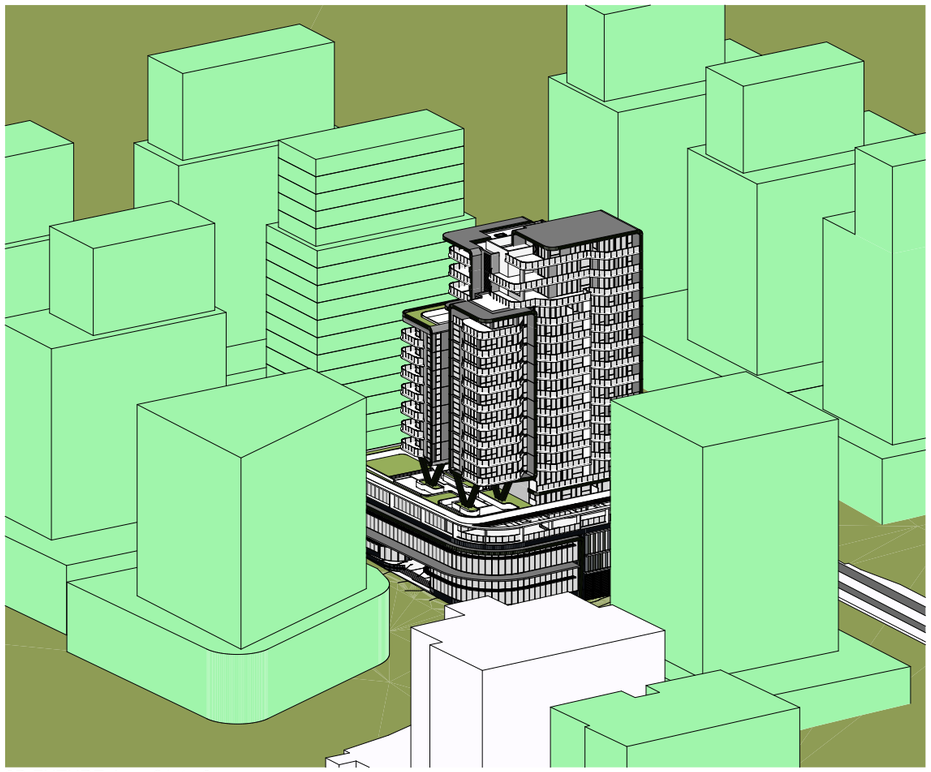
Scale
1:1500 @A3 Sheet Size

Project Number
19055

Drawing Number Revision
DA-1404 H

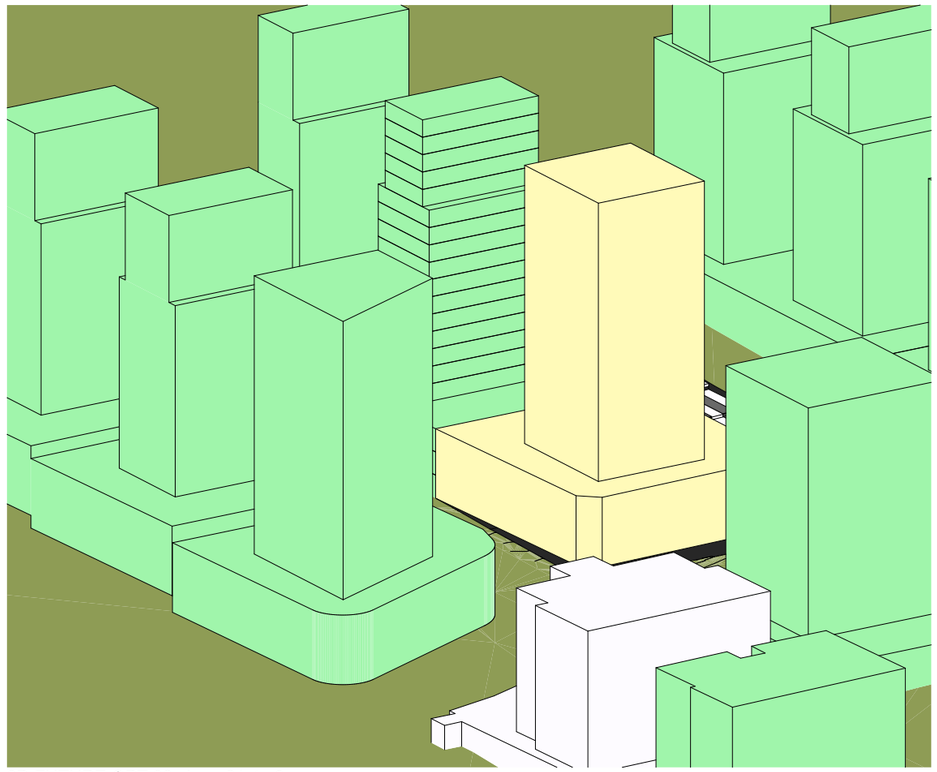
Status
DEVELOPMENT APPLICATION

2020-024 DA 16-20 Belmore Street Wollongong 22/10/20203:12 PM



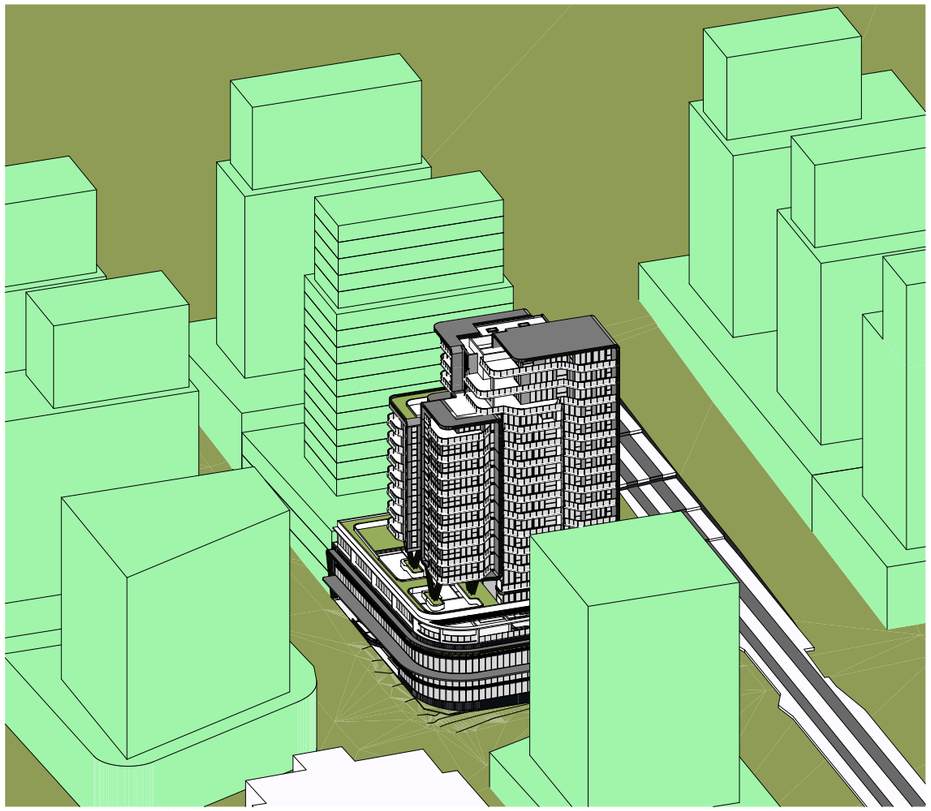
3D FUTURE June 21st - 9am

SCALE 1:1000



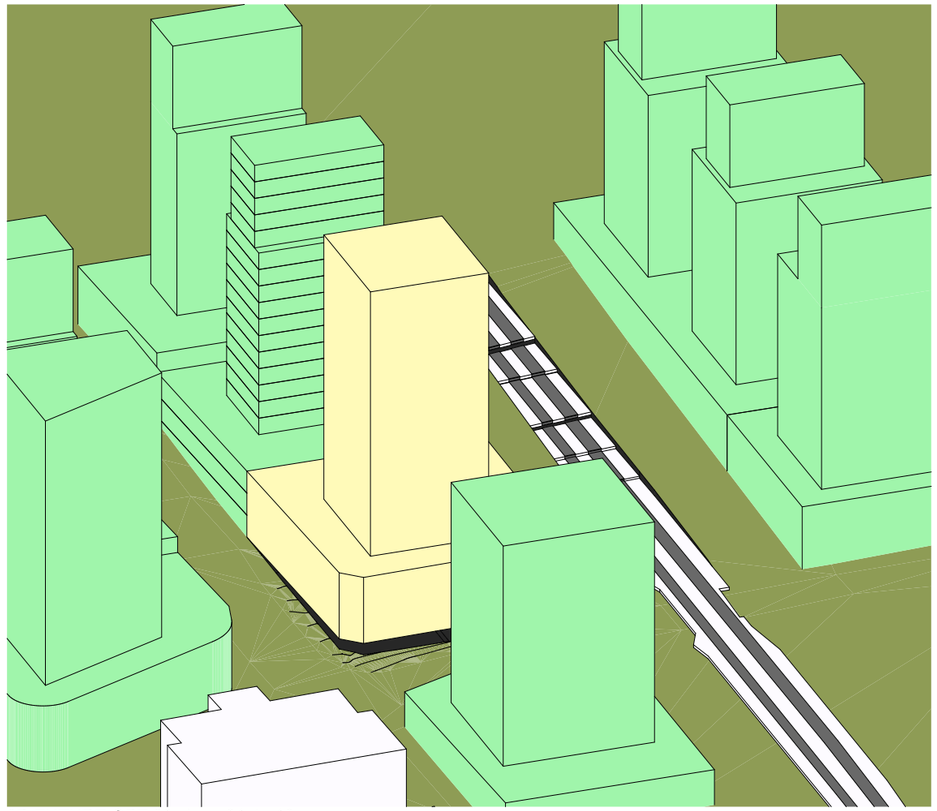
3D FUTURE OPT 02: June 21st - 9am

SCALE 1:1000



3D FUTURE June 21st - 10am

SCALE 1:1000



3D FUTURE OPT 02: June 21st - 10am

SCALE 1:1000

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DIAL BEFORE YOU DIG
1100 Australia

Rev	Description	Date	App'd
H	DA AMMENDMENT	16.10.20	MB
G	DA AMMENDMENT	02.10.20	MB

Project
16-20 Belmore Street Wollongong

16-18 BELMORE STREET
WOLLONGONG NSW Australia

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Phone Number: +61 29745 2014

Nominated Architects:
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Youssef El Khawaja Reg no 8933 Nicolas Toubia Reg no 9336

Drawing Title
OPTIONS - COMPLIANCE
VIEW FROM SUN FUTURE 01

Checked/Approved

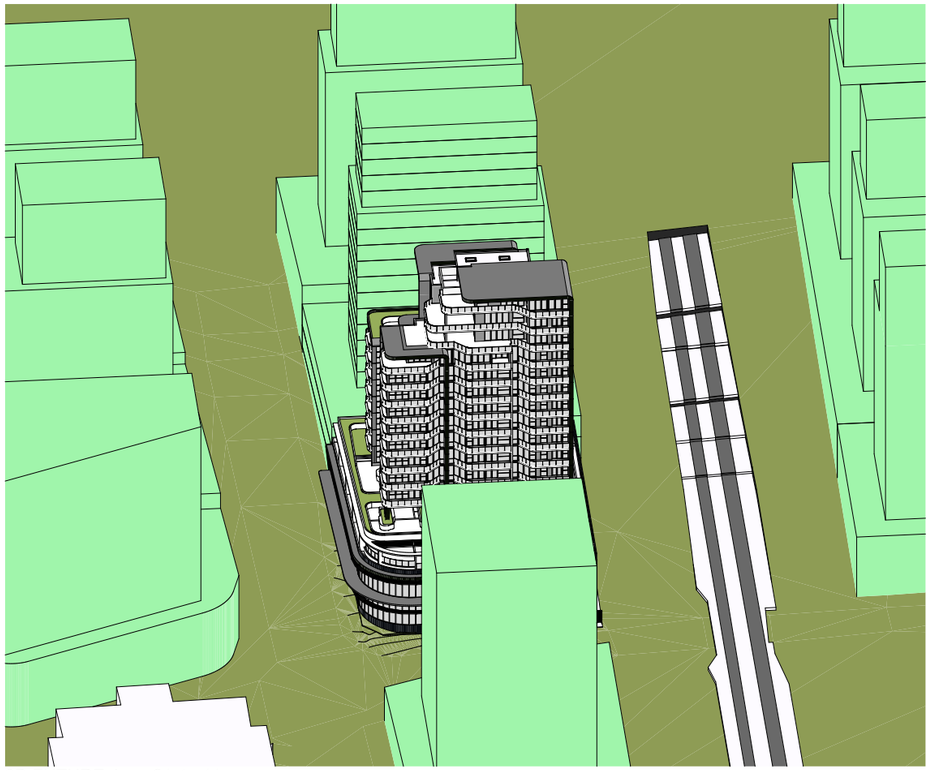
Scale
1:1000 @A3 Sheet Size

Project Number
19055

Drawing Number Revision
DA-1413 H

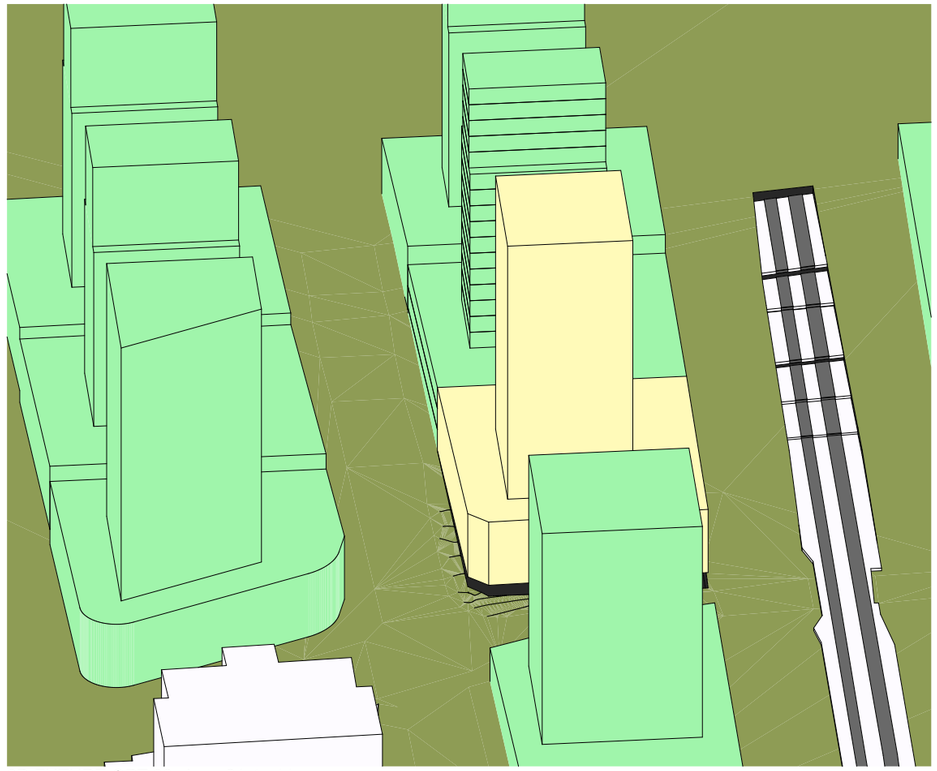
Status
DEVELOPMENT APPLICATION

2020-024 DA 16-20 Belmore Street Wollongong 22/10/20203:13 PM



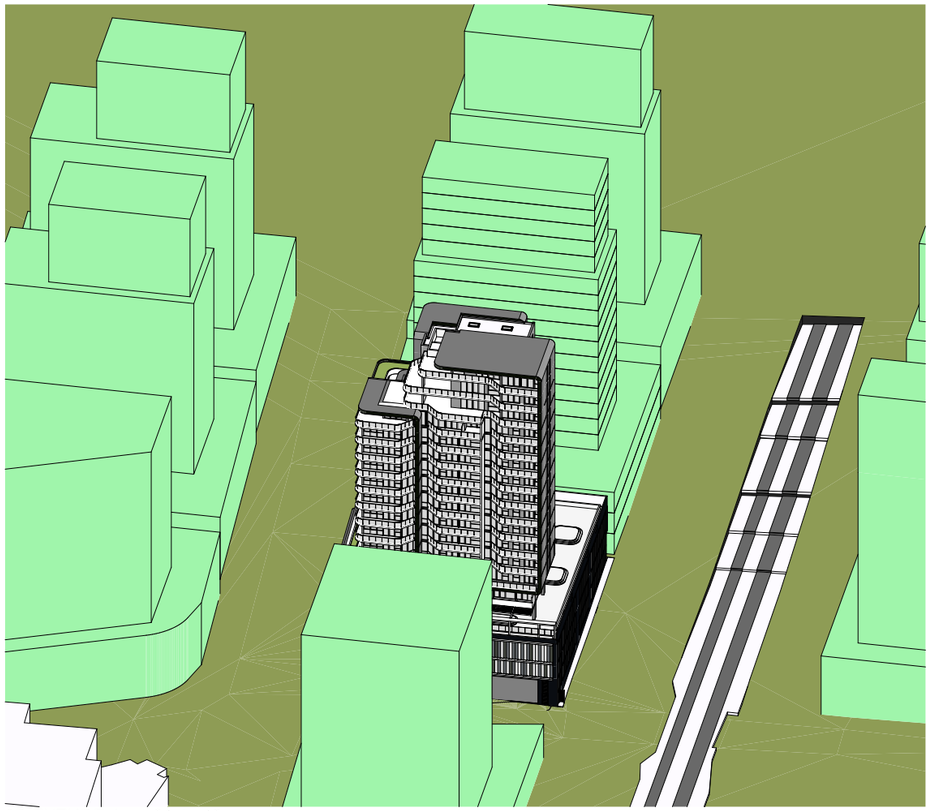
3D FUTURE June 21st - 11am

SCALE 1:1000



3D FUTURE OPT 02: June 21st - 11am

SCALE 1:1000



3D FUTURE June 21st - 12pm

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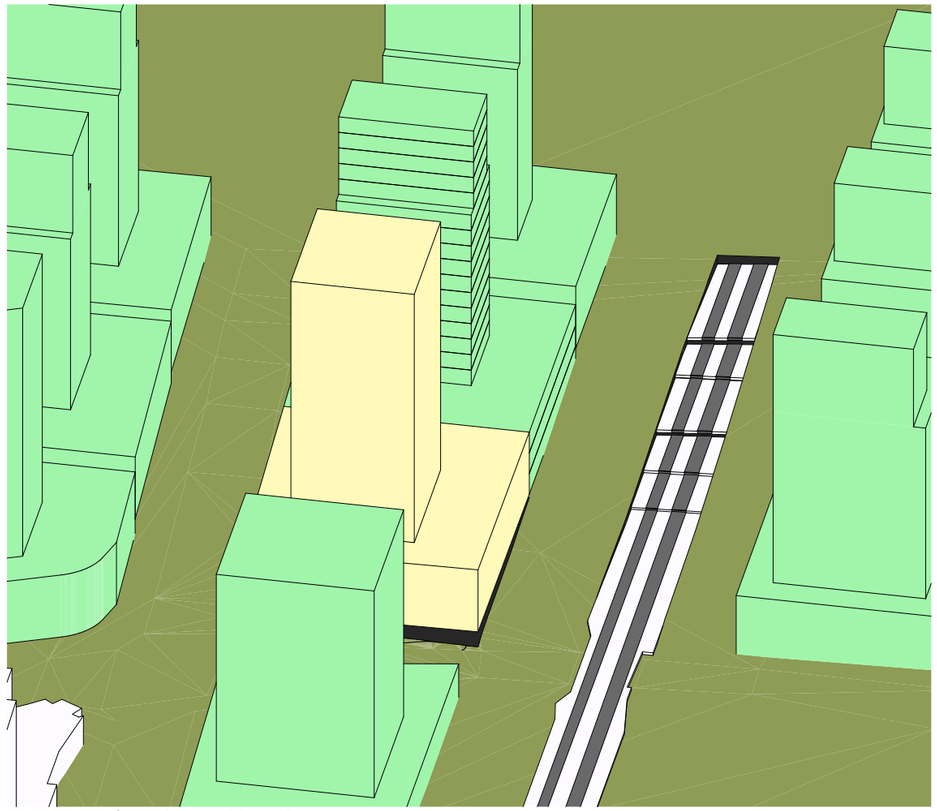

3D FUTURE OPT 02: June 21st - 12pm

SCALE 1:1000

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Rev	Description	Date	App'd
H	DA AMMENDMENT	16.10.20	MB
G	DA AMMENDMENT	02.10.20	MB

Project
16-20 Belmore Street Wollongong

16-18 BELMORE STREET
WOLLONGONG NSW Australia

URBAN LINK
Business Address: Level 10, 11-15 Deane Street, Burwood NSW 2134
Postal Address: PO BOX 2223 Burwood North NSW 2134
Phone Number: +61 29745 2014

Nominated Architects:
Ziad Boumelhem Reg no 8008
Youssef El Khawaja Reg no 8933 Nicolas Toubia Reg no 9336

Drawing Title
OPTIONS - COMPLIANCE
VIEW FROM SUN FUTURE 02

Checked/Approved

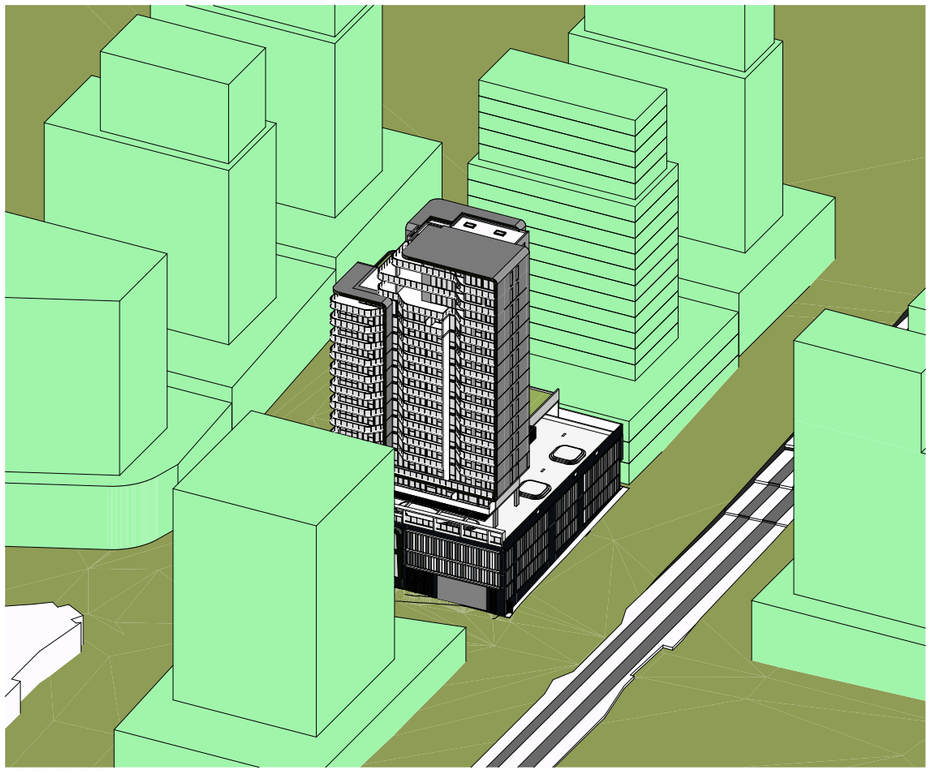
Scale
1:1000 @A3 Sheet Size

Project Number
19055

Drawing Number Revision
DA-1414 H

Status
DEVELOPMENT APPLICATION

2020-024 DA 16-20 Belmore Street Wollongong 22/10/20203:13 PM



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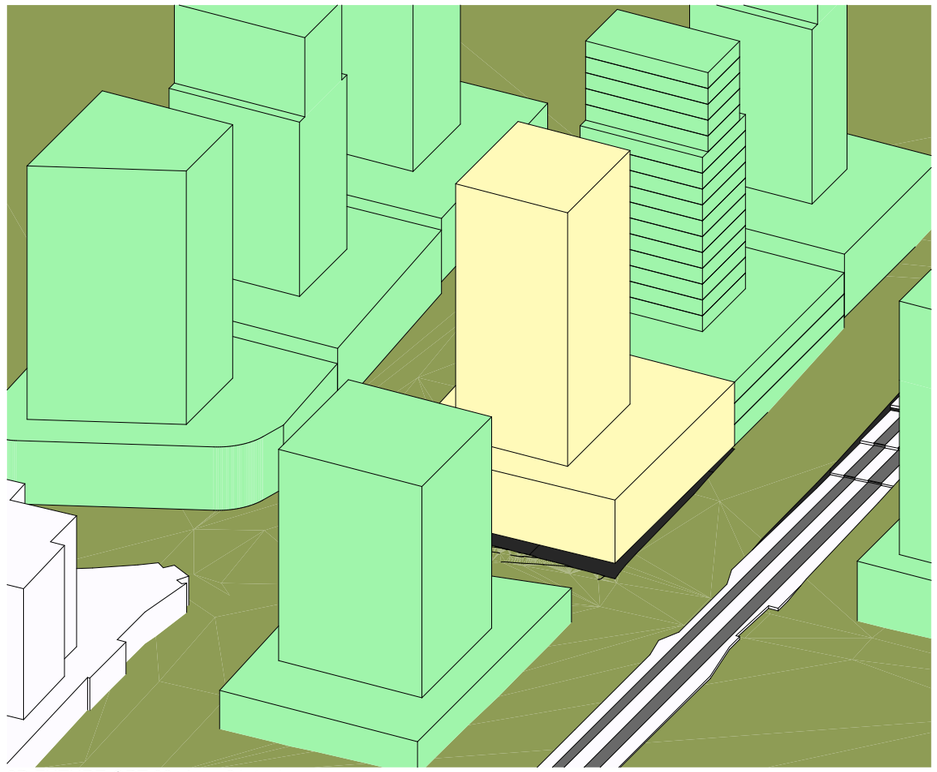

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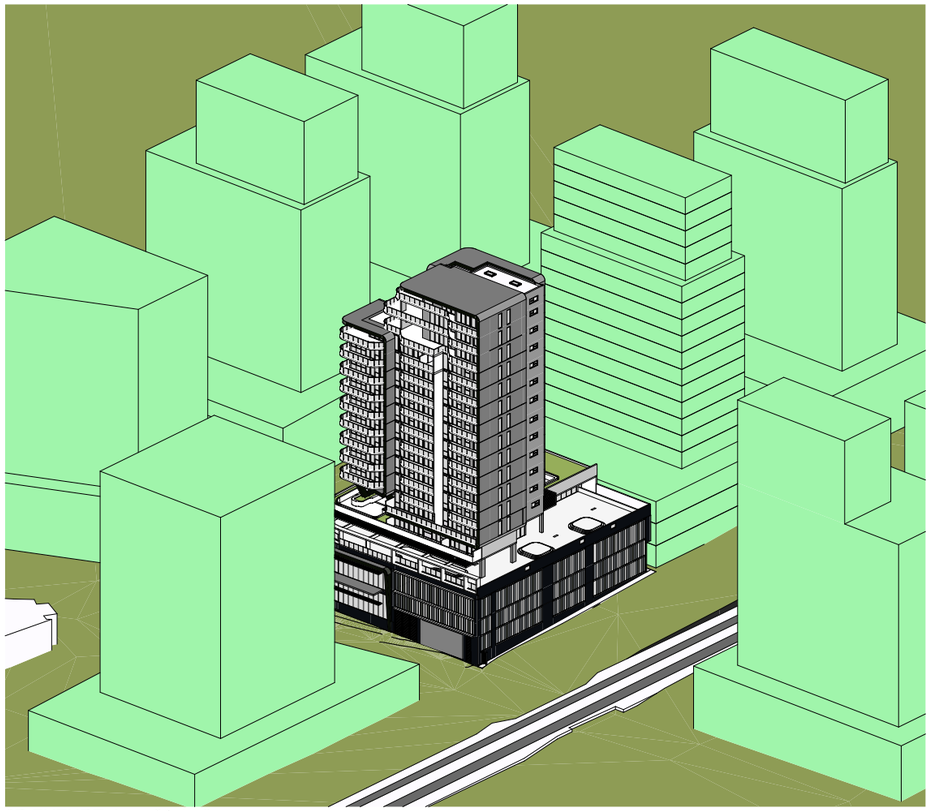

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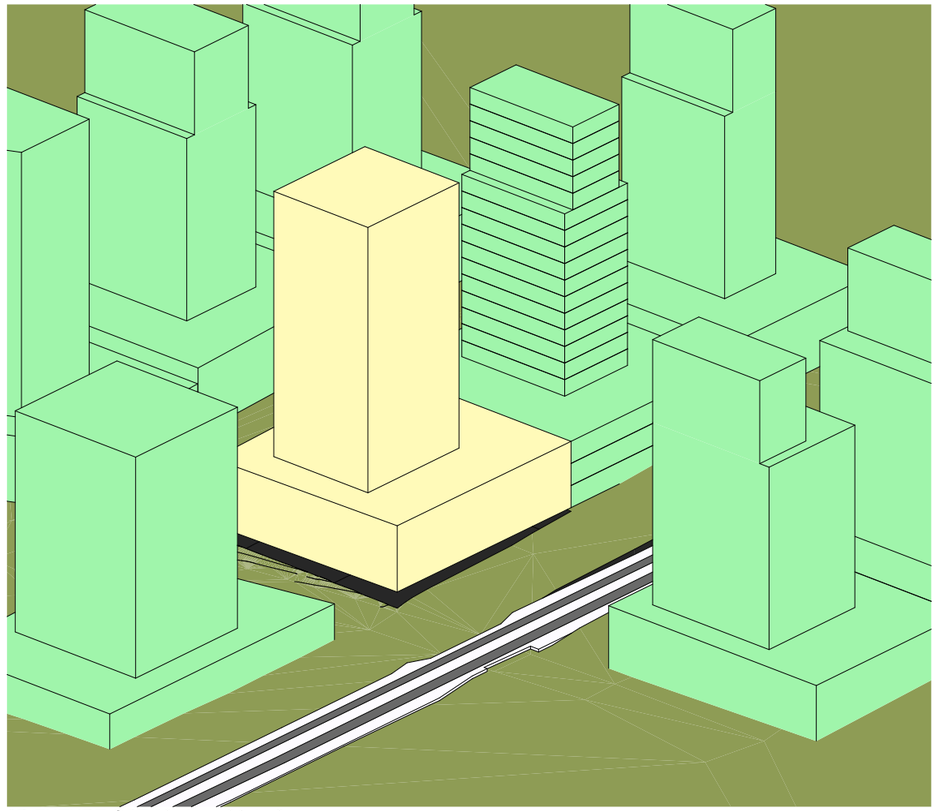
SCALE 1:1000



3D FUTURE OPT 02: June 21st - 2pm

SCALE 1:1000

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Rev	Description	Date	App'd
H	DA AMMENDMENT	16.10.20	MB
G	DA AMMENDMENT	02.10.20	MB

Project

16-20 Belmore Street Wollongong

16-18 BELMORE STREET
WOLLONGONG NSW Australia

URBAN LINK

Business Address: Level 10, 11-15 Deane Street, Burwood NSW 2134
Postal Address: PO BOX 2223 Burwood North NSW 2134
Phone Number: +61 29745 2014

Nominated Architects:
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Youssef El Khawaja Reg no 8933 Nicolas Toubia Reg no 9336

Drawing Title

OPTIONS - COMPLIANCE

VIEW FROM SUN FUTURE 03

Checked/Approved

Scale

1:1000 @A3 Sheet Size

Project Number

19055

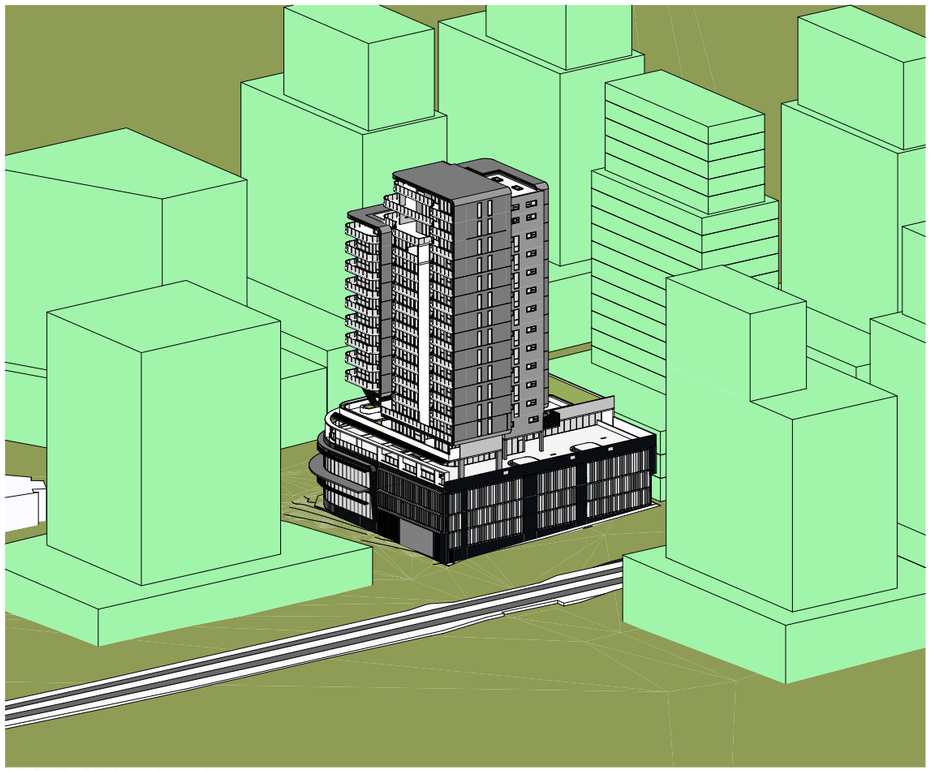
Drawing Number Revision

DA-1415 H

Status

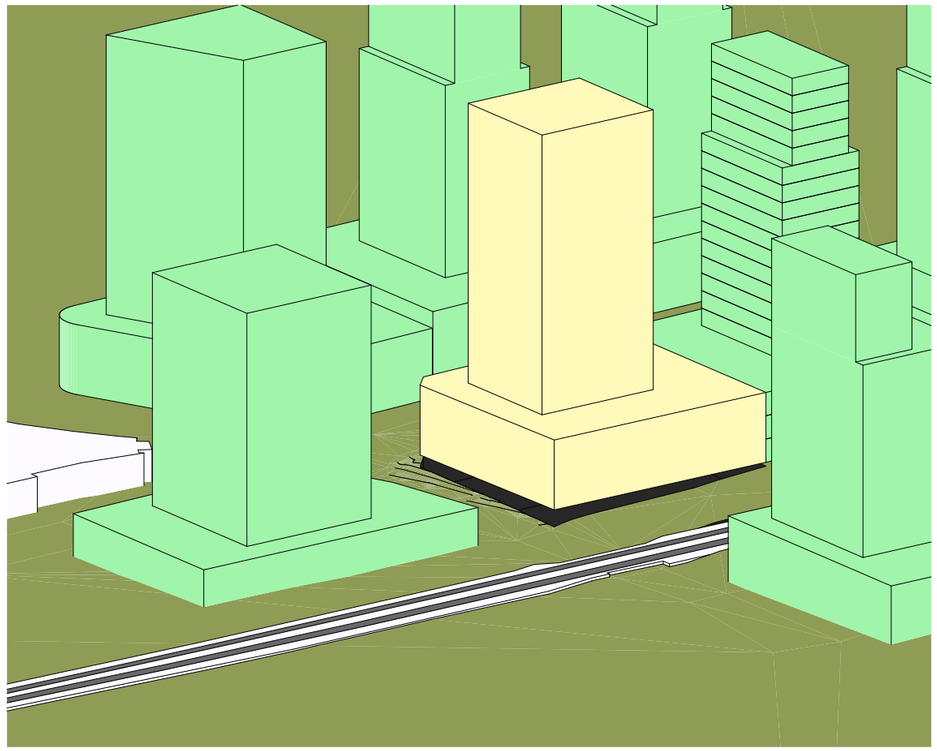
DEVELOPMENT APPLICATION

2020-024 DA 16-20 Belmore Street Wollongong 22/10/20203:13 PM



3D FUTURE June 21st - 3pm

SCALE 1:1000



3D FUTURE OPT 02: June 21st - 3pm

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Rev	Description	Date	App'd
H	DA AMMENDMENT	16.10.20	MB
G	DA AMMENDMENT	02.10.20	MB

Project
16-20 Belmore Street Wollongong

16-18 BELMORE STREET
WOLLONGONG NSW Australia

URBAN LINK
Business Address: Level 10, 11-15 Deane Street, Burwood NSW 2134
Postal Address: PO BOX 2223 Burwood North NSW 2134
Phone Number: +61 29745 2014

Nominated Architects:
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Youssef El Khawaja Reg no 8933 Nicolas Toubia Reg no 9336

Drawing Title
OPTIONS - COMPLIANCE
VIEW FROM SUN FUTURE 04

Checked/Approved

Scale
1:1000 @A3 Sheet Size

Project Number
19055

Drawing Number Revision
DA-1416 H

Status
DEVELOPMENT APPLICATION

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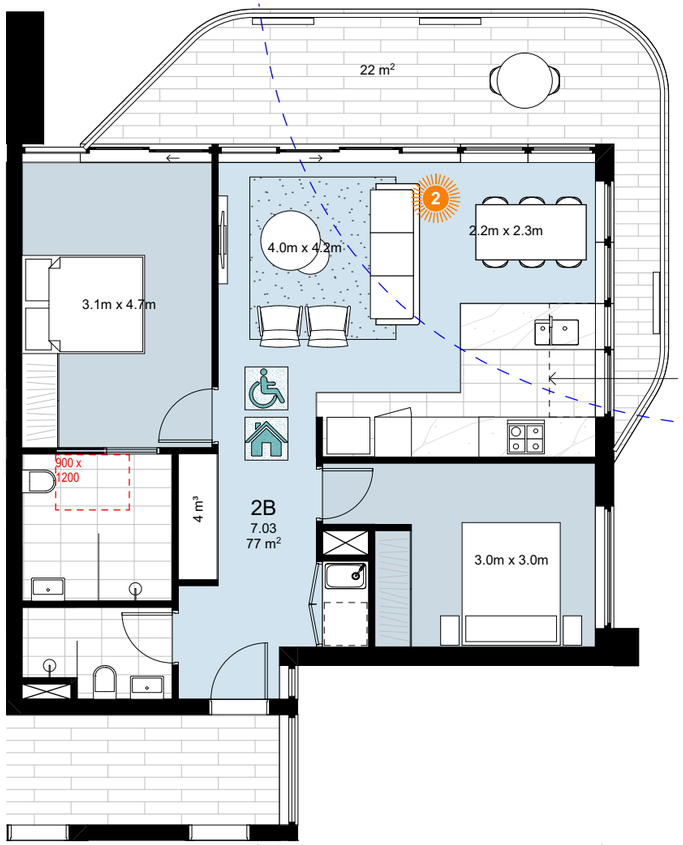
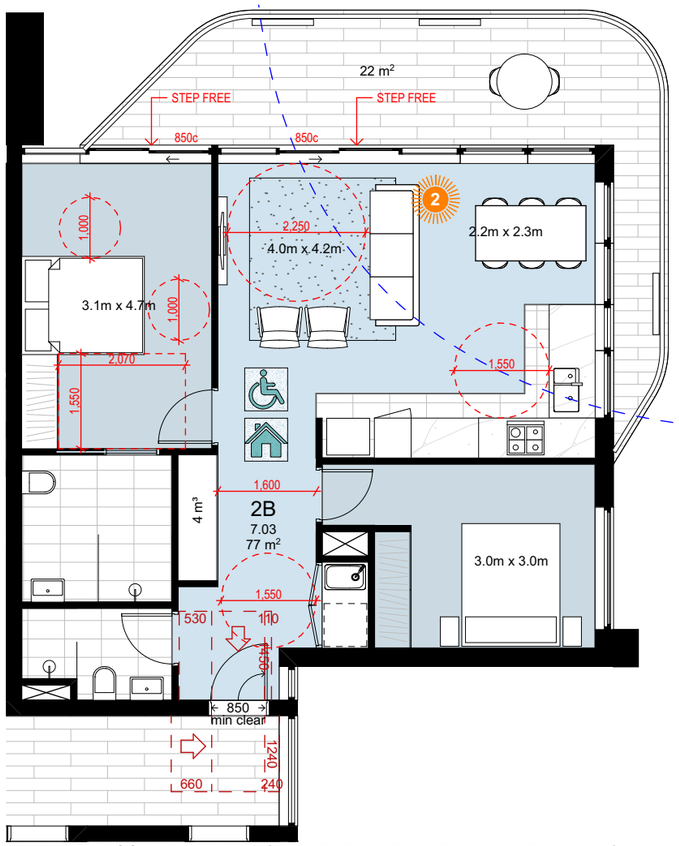
G. IF DIAL BEFORE YOU DIG INFORMATION IS
THIS DOCUMENTATION IT SHALL BE
TO BE CURRENT AND CONTRACTOR SHALL
N ENQUIRES.
DIAL BEFORE YOU DIG



LEVEL 07 - PRE ADAPTABLE & LIVABLE UNIT No: 5.03, 6.03, 7.03, 8.03 & 9.03

SCALE 1:100



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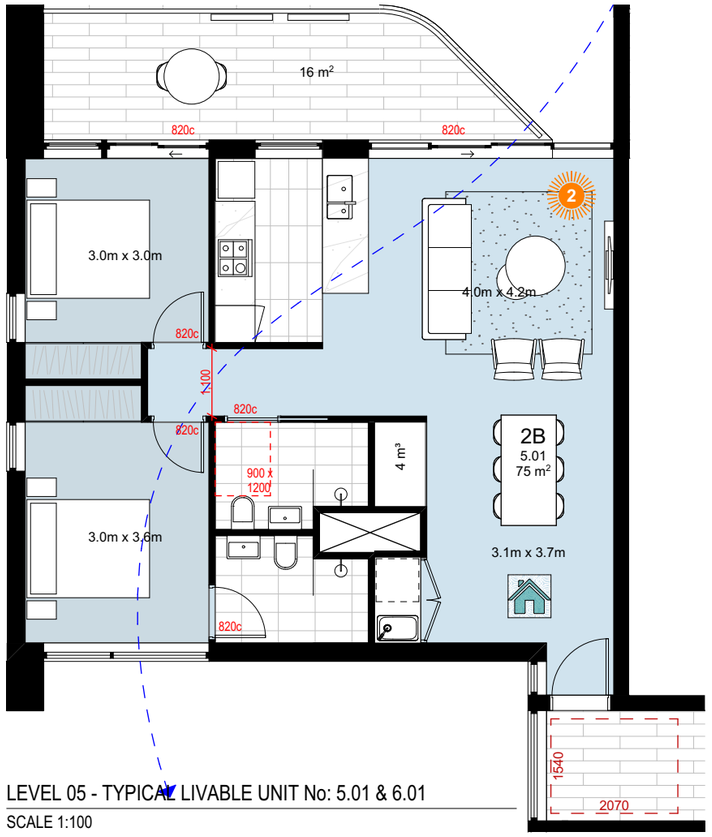
SCALE 1:100

LEVEL 10 - TYPICAL LIVABLE UNIT No: 10.03, 11.03 & 12.03

SCALE 1:100



LEVEL 05 - TYPICAL LIVABLE UNIT No: 5.01 & 6.01

SCALE 1:100

Rev	Description	Date	App'd
H	DA AMMENDMENT	16.10.20	MB
G	DA AMMENDMENT	02.10.20	MB

Project
16-20 Belmore Street Wollongong

16-18 BELMORE STREET
WOLLONGONG NSW Australia

URBAN LINK
Business Address: Level 10, 11-15 Deane Street, Burwood NSW 2134
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Drawing Title
OPTIONS - COMPLIANCE
ADAPTABLE & LIVABLE

Checked/Approved

Scale
1:100 @A3 Sheet Size

Project Number
19055

Drawing Number Revision
DA-1409 H

Status
DEVELOPMENT APPLICATION

Multi-Residential Development

16-20 Belmore Street, Wollongong NSW

Development Application

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Issue	Revision Description	Drawn	Check	Date
J	ARCHITECTURAL COORDINATION	SM	NM	19.10.2020
I	ARCHITECTURAL COORDINATION	SM	NM	16.10.2020
H	ARCHITECTURAL COORDINATION	LM	NM	28.08.2020
G	ARCHITECTURAL COORDINATION	SM	NM	12.05.2020
F	ARCHITECTURAL COORDINATION	SM	NM	11.05.2020
E	ARCHITECTURAL COORDINATION	SM	NM	01.05.2020
D	ARCHITECTURAL COORDINATION	SM	NM	16.12.2019
C	UPDATED FOR COMMENT	MW	NM	23.10.2019
B	FOR COMMENT	SM	NM	18.09.2019
A	FOR COMMENT	SM	NM	17.09.2019

LEGEND

Drawing Schedule

Drawing Number	Drawing Title	Scale
000	Landscape Coversheet	N/A
101	Landscape Plan - Ground Floor	1:100
102	Landscape Plan - Level 2	1:100
103	Landscape Plan - Level 3	1:100
104	Landscape Plan - Level 12	1:50
501	Landscape Details	AS SHOWN

Plant Schedule

Symbol	Botanic Name	Common Name	Mature Height (m)	Mature Width (m)	Spacing	Pot Size	G	L2	L3	L12
	Trees									
Ca	*Cupaniopsis anacardioides*	Tuckaroo	8	4	As Shown	100L	0	0	4	0
Ee	*Elaeocarpus Eumundi*	Eumundi Quandong	7	3	As Shown	100L	0	0	3	0
Er	*Elaeocarpus reticulatus*	Blueberry Ash	8	4	As Shown	100L	0	0	2	0
Fc	*Ficus coronata*	Sandpaper Fig	10	3	As Shown	100L	0	4	0	0
Li	*Lagerstroemia indica x fauriei* 'Natchez'	Crepe Myrtle	8	4	As Shown	100L	0	0	2	0
MLG	*Magnolia grandiflora 'Little Gem'*	Dwarf Magnolia	5	3	As Shown	100L	0	0	4	5
MTB	*Magnolia grandiflora 'Teddy Bear'*	Teddy Bear Magnolia	3	2	As Shown	100L	0	2	2	0
Up	*Ulmus parvifolia*	Chinese Elm	13	10	As Shown	100L	0	0	1	0
	Shrubs									
AsM	*Acmena smithii* 'Minor'	Lilly Pilly Minor	1	1.5	As Shown	300mm	0	0	14	0
CGF	*Callistemon 'Great Balls of Fire'*	Bottlebrush	2	2	As Shown	300mm	0	20	47	0
Ri	*Raphiolepis indica 'Oriental Pearl'*	Oriental Pearl Indian Hawthorn	0.9	1	As Shown	300mm	0	0	61	0
Vo	*Viburnum odoratissimum*	Sweet Viburnum	3	2	As Shown	300mm	0	71	55	0
Wf	*Westringia 'fruticosa 'Aussie Box'*	Dwarf Coastal Rosemary	0.9	0.9	As Shown	300mm	15	15	67	31
	Accents									
Aa	*Asplenium australascium*	Birds Nest Fern	1	1	As Shown	300mm	0	0	66	0
Aat	*Agave Attenuata*	Agave	1	1	As Shown	300mm	0	34	16	13
Ai	*Alcantarea imperialis 'Rubra'*	Bromeliad	1	1	As Shown	300mm	0	14	49	0
BSL	*Blechnum* 'Silver Lady'	Silver Lady Fern	0.7	0.7	As Shown	140mm	0	0	25	0
By	*Beschorneria yuccoides*	Mexican Lily	1.5	2	As Shown	300mm	0	8	7	0
De	*Doryanthes excelsa*	Gymea Lily	1	1	As Shown	300mm	7	0	36	0
PX	*Philodendron* 'Xanadu'	Xanadu Philodendron	1	1	As Shown	300mm	0	0	23	0
Re	*Rhapis excelsa*	Lady Palm	2	1	As Shown	300mm	0	0	38	0
Zf	*Zamia furfuracea*	Cardboard Palm	1	1	As Shown	300mm	0	0	23	0
	Groundcovers/ Grasses									
Ad	*Alternanthera denticulata* 'Little Ruby'	Little Ruby	0.4	0.7	5/m^2	140mm	0	55	42	0
Cg	Carpobrotus glaucascens	Pig Face	0.2	1	5/m^2	140mm	0	0	44	0
Hs	Hibbertia scandens	Snake vine	0.3	spreading	5/m^2	140mm	0	0	32	0
LEG	Liriope 'Evergreen Giant'	Giant Liriope	0.6	0.6	5/m^2	200mm	0	10	152	46
Ll	Lomandra longifolia 'Nyala'	Lomandra	1	1	5/m^2	140mm	0	47	68	13
Ob	Ocimum basilicum	Basil	0.5	0.3	5/m^2	140mm	0	27	0	0
PE	Poa 'Eskdale'	Tussock Grass	0.6	0.6	5/m^2	200mm	12	23	22	0
PK	Poa 'Kingsdale'	Blue Tussock Grass	0.5	0.5	5/m^2	140mm	16	32	56	10
Ro	Rosemarinus officinalis 'Blue Lagoon'	Rosemary	1.5	2	5/m^2	140mm	0	31	6	0
Tt	Tetragonia tetragonioides	Warrigal Spinach	0.2	spreading	5/m^2	140mm	0	23	0	0
Tj	Trachelospermum jasminoides	Star Jasmine	0.2	1	5/m^2	140mm	0	294	530	22
Vh	Viola hederacea	Native Violet	0.3	spreading	5/m^2	140mm	0	0	110	0

Client:

Blaq Projects Pty Ltd

Project:

16-20 Belmore Street
Wollongong NSW

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Landscape Architects

PRELIMINARY

Drawing Name:

Landscape Coversheet

Scale:

Job Number: SS19-4223

Drawing Number: 000

Issue: J

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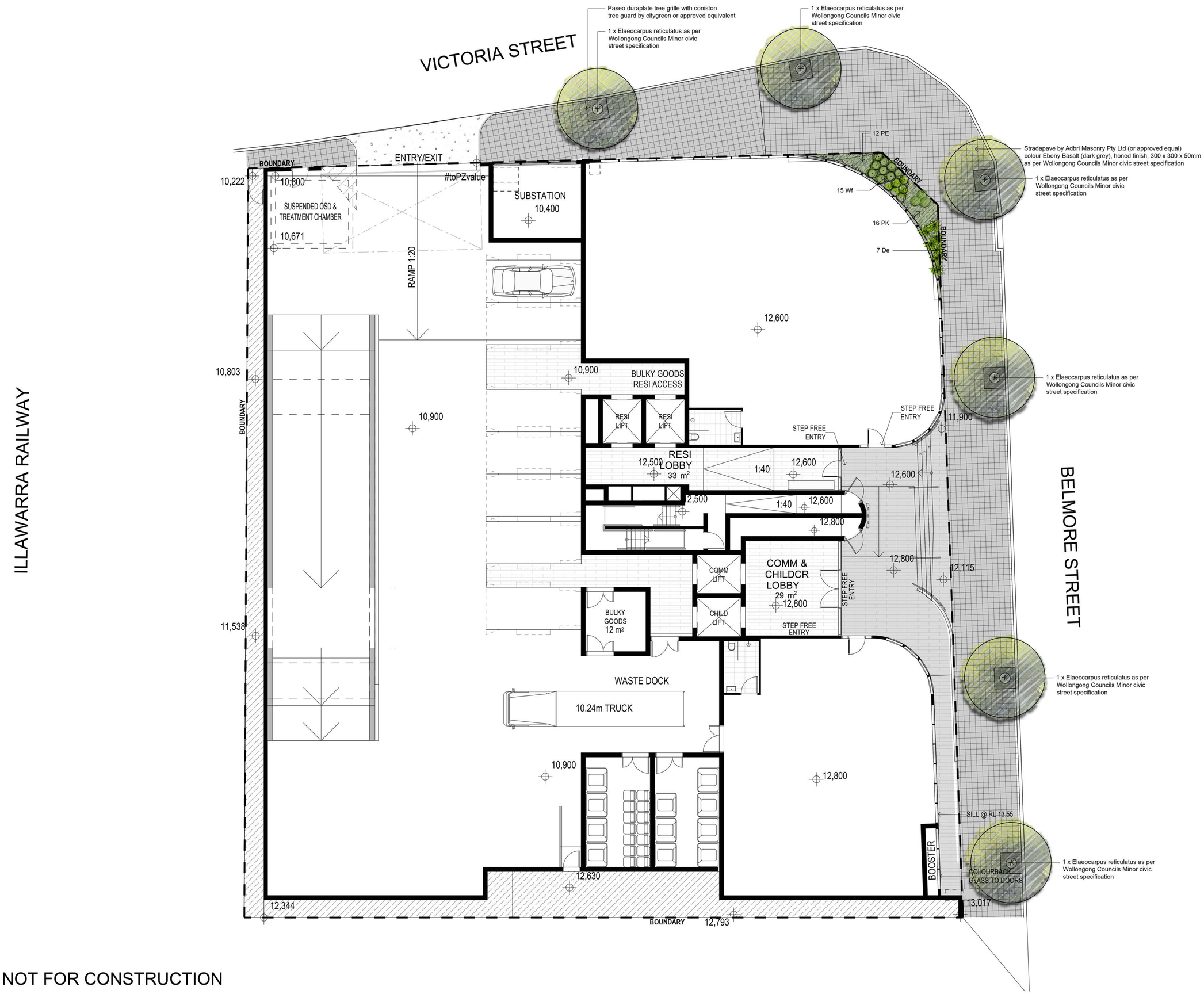

Issue	Revision Description	Drawn	Check	Date
G	ARCHITECTURAL COORDINATION	SM	NM	16.10.2020
F	ARCHITECTURAL COORDINATION	LM	NM	28.08.2020
E	ARCHITECTURAL COORDINATION	SM	NM	12.05.2020
D	ARCHITECTURAL COORDINATION	SM	NM	11.05.2020
C	ARCHITECTURAL COORDINATION	SM	NM	01.05.2020
B	FOR COMMENT	SM	NM	18.09.2019
A	FOR COMMENT	SM	NM	17.09.2019

LEGEND

- Boundary
- Proposed Tree (Refer Plant Schedule & Detail)
- Shrubs & Accents (Refer Plant Schedule & Detail)
- Grasses & Groundcovers (Refer Plant Schedule & Detail)
- Unit Paving

Client:
Blaq Projects Pty Ltd

Project:
16-20 Belmore Street
Wollongong NSW

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Australia

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Landscape Architects

PRELIMINARY

Drawing Name:
Landscape Plan
Ground Floor

Scale: 1:100 @ A1 (0 1 2 3 4 5m)

Job Number: SS19-4223
Drawing Number: 101
Issue: G

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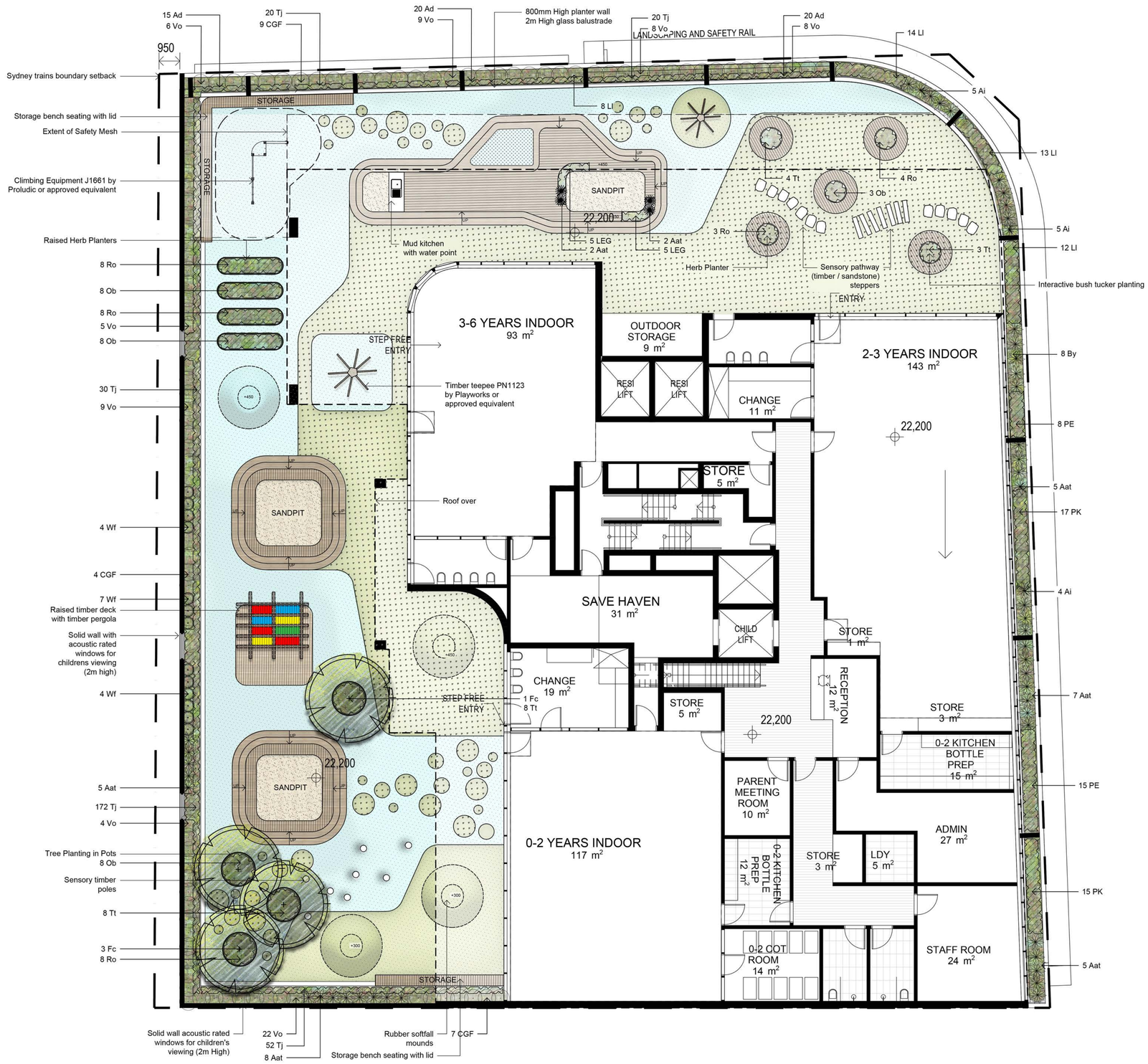

Issue	Revision Description	Drawn	Check	Date
I	ARCHITECTURAL COORDINATION	SM	NM	19.10.2020
H	ARCHITECTURAL COORDINATION	SM	NM	16.10.2020
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E	ARCHITECTURAL COORDINATION	SM	NM	12.05.2020
D	ARCHITECTURAL COORDINATION	SM	NM	11.05.2020
C	ARCHITECTURAL COORDINATION	SM	NM	01.05.2020
B	FOR COMMENT	SM	NM	18.09.2019
A	FOR COMMENT	SM	NM	17.09.2019

LEGEND

- Boundary
- Proposed Tree (Refer Plant Schedule & Detail)
- Shrubs & Accents (Refer Plant Schedule & Detail)
- Grasses & Groundcovers (Refer Plant Schedule & Detail)
- Artificial Turf (Refer Detail)
- Timber Decking
- Rubber Softfall
- Planter Wall
- Building Over

Client:
Blaq Projects Pty Ltd

Project:
16-20 Belmore Street
Wollongong NSW

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Landscape Architects

PRELIMINARY

Drawing Name:
Landscape Plan
Level 2

Scale: 1:100 @ A1 (0 1 2 3 4 5m)

Job Number: SS19-4223
Drawing Number: 102
Issue: I

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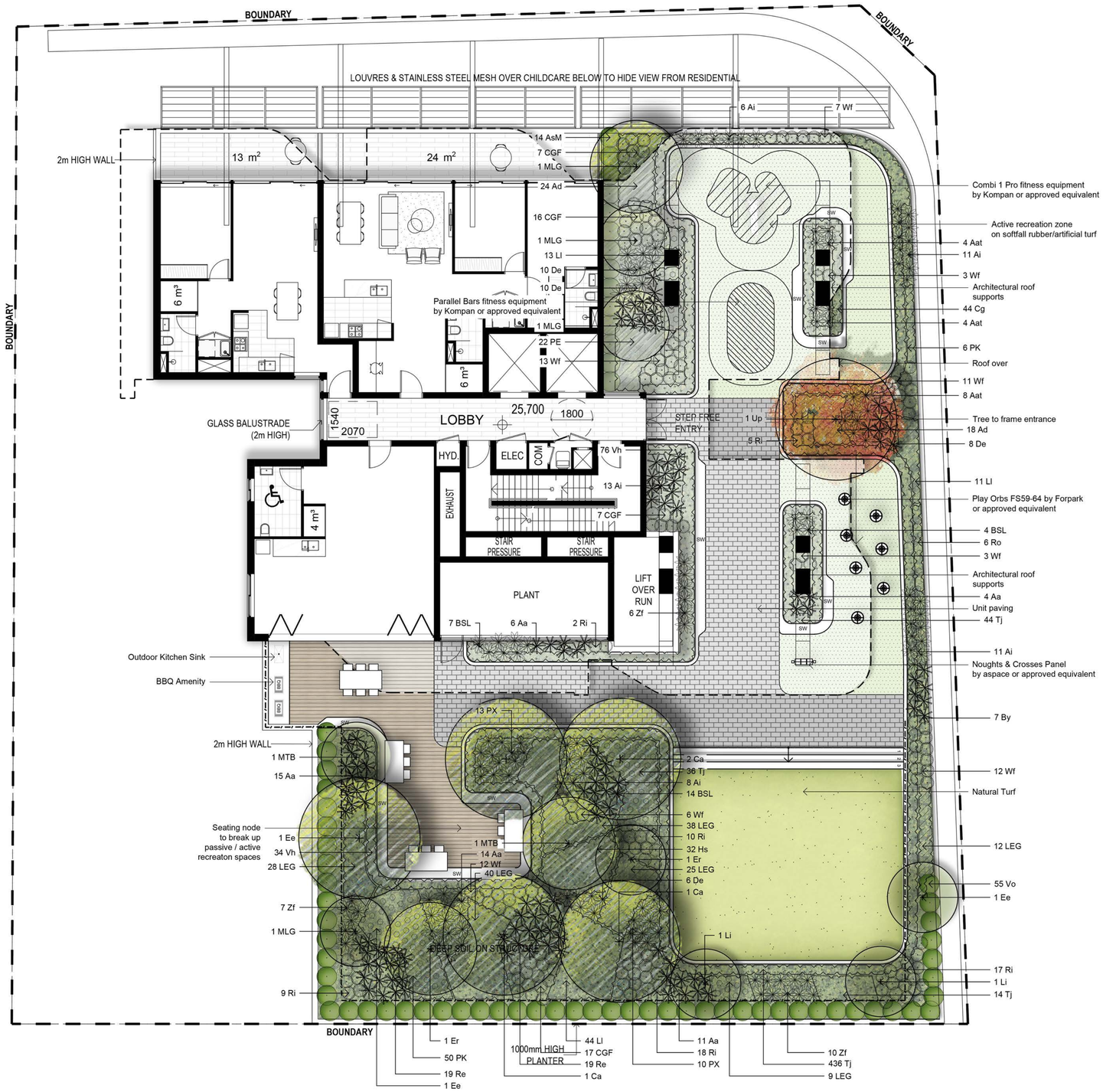

Issue	Revision Description	Drawn	Check	Date
J	ARCHITECTURAL COORDINATION	SM	NM	19.10.2020
I	ARCHITECTURAL COORDINATION	SM	NM	16.10.2020
H	ARCHITECTURAL COORDINATION	LM	NM	28.08.2020
G	ARCHITECTURAL COORDINATION	SM	NM	12.05.2020
F	ARCHITECTURAL COORDINATION	SM	NM	11.05.2020
E	ARCHITECTURAL COORDINATION	SM	NM	01.05.2020
D	ARCHITECTURAL COORDINATION	SM	NM	16.12.2019
C	UPDATED FOR COMMENT	MW	NM	23.10.2019
B	FOR COMMENT	SM	NM	18.09.2019
A	FOR COMMENT	SM	NM	17.09.2019

LEGEND

- Boundary
- Proposed Tree (Refer Plant Schedule & Detail)
- Shrubs & Accents (Refer Plant Schedule & Detail)
- Grasses & Groundcovers (Refer Plant Schedule & Detail)
- Softfall Rubber/ Artificial Turf (Refer Detail)
- Unit Paving (Refer Detail)
- Natural Turf (Refer Detail)
- Seating Wall (SW)
- Planter Wall
- Building Over
- Balustrade
- Timber Deck

Client:
Blaq Projects Pty Ltd

Project:
16-20 Belmore Street
Wollongong NSW

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Landscape Architects

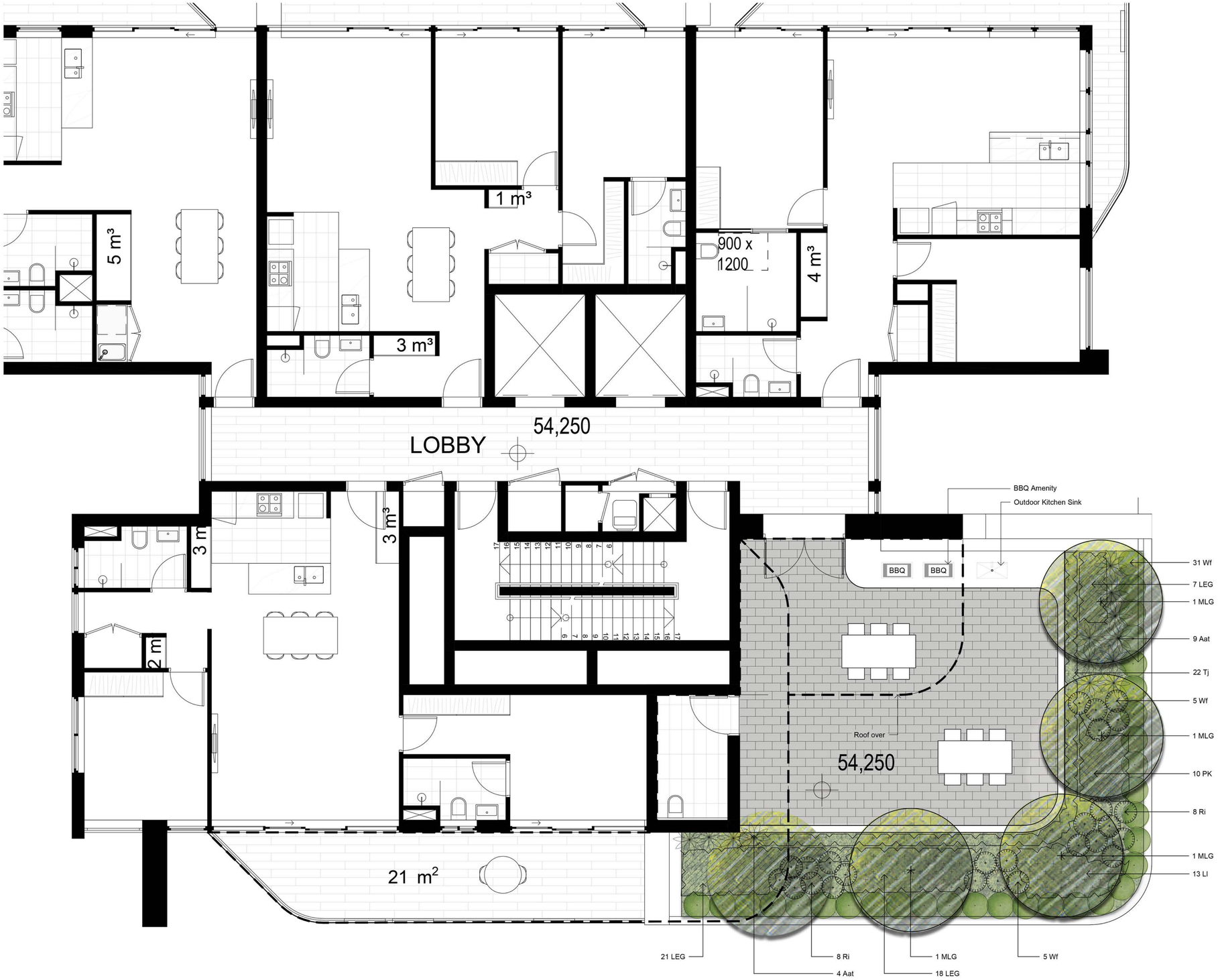
PRELIMINARY

Drawing Name:
Landscape Plan
Level 3

Scale: 1:100 @ A1 (0 1 2 3 4 5m)
Job Number: SS19-4223
Drawing Number: 103
Issue: J

NOT FOR CONSTRUCTION

A1



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The contractor shall check and verify all work on site (including work by others) before commencing the landscape installation. Any discrepancies are to be reported to the Project Manager or Landscape Architect prior to commencing work. Do not scale this drawing. Any required dimensions not shown shall be referred to the Landscape Architect for confirmation.

Issue	Revision Description	Drawn	Check	Date
I	ARCHITECTURAL COORDINATION	SM	NM	16.10.2020
H	ARCHITECTURAL COORDINATION	LM	NM	28.08.2020
G	ARCHITECTURAL COORDINATION	SM	NM	12.05.2020
F	ARCHITECTURAL COORDINATION	SM	NM	11.05.2020
E	ARCHITECTURAL COORDINATION	SM	NM	01.05.2020
D	ARCHITECTURAL COORDINATION	SM	NM	16.12.2019
C	UPDATED FOR COMMENT	MW	NM	23.10.2019
B	FOR COMMENT	SM	NM	18.09.2019
A	FOR COMMENT	SM	NM	17.09.2019

LEGEND

- Boundary
- Proposed Tree (Refer Plant Schedule & Detail)
- Shrubs & Accents (Refer Plant Schedule & Detail)
- Grasses & Groundcovers (Refer Plant Schedule & Detail)
- Unit Paving (Refer Detail)
- Planter Wall
- Building Over

Client:
Blaq Projects Pty Ltd

Project:
16-20 Belmore Street
Wollongong NSW

SITE IMAGE
Level 1, 3-5 Baptist Street
Redfern NSW 2016
Australia

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Landscape Architects

PRELIMINARY

Drawing Name:
Landscape Plan
Level 12

Scale: 1:50 @ A1
0 0.5 1 1.5 2 2.5m

Job Number: SS19-4223
Drawing Number: 104
Issue: I

NOT FOR CONSTRUCTION

A1

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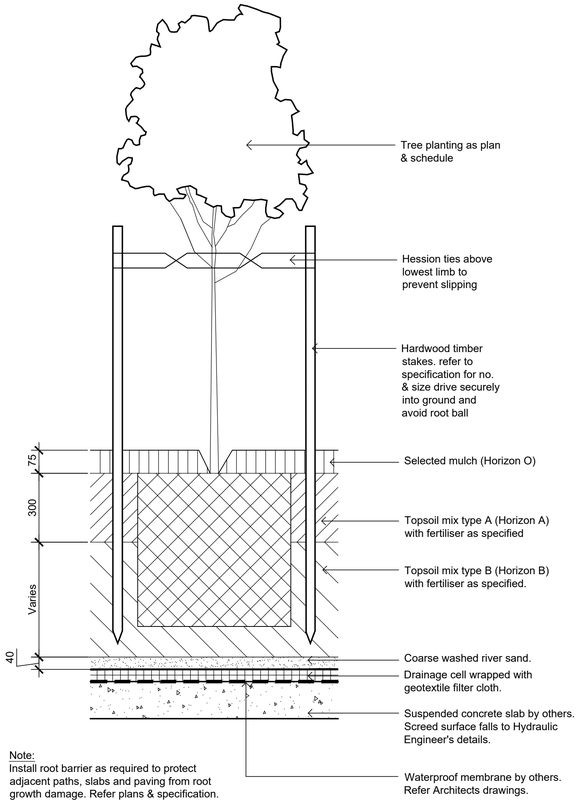
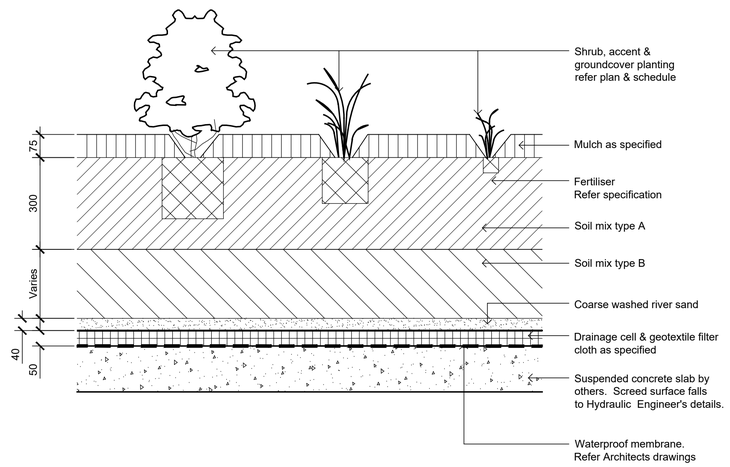
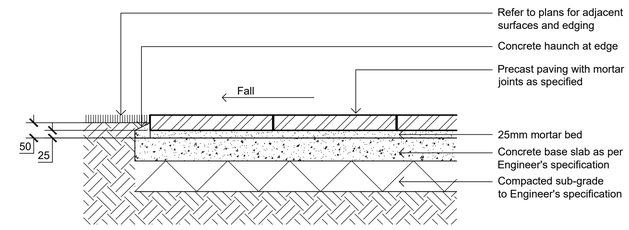
Issue	Revision Description	Drawn	Check	Date
B	ARCHITECTURAL COORDINATION	SM	NM	30.04.2020
A	FOR COMMENT	SM	NM	17.09.2019



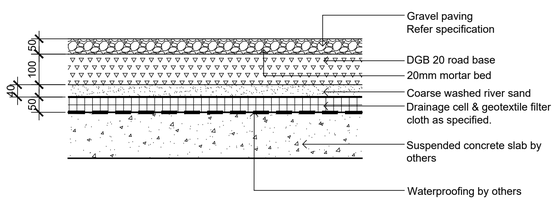
Detail 75-200L Tree Planting on Structure
1:10



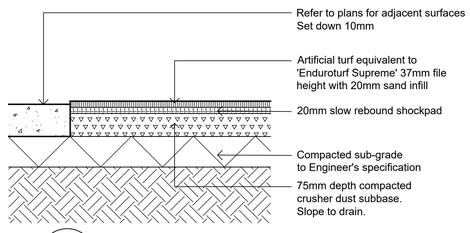
Detail Shrub Accent & Groundcover Planting on Structure
1:10



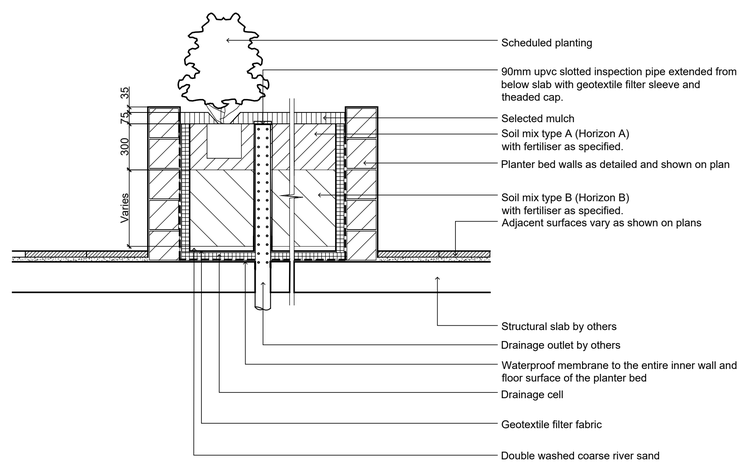
PRECAST UNIT PAVERS ON CONC SLAB
SCALE 1:10



Gravel Paving on Slab
1:10



Artificial Turf
1:10



Section - Typical Raised Planter Bed on Structure
1:20
Inspection riser pipe

Client:
Blaq Projects Pty Ltd

Project:
16-20 Belmore Street
Wollongong NSW

SITE IMAGE
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Landscape Architects

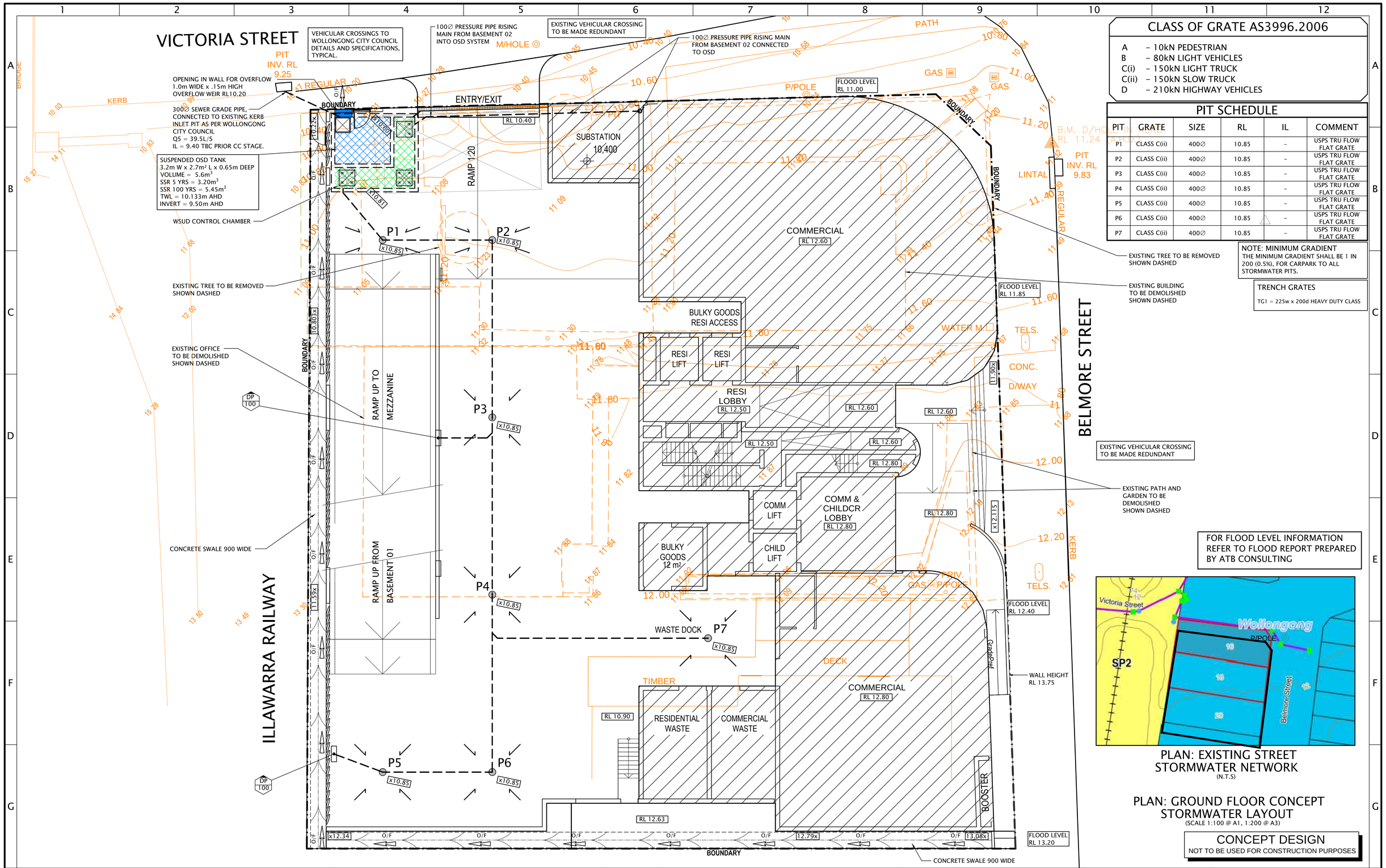
PRELIMINARY

Drawing Name:
Landscape Details

Scale: AS SHOWN
Job Number: SS19-4223
Drawing Number: 501
Issue: B

NOT FOR CONSTRUCTION

A1



CLASS OF GRATE AS3996.2006

- A – 10kN PEDESTRIAN
- B – 80kN LIGHT VEHICLES
- C(i) – 150kN LIGHT TRUCK
- C(ii) – 150kN SLOW TRUCK
- D – 210kN HIGHWAY VEHICLES

PIT SCHEDULE

PIT	GRATE	SIZE	RL	IL	COMMENT
P1	CLASS C(ii)	400∅	10.85	–	USPS TRU FLOW FLAT GRATE
P2	CLASS C(ii)	400∅	10.85	–	USPS TRU FLOW FLAT GRATE
P3	CLASS C(ii)	400∅	10.85	–	USPS TRU FLOW FLAT GRATE
P4	CLASS C(ii)	400∅	10.85	–	USPS TRU FLOW FLAT GRATE
P5	CLASS C(ii)	400∅	10.85	–	USPS TRU FLOW FLAT GRATE
P6	CLASS C(ii)	400∅	10.85	–	USPS TRU FLOW FLAT GRATE
P7	CLASS C(ii)	400∅	10.85	–	USPS TRU FLOW FLAT GRATE

NOTE: MINIMUM GRADIENT
THE MINIMUM GRADIENT SHALL BE 1 IN 200 (0.5%), FOR CARPARK TO ALL STORMWATER PITS.

TRENCH GRATES
TG1 = 225w x 200d HEAVY DUTY CLASS

FOR FLOOD LEVEL INFORMATION REFER TO FLOOD REPORT PREPARED BY ATB CONSULTING

PLAN: EXISTING STREET STORMWATER NETWORK
(N.T.S)

PLAN: GROUND FLOOR CONCEPT STORMWATER LAYOUT
(SCALE 1:100 @ A1, 1:200 @ A3)

CONCEPT DESIGN
NOT TO BE USED FOR CONSTRUCTION PURPOSES

ISSUE	AMENDMENT	DATE
A	ISSUE FOR DA APPLICATION	18/05/20
B	MINOR AMENDMENTS	01/09/20
C	LAYOUT REVISED	20/10/20

PLANS 0 1000 2000 3000 4000 5000

DO NOT SCALE IF IN DOUBT ASK — A1

THIS DRAWING SHALL BE READ IN CONJUNCTION WITH SPECIFICATIONS

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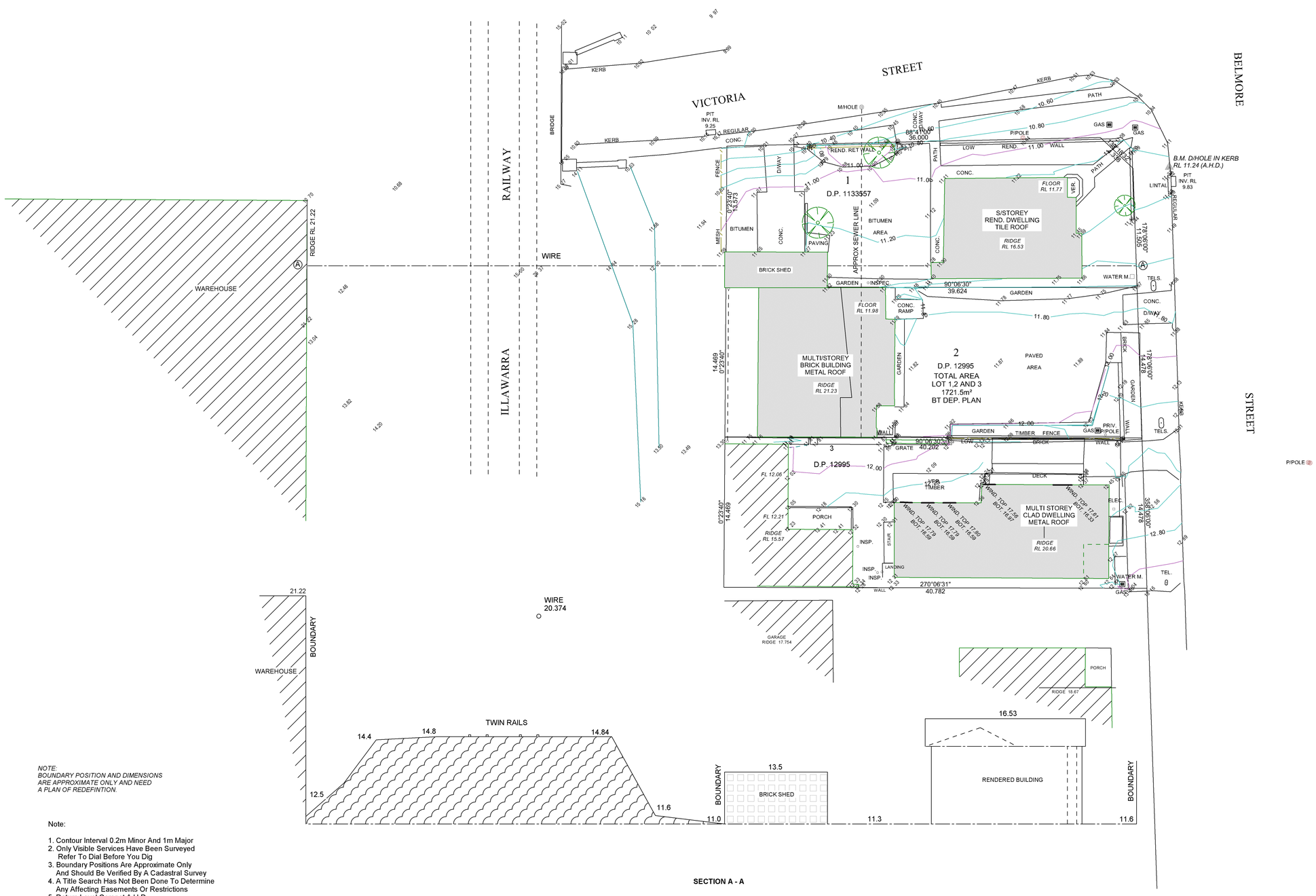
Email: info@atbconsulting.com.au
ACEA The Association of Consulting Engineers Australia

Title	PLAN:GROUND FLOOR CONCEPT STORMWATER LAYOUT
Project	PROPOSED MIXED USE DEVELOPMENT
At	16-20 BELMORE STREET WOLLONGONG
Client	URBAN LINK

SCALES	AS SHOWN		DATE PLOTTED 22/10/19
DRAWN	D.K.		
DESIGNED	G.U.		DATUM A.H.D.
CHECKED	G.U.	DATE CHK'D __/07/19	
		PROJECT No 19073	DWG SW4 / REVISION C



SECTION A - A

NOTE:
BOUNDARY POSITION AND DIMENSIONS ARE APPROXIMATE ONLY AND NEED A PLAN OF REDEFINTION.

Note:

1. Contour Interval 0.2m Minor And 1m Major
2. Only Visible Services Have Been Surveyed Refer To Dial Before You Dig
3. Boundary Positions Are Approximate Only And Should Be Verified By A Cadastral Survey
4. A Title Search Has Not Been Done To Determine Any Affecting Easements Or Restrictions
5. Datum Level Corsnet A.H.D.

0 10 20

CEH Consulting Pty Ltd.
A.B.N. 81 056 544 604
CONSULTING LAND, ENGINEERING AND MINING SURVEYORS, TOWN PLANNERS
'THE LINK' 44 BAAN BAAN STREET DAPTO NSW 2530
PHONE 02 42 614366 msmith@cehconsulting.com.au FAX 02 42 615243

DETAIL SURVEY

OF LOT 1, D.P. 1133557 & LOT 2 D.P. 12995
#16-18 BELMORE STREET, WOLLONGONG

FOR BLAQ PROJECTS

DATE	26/06/2019	AMENDMENTS	SURVEY FILE	DRAWING No.
SURVEYOR	DM		DWG FILE	A1-D219186
DRAWN	MS			
CHECKED	MS			SCALE 1:200
				Sheet 1 of 1 Sheets

Attachment 3

Wollongong Design Review Panel – Via Teams Meeting
Meeting minutes and recommendations

Date	15 September 2020
Meeting location	Wollongong City Council Administration Offices
Panel members	David Jarvis
	Tony Quinn
	Sue Hobley
Apologies	Nil
Council staff	Nigel Lamb – City Centre & Major Development Manager (Acting) Rebecca Welsh – Senior Development Project Officer
Guests/ representatives of the applicant	Jared Beneru- -BLAQ Projects Tony Jreige – Urban Link Architects Mark Beauman - Urban Link Architects
Declarations of Interest	Nil
Item number	1
DA number	DA-2019/1290
Determination pathway	SEPP 65, WLEP 2009 – Clause 7.18 Design Excellence (5)(a) – building exceeds 35m in height
Property address	16-18 Belmore Street, Wollongong
Proposal	Revised Plans - Demolition of existing structures and construction of a mixed use (shop top housing) development including a commercial tenancy, 28 unit (comprising of 4x 1-bedroom apartments, 22x2 bedroom apartments and 2x3 bedroom apartments). One level of basement parking is proposed.
Applicant or applicant's representative address to the design review panel	The meeting was conducted by video link between the Panel (Council offices) and the applicants' team (remote)
Background	The site was previously inspected by the Panel on 16 December 2019 and 7 July 2020 under the subject DA.
Design quality principals SEPP 65	
Context and Neighbourhood Character	The proposal is located on a corner site (Victoria Street and Belmore Street) within Wollongong's commercial core. The site's western boundary adjoins a rail corridor and its southern boundary adjoins a two-storey residential property. The area is in a state of transition. Though currently surrounded by low scale buildings, council's controls allow for much larger scale residential towers located on podiums that will eventually form a street wall (between 12m and 24m in height).The current proposal will set in place a pattern of built form that will determine the height of the street wall and rhythm of towers along the street.
Built Form and Scale	In response to the Panel's previous comments a contextual study has been developed. The purpose of the study is (as previously outlined by the Panel) to determine the appropriate height for the street wall and the placement / form of the proposed tower. <u>Street wall</u> A street wall with a nominal height of 12m has been proposed, this is consistent with council's controls for this precinct. The Panel considers the proposed scale of the building base to be consistent with an appropriate scale for this street. <u>Tower form and position</u> A very broad north facing facade has been proposed that will potentially impact upon the solar access of the neighbouring property to the south. A contextual study has been provided showing how the proposal will relate to future tower forms (developed to realise council controls). The proposed tower presents a broad façade to the north and relatively narrow forms

	to the east and west. This creates generous spacing between towers as viewed from the railway and Belmore Street. Sun's eye views provided by the applicant demonstrate that a reasonable level of solar access (capable of complying with ADG requirements) would be provided to the neighbouring tower to the south. The proposed form and position of the tower sets in place an appropriate pattern of development for the immediate context of the site. <u>Stormwater</u> The concrete swale currently proposed on the southern face of the building will prevent a continuous street wall from being formed when the southern neighbour is developed. An alternative storm water solution must be developed to allow a continuous street wall to be formed and does not have negative impact upon the aesthetic quality of the proposal. The nature of the swale remains unclear. Is a swale still required in this location when the southern neighbour develops? or is the swale a temporary measure that is redundant once a street wall is formed along Belmore street? It seems unlikely that water would be diverted from falling down Belmore Street towards Victoria Street to traverse across the site towards the railway line, once a street wall is in place. If the swale is redundant once the southern neighbour is developed, a strategy should be put in place to infill the opening to form a continuous street wall to Belmore Street, once the southern neighbour is developed. The Applicant informed the Panel that the swale will enable access to the sewer. This requirement can also be accommodated by the alternative solution outlined above. <u>Vehicular entry</u> The proposal will form a continuous street wall along Belmore street that should be activated by commercial premises and residential entries that will contribute to a lively street. For this reason, the Panel is of the opinion that the vehicular entry should be maintained on Victoria Street close to the north west corner of the site. In response to the panel's previous comments the carpark layout has been refined to increase the extent of the commercial tenancy fronting Victoria Street. This is a positive development that will contribute to a more active street interface. However, the large blank façade above and adjacent to the vehicular entry is too harsh. A more linear expression and higher quality materials should be used here relating to the horizontal elements of the commercial façade adjacent, so the podium reads as a whole on the two street frontages. <u>Pedestrian entry</u> The entry has been reconfigured to provide a single point of entry for both commercial and residential uses fronting Belmore Street. This is an acceptable strategy. In response to the Panel's previous comments the entry has been developed to provide more generous and legible points of arrival for both residential and commercial occupants. However, further development should seek to eliminate the small ramp located in the centre of the entry space to accommodate a 200mm change in

	level. Note: if the 10m wide entry is set to a 1:50 fall the change in level can be accommodated without steps or ramping. In an attempt to express the building entry, the level 2 framing element now sags down toward the street awning. This development does not improve the aesthetic composition of the building. It is recommended that the level 2 framing element maintain a simple linear expression.
Density	The proposal is consistent with council's controls for this precinct. The form and scale of both the street wall and the tower are consistent with the future character of this precinct.
Sustainability	The proposal appears capable of complying with ADG cross-ventilation requirements. Additional solar access (sun's eye view) diagrams have been provided demonstrating compliance with ADG solar access requirements. Large areas of north-facing glazing have been proposed to the commercial levels. Further details of proposed screening elements are required to demonstrate that potential heat gains are being appropriately controlled. The position and typology (material, finish, colour depth, angle and spacing of blade) must be clearly and consistently documented through-out the DA drawing package. Opportunities to harvest rainwater for use in maintaining any plantings established on the building or the site should be explored. Other water minimization measures (reuse of rainwater for toilet flushing and washing machines) should also be considered. The use of photovoltaic cells and solar panels is also encouraged. Landscape plantings should address aims for biodiversity protection, weed minimisation and low water use.
Landscape	The Applicant has addressed most of the Panel's concerns / comments in relation to the landscape proposal. The following elements require further development: <u>General</u> A landscape maintenance plan should be included in the CC documentation. It should account for the particular needs of the different plantings, covering: the streetscape garden; the childcare centre pot plants, planter boxes and on-slab planting beds; the communal open space under cover and outdoor planter boxes; and the level 12 COS planter boxes. The Panel does not support the use of artificial turf where living turf can be established. Options for providing natural grass in parts of the childcare centre's outdoor play areas should be explored. Consider providing rubber soft fall in under-cover areas and grass in outdoor areas. The Level 3 COS should be redesigned to allow for natural grassed areas in lieu of artificial turf. <u>Level 2 – Childcare Centre</u> The Panel is concerned that the plantings proposed in the childcare centre outdoor areas are insufficient to provide good levels of either interaction with nature for the children and staff or

	environmental benefits. Aside from the low screen plantings (of very few species) along parts of the perimeter of the space, only two small trees (in pots according to the response report but in small on-slab planting beds according to the landscape documentation), four small strips (unclear whether pots or on-slab) for monocultural herb plantings (2 x Rosemary strips and 2 x Basil strips) and three small under-cover plantings of a single species (Alternanthera 'Little Ruby') are proposed. The plantings should be amended to allow for more substantial shade trees in on-slab garden areas, more garden areas and much greater diversity in all the plantings. Aside from food plants, the species should be locally indigenous to support learning about biodiversity and place. <u>Level 3 – Communal Open Space (COS)</u> The Level 3 COS has been significantly improved but still requires further work. The plan provides for a very limited range of activities and it is not clear whether they will serve the anticipated demographic of the building. Given that the proposal includes 3- and 4-bedroom units, it can be expected that families may occupy it but no play area for children is proposed. All the plantings appear to be for aesthetic effect and the provision of amenity in the form of screening. The under-cover plantings will require a high level of maintenance while their visual amenity will be significantly impaired by the bases of the large pillars that support the building above. The Panel questions the practicality of this approach. Access to the storage room is not shown on the drawings. It should not be accessed via the Communal Room as it will limit the usability of the space. The door to the Communal Room could be relocated to enable better use of the space and walls. The outdoor area linked to the Communal Room should be configured, fitted out and furnished to facilitate indoor-outdoor gatherings. A barbecue in this area would seem desirable. The dense screen planting along the southern portion of the COS could be developed to support limited access for residents to garden, sit among trees or similar. The Panel encourages developments of this nature to include communal garden beds for residents. The rationale behind the configuration of the large expanse of paving and of artificial turf is unclear; they do not appear to have a relationship to covered or uncovered space or to the definition of spaces for particular activities. (As noted above, the Panel does not support the use of artificial turf in this situation.) The design of the supporting pillars compromises the COS. The Panel is of the opinion that smaller, vertical (possibly columnar) pillars would be less intrusive and assist in defining the spaces. <u>Level 12 – Communal Open Space</u> The simplification of this space appears to work well. However, the lack of any defined activities to support its use is considered questionable. It seems likely that it will become the shared private open space of the three units on level 12 unless it provides for activities that draw people to it.

	The space should contain a facilities room (a toilet and washbasin as a minimum but a small kitchen would also be desirable). The barbecue that was deleted in response to the Panel's previous comments, was located within a garden bed; the Panel does not oppose the provision of a barbecue *per se* to this area.
Amenity	In response to the Panel's previous comments the south-eastern corner unit has been developed to maximise its eastern orientation. Unit sizes, room sizes and balconies appear to meet the minimum requirements of the ADG. Units generally provide a reasonable level of amenity. Unit 3.05 has been replaced by a community room. This is a positive development that reduces potential privacy issues and provides improved amenity for residents. The fully glazed balustrades to balconies provide very open and exposed areas of private open space. To create an environment that residents can utilise in comfort, a greater sense of enclosure should be provided. The proposed sliding screens may contribute to a more comfortable balcony environment if the screens are detailed appropriately. It is recommended that each balcony is provided with a minimum of 3 screens, with adjustable louvers capable of being fully closed. The screens should cover an area of approximately 3m.
Safety	The visitors' carpark for the childcare centre must provide a safe environment for parents to traverse with young children. Clear paths of travel must be provided between parking spaces and the lift core. In response to the Panel's previous comments, some improvements have been made with the introduction of a dedicated pedestrian path connected to an enclosed lobby space and a lift dedicated to the child centre. The applicant is encouraged to investigate these issues further with the future childcare provider for this facility. Further development of the building façade should seek to improve the quality of the carpark by introducing natural light and ventilation (refer to comments below, Aesthetics)
Housing Diversity and Social Interaction	The proposal will provide an appropriate housing option for this neighbourhood.
Aesthetics	In excess of half of the building base is now being shown as "concrete or James Hardie Exotec" with an expressed groove pattern. The north-western corner of the building (fronting Victoria Street) and the western face of the building (fronting the railway line) will be highly visible from the street and the railway line. The extent and scale of this material presents as stark back-of-house facades. More articulation / variety of materials should be provided. Consideration should be given of the use of face brick, particularly on the south west corner of the building. The brick could be used in conjunction with a lighter weight material such as powder coat aluminium battens to provide a more articulated façade and continue the horizontal expression of the northern façade.

	Areas of the façade can also be treated with aluminium screens (as previously proposed) that allow light and air into the above ground carpark, whilst still screening the carpark from view. To achieve this the battens must be of a finer grain than previously proposed. The design must be clearly documented, the transparency of the screens must be developed to prevent clear views from the street and railway line into the carpark but enhance the quality of the carpark by providing natural light and ventilation. In response to the Panel's previous comments, further development of the tower's northern façade has been undertaken. The tower is now articulated as three vertical elements, this is a noted improvement that assists in breaking down the perceived mass of the tower. However, the Panel still recommends that the option to express the tower as two linear forms, a tall vertical tower with a smaller tower form wrapping around the street corner, be explored. The quality of material used will play a major role in the eventual success of this building. The current proposal relies heavily on painted finishes, which will require ongoing maintenance and age very quickly. Pre-finished cladding panels are preferable to onsite paint applied finishes. A higher quality, more refined material pallet must be developed if the design excellence criteria are to be achieved. Large scale sections have now been provided by the applicant; However, a greater level of detail must be provided to show: • precise types of balustrades, dimensioned detail to be provided showing colour, material, finish. • how balconies are drained / how overflows are accommodated. • how lighting is accommodated in balconies • where down pipes are concealed • junctions between materials • clearly dimensioned designs of proposed screens etc. The southern podium base may be left exposed for a number of years pending the development of the neighbouring site. Greater consideration must be given to the quality of material used on this façade. Servicing of the building must be considered at this stage of the design process. The location of service risers, AC condensers, down pipes, fire hydrant boosters etc. should be accommodated.
Design Excellence WLEP2009	
Whether a high standard of architectural design, materials and detailing appropriate to the building type and location will be achieved	Further information is required.
Whether the form and external appearance of the proposed development will improve the quality and amenity of the public domain,	The building form is an acceptable response to the immediate context of the site. However, further development of the expression of the form is required.

Whether the proposed development detrimentally impacts on view corridors,	N/A
Whether the proposed development detrimentally overshadows an area shown distinctively coloured and numbered on the Sun Plane Protection Map,	NA
How the development addresses the following:	
the suitability of the land for development,	The proposed site is of an appropriate size and location for the proposed mixed-use development.
existing and proposed uses and use mix	The proposal offers a combination of commercial and residential uses, consistent with council's current vision for this neighbourhood.
heritage issues and streetscape constraints,	
the location of any tower proposed, having regard to the need to achieve an acceptable relationship with other towers (existing or proposed) on the same site or on neighbouring sites in terms of separation, setbacks, amenity and urban form,	The tower has been appropriately positioned to facilitate an appropriate pattern of development on neighbouring sites.
bulk, massing and modulation of buildings	The basic massing of the building is acceptable. Further development of the building expression is recommended.
street frontage heights	Acceptable
environmental impacts such as sustainable design, overshadowing, wind and reflectivity	Further information is required
the achievement of the principles of ecologically sustainable development	Further information required. Limited rainwater harvesting is proposed. This could be extended to allow for irrigation of plantings on all levels. The species list contains a large number of exotic rather than local species that would support biodiversity. The proposed under-storey plantings will require a greater input of resources to ensure they thrive. The design of the COS could be further improved to increase opportunities for socialising among residents.
pedestrian, cycle, vehicular and service access, circulation and requirements	Generally acceptable. Detail resolution of vehicle manoeuvring to be confirmed by council's engineer.
impact on, and any proposed improvements to, the public domain	Generally acceptable.

Key issues, further Comments & Recommendations	The base of the building will form an appropriately scaled street wall and the form and position of the tower sets in place an appropriate pattern of development for the immediate context of the site. The basic form of the building is acceptable. However, further development of the expression of the building is recommended. The base of the building must be articulated with a higher quality material pallet to provide less utilitarian expression. The Panel also recommends the option to express the tower as two linear forms, a tall tower vertical tower with a smaller tower form wrapping around the street corner be explored. The landscape design needs to be further developed to improve amenity and environmental outcomes on levels 2 and 3 and to improve social outcomes on levels 3 and 12. A greater level of detail information is to be provided to document the external materials and finishes of the building and demonstrate the quality of the proposal.

Attachment 4 – Assessment under Apartment Design Guide

Standards/controls	*Comment*	*Compliance*
Part 3 Siting the development <u>3A Site analysis</u> Site analysis uses the following key elements to demonstrate that design decisions have been based on opportunities and constraints of the site conditions and their relationship to the surrounding context: - Site location plan - Aerial photograph - Local context plan - Site context and survey plan - Streetscape elevations and sections - Analysis A written statement explaining how the design of the proposed development has responded to the site analysis must accompany the development application.	A reasonable site analysis has been undertaken	Yes
<u>3B Orientation</u> <u>*Objective 3B-1:*</u> *Building types and layouts respond to the streetscape and site while optimising solar access within the development* <u>Design Guidance</u> - Buildings should define the street by facing it and providing direct access.	North facing units to optimise solar access South-eastern units are oriented east for solar access to balconies and living areas	Yes
<u>*Objective 3B-2*</u> *Overshadowing of neighbouring properties is minimised during mid-winter* <u>Design Guidance</u> - Overshadowing should be minimised to the south or down hill by increased upper level setbacks - Refer sections 3D & 4A below for solar access requirements	The tower is sited in the northern portion of the site to minimise overshadowing. Despite the east-west width of the tower, the applicant has submitted a contextual analysis to demonstrate that any future redevelopment of the southern lots would be able to achieve compliant solar access where the development potential is realised.	Yes

Standards/controls	*Comment*	*Compliance*
- A minimum of 4 hours of solar access should be retained to solar collectors on neighbouring buildings	In the short term, the existing properties to the south will receive significant additional shadowing from the proposed development however this is not unreasonable given the planning controls	
<u>3C Public domain interface</u> Key components to consider when designing the interface include entries, private terraces or balconies, fences and walls, changes in level, services locations and planting. The design of these elements can influence the real or perceived safety and security of residents, opportunities for social interaction and the identity of the development when viewed from the public domain		
<u>Objective 3C-1:</u> *Transition between private and public domain is achieved without compromising safety and security* <u>Design Guidance</u> - Terraces, balconies and courtyards should have direct street entry, where appropriate - Changes in level between private terraces etc above street level provide surveillance and improved visual privacy for ground level dwellings. - Front fences and walls along street frontages should use visually permeable materials and treatments. The height of solid fences or walls should be limited to 1m. - Opportunities should be provided casual interaction between residents and the public domain eg seating at building entries, near letterboxes etc	The design has been revised to provide a more legible entry for residential, commercial uses as well as the childcare facility. The lobbies provide clear sight lines to the lift areas. The floor levels are required to be elevated to address flooding, and the change in level is dealt with by proposed ramp and stairs which do not overly complicate the public/private domain. Services are not suitably located and are not visually prominent. A ramp access to the lobby areas is provide from Belmore Street	Yes
<u>Objective 3C-2:</u> *Amenity of the public domain is retained and enhanced*	Landscape planting is proposed in front of the commercial tenancy on the corner of	Yes

Standards/controls	*Comment*	*Compliance*
Design Guidance - Planting softens the edges of any raised terraces to the street (eg basement podium) - Mailboxes should be located in lobbies perpendicular to street alignment or integrated into front fences. - Garbage storage areas, substations, pump rooms and other service requirements should be located in basement car parks. - Durable, graffiti resistant materials should be used - Where development adjoins public parks or open space the design should address this interface.	Belmore & Victoria Streets to soften the building at pedestrian level. Mailboxes are located for the residential apartments in the lobby. There is adequate space within the commercial lobby for mailboxes (although not shown there are only 4 tenancies, including the childcare facility) The substation is located adjacent to the driveway off Victoria St, with the most prominent parts of the frontages having an active commercial frontage. Durable external materials are proposed.	
3D Communal and public open space *Objective 3D-1* *An adequate area of communal open space is provided to enhance residential amenity and to provide opportunities for landscaping* Design Criteria 1.Communal open space has a minimum area of 25% of the site area 2. 50% direct sunlight provided to principal usable part of communal open space for a minimum of 2 hours between 9am and 3pm on 21 June Design Guidance - Communal open space should be consolidated into a well designed, usable area. - Minimum dimension of 3m - Should be co-located with deep soil areas - Direct & equitable access required - Where not possible at ground floor it should be located at podium or roof level.	Site area = 1721.5m^2 430m^2 COS required COS has been provided on structure at levels 3 and 12 = 816m^2 (47%) Between 9am-11am on June 21 between 234m^2-459m^2 of the 707m^2 COS on Level 3 receives direct sunlight. This achieves the minimum 50% requirement for the 430m^2 COS area required noting that a large portion of the COS is in shadow after 11am Minimum dimension of 3m An area achieving deep soil planting is proposed along the southern side of the COS area, with seating in the vicinity of this area. Direct and equitable access is achieved	Yes

Standards/controls	*Comment*	*Compliance*
- Where developments are unable to achieve the design criteria, such as on small lots, sites within business zones, or in a dense urban area, they should: · provide communal spaces elsewhere such as a landscaped roof top terrace or a common room · provide larger balconies or increased private open space for apartments · demonstrate good proximity to public open space and facilities and/or provide contributions to public open space	A community room is also available on level 3	
Objective3D-2 *Communal open space is designed to allow for a range of activities, respond to site conditions and be attractive and inviting* Design guidance - Facilities to be provided in communal open spaces for a range of age groups, and may incorporate seating, barbeque areas, play equipment, swimming pools	Level 3 COS provides for some range of activities, including BBQ areas, some fitness equipment and play areas. Some natural turf is also proposed which provides passive/flexible recreation opportunities.	Yes
Objective 3D-3 *Communal open space is designed to maximise safety* Design guidance - Communal open space should be visible from habitable rooms and POS areas and should be well lit.	L3 COS is visible from the lobby and partly from the community room. L12 COS is partly visible from the lobby and POS of the south-western unit (to landscaped areas only. Adequate casual surveillance is achieved. The applicant notes that the COS areas will be well lit.	Yes
Objective 3D-4 *Public open space, where provided, is responsive to the existing pattern and uses of the neighbourhood* (N/A in most cases)	N/A	N/A
3E Deep soil zones		

Standards/controls	*Comment*	*Compliance*
Objective 3E-1 *3E-1 Deep soil zones provide areas on the site that allow for and support healthy plant and tree growth. They improve residential amenity and promote management of water and air quality.* Design Criteria: 1. Deep soil zones are to meet the following minimum requirements:	Minimum dimension of 6m required, with minimum area of 120.5m^2 (7%) No deep soil zone is proposed however planting for tree growth on structure with minimum dimensions of 6m and an area of 130m^2 is proposed on level 3 podium. Adequate soil depth on podium is achievable & generally accepted in B3 zone as buildings are built to the boundaries	Yes

Site area	Minimum dimensions	Deep soil zone (% of site area)
less than 650m^2	-	7%
650m^2 - 1,500m^2	3m	
greater than 1,500m^2	6m	
greater than 1,500m^2 with significant existing tree cover	6m	

Design guidance:

- Deep soil zones should be located to retain existing significant trees.

3F Visual privacy

Objective 3F-1

Adequate building separation distances are shared equitably between neighbouring sites, to achieve reasonable levels of external and internal visual amenity.

Design Criteria:

1. Minimum required separation distances from buildings to the side and rear boundaries are as follows:

Building height	Habitable rooms and balconies	Non-habitable rooms
up to 12m (4 storeys)	6m	3m
up to 25m (5-8 storeys)	9m	4.5m
over 25m (9+ storeys)	12m	6m

Design Guidance

- Apartment buildings should have an increased separation distance of 3m (in addition to the above requirements) when adjacent to a

	Up to 12m N/A - no units up to 12m (commercial and Childcare facility within podium)	N/A
	To the south Up to 25m = L3-L6 Level 3 Required - 9m (hab.) Proposed – minimum 14m setback to habitable rooms/balconies, with the COS with a zero boundary setback. Planting along this boundary will reasonably provide privacy to/from any future development to the south.	Yes
	Over 25m (L7 & above) Required – 12m (hab.)	Yes

Standards/controls	*Comment*	*Compliance*
different zone that permits lower density residential development to provide for a transition in scale. - Direct lines of sight should be avoided - No separation is required between blank walls	Proposed -14m habitable setback – To the west (rail corridor) <u>Up to 25m = L3-L6</u> Required – 9m (hab.) Proposed – between 4.5m and 9.965m (hab.) The northern portion of the tower has a 4.5m setback from the western boundary from bedrooms with tall windows. These bedrooms face the rail corridor which is approximately 40m wide. Given there will be no residential development within 40m, the reduced separation distance is acceptable given that visual amenity between residential developments will not be compromised. <u>Over 25m (L7 & above)</u> As above – 4.5m and 9.965m western setbacks for the full height of the tower	No
<u>*Objective 3F-2:*</u> *Site and building design elements increase privacy without compromising access to light and air and balance outlook and views from habitable rooms and private open space* -	Windows to the west facing bedrooms were introduced during the course of the assessment which provides opportunities for light and ventilation, subject to the acoustic requirements being implemented to minimise rail noise. This is considered an acceptable outcome.	Yes
<u>3G Pedestrian access and entries</u> <u>*Objective 3G-1*</u> *Building entries and pedestrian access connects to and addresses the public domain* <u>Design Guidance</u> - Multiple entries should be provided to activate the street edge. - Buildings entries should be clearly identifiable and communal entries should be clearly distinguishable from private entries.	The pedestrian entrances are legible, with separate residential lobby and a shared lift for the commercial tenancies and the childcare facility (separate lifts are proposed).	Yes
<u>*Objective 3G-2*</u> *Access, entries and pathways are accessible and easy to identify*	Ramp and path/stair access to the building entrances on Belmore Street are proposed	Yes

Standards/controls	*Comment*	*Compliance*
Design Guidance - Building access areas should be clearly visible from the public domain and communal spaces - Steps and ramps should be integrated into the overall building and landscape design.		
Objective 3G-3 *Large sites provide pedestrian links for access to streets and connection to destinations*	N/A	N/A
3H Vehicle access *Objective 3H-1* *Vehicle access points are designed and located to achieve safety, minimise conflicts between pedestrians and vehicles and create high quality streetscapes* Design Guidance - Car park entries should be located behind the building line - Access point locations should avoid headlight glare to habitable rooms - Garbage collection, loading and service areas should be screened - Vehicle and pedestrian access should be clearly separated to improve safety. - Where possible, vehicle access points should not dominate the streetscape and be limited to the minimum width possible.	Vehicle entrance is proposed from Victoria St which enables an active frontage along Belmore Street. The vehicle entrance point is located where the pedestrian environment is not ideal (narrow footpath and close to railway bridge) which is considered the most appropriate position for the site. No pedestrian access is available from Victoria Street. Waste collection is proposed at the ground level, sleeved behind the commercial tenancies. Adequate waste storage and manoeuvrability is provided to service the development.	Yes
3J Bicycle and car parking *Objective 3J-1* *Car parking is provided based on proximity to public transport in metropolitan Sydney and centres in regional areas* Design Criteria 1. On land zoned B3 or B4 and located within 400m of land zoned B3 and B4,	*50 units are proposed and the unit mix is:* *5 x 1B units* *36 x 2B units* *7 x 3B units* *2 x 4B units* The rates under the GTGD are: 0.6 spaces per 1B unit = 3	Yes

Standards/controls	*Comment*	*Compliance*
the minimum car parking requirement for residents and visitors is set out in the Guide for Traffic Generating Development (GTGD), or Council's car parking requirement, <u>whichever is less.</u> The carparking needs for a development must be provided off street.	0.9 spaces per 2B unit = 32.4 1.4 spaces per 3B unit = 9.8 1.4 spaces per 4B unit = 2.8 1 space per 5 for visitors = 10 So, 58 car spaces are required under the GTGD comprising: 48 residential 10 residential visitor 58 car spaces are provided - complies <u>Notes:</u> · the car parking rates for the city centre under the DCP are: 0.75 car parking space per dwelling <70sqm, 1 space per dwelling (70-110sqm) and 1.25 spaces per dwelling >110sqm(110m2) , plus 0.2 car parking spaces per dwelling for visitors. 0.75 x5 = 3.75 + 1 x 42 = 42 + 3 x 1.25 = 3.75 Total resi = 49.5 = 50 + 10 visitor spaces = 60 spaces, therefore the lesser GTGD rates apply (58 spaces). · Car parking for the commercial and childcare facility are outlined in attachment 6 (Wollongong DCP 2009 rates apply)	
<u>*Objective 3J-2*</u> *Parking and facilities are provided for other modes of transport* <u>Design Guidance</u> - Conveniently located and sufficient numbers of parking spaces should be provided for motorbikes and scooters - Secure undercover bicycle parking should be provided that is easily	Motorcycle and bicycle parking is provided as required	Yes

Standards/controls	*Comment*	*Compliance*
accessible from both the public domain and common areas.		
<u>*Objective 3J-3*</u>		
Car park design and access is safe and secure <u>Design Guidance</u> - Supporting facilities within car parks (garbage rooms, storage areas, car wash bays) can be accessed without crossing parking spaces - A clearly defined and visible lobby or waiting area should be provided to lifts and stairs. - Permeable roller doors allow for natural ventilation and improve the safety of car parking areas by enabling passive surveillance.	Satisfactory regarding CPTED and secure access however it is noted that the current design is not satisfactory with regard to maneuverability on Level 1 (refer comments in Traffic referral in Part 1.6 of the assessment report)	No
<u>*Objective 3J-4*</u>		
Visual and environmental impact of underground car parking are minimised <u>Design Guidance</u> - Excavation should be minimised through efficient carpark layouts and ramp design. - Protrusion of carparks should not exceed 1.0m above ground level. - Natural ventilation should be provided to basement and sub-basement car parking areas. - Ventilation grills or screening devices should be integrated into the façade and landscape design.	One complete level of basement is proposed (Basement 02) with Basement 01 partially being above natural ground level. The portion of Basement 01 that is above ground is in the north-west corner of the site (Victoria St and facing the rail corridor) and is less than 1.0m in height. This is treated with face brickwork and the visual impacts are acceptable. Mechanical ventilation of basement levels 02 and 01 is proposed, with the above ground car parks being naturally ventilated through the partially open aluminium vertical blades	Yes
<u>*Objective 3J-5*</u>		
Visual and environmental impacts of on-grade car parking are minimised - On grade car parking should be avoided - Design guidelines provided where it's unavoidable	No unenclosed on-grade parking proposed – see 3J-6 below	N/A
<u>*Objective 3J-6*</u>		

Standards/controls	*Comment*	*Compliance*
Visual and environmental impacts of ground enclosed car parking are minimised - Exposed parking should not be located along primary street frontages - Positive street address and active street frontages should be provided at ground level.	Parking is proposed to be sleeved behind the commercial tenancies on ground and mezzanine levels and level 1. The treatment of the car parking area has been detailed on the plans which includes angled blades of various shades to conceal with car park while integrating it with the design of the building. The treatment of the podium on the Victoria St frontage and facing the rail corridor provides an interesting façade. While the southern façade has less detail, it incorporates face brickwork and CFC panels with fewer aluminium blades which reasonably responds to the likelihood of the adjoining southern sites being redeveloped with a similar podium height which will conceal this façade in the longer term.	Yes
Part 4 – Designing the building - Amenity		
<u>4A Solar and daylight access</u>		
<u>*Objective 4A-1*</u> *To optimise the number of apartments receiving sunlight to habitable rooms, primary windows and private open space* <u>Design Criteria</u> 1. Living rooms and private open spaces of at least 70% of apartments in a building receive a minimum of two (2) hours direct sunlight between 9am and 3pm in mid-winter in Wollongong LGA. 2. A maximum of 15% of apartments in a building receive no direct sunlight between 9am and 3pm at mid winter	39 out of 50 units achieve the 2 hours = 78% No units receive no direct sunlight	Yes
<u>*Objective 4A-2*</u> *Daylight access is maximised where sunlight is limited* <u>Design Guidance</u> - Courtyards, skylights and high level windows (sill heights of 1500m or	Satisfactory	

Standards/controls	*Comment*	*Compliance*
greater) are used only as secondary light sources in habitable rooms *Objective 4A-3* *Design incorporates shading and glare control, particularly for warmer months* Design Guidance Design features can include: - Balconies - Shading devices or planting - Operable shading - High performance glass that minimises external glare	Given the number of units facing north, sliding operable louvred panels are provided on the balconies of these units to provide shade and climate control. These louvres are also proposed for the east and south facing units.	
4B natural ventilation *Objective 4B-1* *All habitable rooms are naturally ventilated.* Design Guidance - A building's orientation should maximise the prevailing winds for natural ventilation in habitable rooms - The area of unobstructed window openings should be equal to at least 5% of the floor area served. - Doors and openable windows should have large openable areas to maximise ventilation.	Yes	Yes
Objective 4B-2 *The layout and design of single aspect apartments maximises natural ventilation* Design Guidance - Single aspect apartments should use design solutions to maximise natural ventilation.	Large window and door openings are provided and the apartment depths are minimised.	
Objective 4B-3 *The number of apartments with natural cross ventilation is maximised to create a comfortable indoor environment for residents*	Levels 3-7 are within the first 9 storeys, where there are 20 units. 15 of the 20 units have dual aspects = 75% cross ventilation is achieved in the	

Standards/controls	*Comment*	*Compliance*
Design Criteria: 1. 60% of apartments are naturally cross ventilated in the first nine storeys 2. Overall depth of a cross-over or cross-through apartment does not exceed 18m, measured glass line to glass line.	first nine storeys.	
4C Ceiling heights		
Objective 4C-1		Yes
Ceiling height achieves sufficient natural ventilation and daylight access Design Criteria 1. Minimum 2.7m for habitable rooms and 2.4m for non-habitable rooms 2. If located in mixed use areas 3.3m for ground and first floor to provide future flexibility of use	3.15m is indicated as floor to floor height therefore 2.7m habitable ceiling heights appears achievable. Non-habitable rooms have a 2.4m ceiling height. Ground level proposes 4.75m floor to floor – achieves 3.3m floor to ceiling height. L1 is commercial with a 3.2m ceiling height which is a minor variation however as it is proposed as commercial space it is acceptable for the commercial use (likely to be office)	
Objective 4C-2 *Ceiling height increases the sense of space in apartments and provides for well-proportioned rooms*	Satisfactory noting bulkheads proposed in non-habitable areas	
Objective 4C-3 *Ceiling height contribute to the flexibility of building use over the life of the building* Design Guidance - Ceiling heights of lower level apartments in centres should be greater than the minimum required by the design criteria allowing flexibility and conversion to non-residential uses.	3.2m ceiling height on L1 however proposed as commercial space	
4D Apartment size and layout		
Objective 4D-1 *The layout of rooms within an apartment is functional, well organised and provides a high standard of amenity* Design Criteria:		Yes

Standards/controls	*Comment*	*Compliance*
1. Minimum internal areas: Studio – 35m^2 1 bed – 50m^2 2 bed – 70m^2 3 bed – 90m^2 The minimum internal areas include only 1 bathroom. Additional bathrooms increase the minimum internal areas by 5m^2 each.	No studio units 1 bed - min 54m^2 2 bed - min 75m^2 *(2 bathrooms)* 3 bed - min 97m^2 *(2 bathrooms)* *4 bed >200m^2*	
2. Every habitable room must have a window in an external wall with a total minimum glass area of at least 10% of the floor area of the room	All habitable rooms have a window with glass area achieving min. 10% of floor area	
<u>*Objective 4D-2*</u> *Environmental performance of the apartment is maximised* <u>Design Criteria:</u> 1. Habitable room depths are limited to a maximum of 2.5 x ceiling height 2. In open plan layouts (where the living, dining and kitchen are combined) the maximum habitable room depth is 8m from a window. <u>Design Guidance:</u> - Greater than the minimum ceiling heights can allow proportionate increases in room depths. - Where possible, bathrooms and laundries should have an external openable window. - Main living spaces should be oriented towards the primary outlook.	All units have open plan layouts and do not exceed 8m distance from a window (aside from study nooks on 2B unit on L3 and 3B unit on L13)	
<u>*Objective 4D-3*</u> *Apartment layouts are designed to accommodate a variety of household activities and needs* <u>Design Criteria:</u> 1. Master bedrooms have a minimum area of 10m^2 and other bedrooms 9m^2 (excl wardrobe space)	All units meet the minimum dimensions under the design criteria for bedrooms and living areas	

Standards/controls	*Comment*	*Compliance*
2. Bedrooms have minimum dimension of 3m (excl wardrobe) 3. Living rooms have minimum width of: - 3.6m for studio and 1 bed apartments and - 4m for 2+ beds. 4. The width of the crossover or cross through apartments are at least 4m internally to avoid deep narrow apartment layouts. -		
<u>4E Private open space and balconies</u> <u>*Objective 4E-1*</u> *Apartments provide appropriately sized private open space and balconies to enhance residential amenity* 1. Minimum balcony depths are: <table><tr><th>Dwelling type</th><th>Minimum area</th><th>Minimum depth</th></tr><tr><td>Studio apartments</td><td>4m²</td><td>-</td></tr><tr><td>1 bedroom apartments</td><td>8m²</td><td>2m</td></tr><tr><td>2 bedroom apartments</td><td>10m²</td><td>2m</td></tr><tr><td>3+ bedroom apartments</td><td>12m²</td><td>2.4m</td></tr></table>The minimum balcony depth to be counted as contributing to the balcony area is 1m.	1 bed – min 8m² 2 bed – min 16m² 3/4 bed – min 16m² Minimum balcony depths achieved.	Yes
<u>*Objective 4E-2*</u> *Primary private open space and balconies are appropriately located to enhance liveability for residents* <u>Design Guidance</u> - Primary private open space and balconies should be located adjacent to the living room, dining room or kitchen to extend the living space. - POS & Balconies should be oriented with the longer side facing outwards to optimise daylight access into adjacent rooms. <u>*Objective 4E-3*</u>	Balconies located off living areas	Yes

Standards/controls	*Comment*	*Compliance*
Primary private open space and balcony design is integrated into and contributes to the overall architectural form and detail of the building Design Guidance - A combination of solid and transparent materials balances the need for privacy with surveillance of the public domain - Full width glass balustrades alone are not desirable - Operable screens etc are used to control sunlight and wind, and provide increased privacy for occupancy while allowing for storage and external clothes drying.	The balustrades for all balconies is clear glass. This design has been queried by the DRP with regard to the amenity for residents and the architectural expression, particularly on the northern façade. The revised design retains the glass balustrades (with the applicant citing the desire to retain views from a seated position) however incorporates louvred sliding panels and has introduced vertical elements which provide both visual relief and some sense of enclosure for residents.	Yes
Objective 4E-4 *Private open space and balcony design maximises safety* Design Guidance - Changes in ground levels or landscaping are minimised.	No safety concerns, frameless glass balustrade proposed. It is also noted that the detailed plans for the balcony show no gaps between the balustrade and the balcony floor to minimise risk of objects falling into child care facility.	Yes
4F Common circulation and spaces *Objective 4F-1* *Common circulation spaces achieve good amenity and properly service the number of apartments.* Design Criteria 1. The maximum number of apartments off a circulation core on a single level is eight 2. For buildings of 10 storeys and over, the maximum number of apartments sharing a single lift is 40. Design Guidance - Long corridors greater than 12m in length should be articulated through the use of windows or seating.	Max. 5 units per floor Two lifts will service 50 units	Yes

Standards/controls	*Comment*	*Compliance*
- Primary living rooms or bedroom windows should not open directly onto common circulation spaces, whether open or enclosed. Visual and acoustic privacy from common circulation spaces should be controlled.		
Objective 4F-2 *Common circulation spaces promote safety and provide for social interaction between residents* Design Guidance: - Incidental spaces can be used to provide seating opportunities for residents, and promotes opportunities for social interaction.	Lobby areas provide clear sight lines, limited opportunity for seating due to minimal width but provides adequate circulation space (1.8m).	Yes
4G Storage *Objective 4G-1* *Adequate, well designed storage is provided in each apartment* 1. In addition to storage in kitchens, bathrooms and bedrooms, the following storage is provided Dwelling type: Studio apartments — Storage size volume: 4m³ 1 bedroom apartments — 6m³ 2 bedroom apartments — 8m³ 3+ bedroom apartments — 10m³ At least 50% of the required storage is to be located within the apartment *Objective 4G-2* *Additional storage is conveniently located, accessible and nominated for individual apartments* Design Guidance: - Storage not located within apartments should be allocated to specific apartments.	Storage is provided at basement car parking levels & within floor layout to meet requirements.	Yes
4H Acoustic privacy		

Standards/controls	*Comment*	*Compliance*
Objective 4H-1 *Noise transfer is minimised through the siting of buildings and building layout* Design Guidance - Adequate building separation is required (see section 2F above). - Noisy areas within buildings should be located next to or above each other and quieter areas next to or above quieter areas. - Storage, circulation areas and non-habitable rooms should be located to buffer noise from external sources. - Noise sources such as garage doors, plant rooms, active communal open spaces and circulation areas should be located at least 3m away from bedrooms.	Adequate building separation is provided. Siting of building and layout of units provides adequate buffer from noise from common areas and bedrooms of units. Generally noisy areas are located next to/above each other and quieter areas next to/above each other. The vehicle entrance is separated from the residential uses by the childcare facility on Level 2.	Yes
Objective 4H-2 *Noise impacts are mitigated within apartments through layout and acoustic treatments* Design Guidance - In addition to mindful siting and orientation of the building, acoustic seals and double or triple glazing are effective methods to further reduce noise transmission.	The building will be required to meet the recommendations of the acoustic report	Yes
4J Noise and pollution *Objective 4J-1* *In noisy or hostile environments the impacts of external noise and pollution are minimised through the careful siting and layout of buildings* Design Guidance - Minimise impacts through design solutions such as physical separation from the noise or pollution source, *Objective 4J-2* *Appropriate noise shielding or attenuation techniques for the building design, construction and choice of*	The site adjoins the rail corridor. Despite a minimal setback from the western boundary (rail corridor) to the northern portion of the tower (4.5m), the window openings are limited to tall slender windows to bedrooms only. The building is designed to minimise living areas and balconies facing the noise source. An acoustic report has been submitted and the recommendations will be required to be implemented to minimise noise transmission. Conditions are included in Attachment 7.	Yes

Standards/controls	*Comment*	*Compliance*
materials are used to mitigate noise transmission <u>Design guidance:</u> - Design solutions include limiting openings to noise sources & providing seals to prevent noise transfer.		
Part 4 – Designing the building - Configuration		
<u>4K Apartment mix</u>		
<u>*Objective 4K-1*</u>		
A range of apartment types and sizes is provided to cater for different household types now and into the future <u>Design guidance</u> - A variety of apartment types is provided - The apartment mix is appropriate, taking into consideration the location of public transport, market demands, demand for affordable housing, different cultural/social groups - Flexible apartment configurations are provided to support diverse household types and stages of life	A reasonable mix of apartment types are proposed, incorporating 10% x 1 bedroom apartments and 18% x 3 and 4 bedroom units.	Yes
<u>*Objective 4K-2*</u>		
The apartment mix is distributed to suitable locations within the building <u>Design guidance</u> - Larger apartment types are located on the ground or roof level where there is potential for more open space and on corners where more building frontage is available	1 x 1B and 1 x 2B units are proposed on Level 3, the same level as the communal open space. Providing one larger unit (3B or 4B) on this level would appear to offer improved amenity for larger households, however it is noted that the 3B & 4B units on levels 13-16 have generous balcony areas	
<u>4L Ground floor apartments</u>	N/A – no ground floor apartments proposed.	N/A
<u>4M Facades</u>		
<u>*Objective 4M-1*</u>		
	The building façade comprises a mix of glazing and face brickwork for the	Yes

Standards/controls	*Comment*	*Compliance*
Building facades provide visual interest along the street while respecting the character of the local area <u>Design guidance</u> - To ensure that building elements are integrated into the overall building form and façade design - The front building facades should include a composition of varied building elements, textures, materials, detail and colour and a defined base, middle and top of building. - Building services should be integrated within the overall facade - Building facades should be well resolved with an appropriate scale and proportion to the streetscape and human scale. - To ensure that new developments have facades which define and enhance the public domain and desired street character.	commercial tenancies, with the rear car parking area providing visual interest through partially open vertical blades and detailing to minimise the bulk and respond to the proportions of the building. Building services do not dominate the street frontages and respond to the emerging street character.	
<u>*Objective 4M-2*</u> *Building functions are expressed by the facade* <u>Design guidance</u> - Building entries should be clearly defined	The building entry is clearly defined between the commercial and residential uses.	
<u>4N Roof design</u> <u>*Objective 4N-1*</u> *Roof treatments are integrated into the building design and positively respond t other street* <u>*Objective 4N-2*</u> *Opportunities to use roof space for residential accommodation and open space are maximised* <u>*Objective 4N-3*</u> *Roof design incorporates sustainability features*	Roof design incorporates a framed element as viewed from the north, east and south. The roof incorporating solar panels but no open space is proposed.	Yes

Standards/controls	*Comment*	*Compliance*
4O Landscape design		Yes
Objective 4O-1 *Landscape design is viable and sustainable* Design guidance - Landscape design should be environmentally sustainable and can enhance environmental performance - Ongoing maintenance plans should be prepared	The landscape design has been revised to improve the planting of suitable species, replacing artificial turf with natural grassed areas for the COS on L3. Conditions will be imposed to ensure an ongoing maintenance plan ensures the landscaping can be sustained, given the shading of a large portion of this space.	
Objective 4O-2 *Landscape design contributes to the streetscape and amenity* Design guidance - Landscape design responds to the existing site conditions including: • changes of levels • views • significant landscape features	The landscape design has been assessed as satisfactory by Council's Landscape division. There is minimal opportunity for landscaping at pedestrian level given the controls require the building to be built to the boundary. Due to the corner splay, a landscaped area is proposed on the north-eastern corner of the site which (in conjunction with street tree planting) will positively contribute to the streetscape.	
4P Planting on Structures		
Objective 4P-1 *Appropriate soil profiles are provided* *Objective 4P-2* *Plant growth is optimised with appropriate selection and maintenance* *Objective 4P-3* *Planting on structures contributes to the quality and amenity of communal and public open spaces*	Satisfactory	Yes
4Q Universal design		
Objective 4Q-1 *Universal design features are included in apartment design to promote flexible housing for all community members* Design guidance	10 units are required to be liveable. 5 adaptable units are required, which count towards the 10 liveable units. The access report in support of the application identifies does not conclude that 20% of the units are liveable, however the	Yes

Standards/controls	*Comment*	*Compliance*
- 20% of apartments incorporate the Livable Housing guidelines silver level universal design features	liveable units are identified on the floor plans demonstrating that the 20% requirement has been met.	
Objective 4Q-2 *A variety of apartments with adaptable designs are provided* Design guidance - Adaptable housing should be provided in accordance with the relevant council policy	Wollongong DCP requires 10% of units to be adaptable (5) which the development satisfies.	
Objective 4Q-3 *Apartment layouts are flexible and accommodate a range of lifestyle needs* Design guidance - Apartment design incorporates flexible design solutions	A range of apartment layouts are provided throughout the building including larger 3B & 4b units, two storey units.	
4R Adaptive reuse	N/A – new building	N/A
4S Mixed use		
Objective 4S-1 *Mixed use developments are provided in appropriate locations and provide active street frontages that encourage pedestrian movement* Design guidance - Mixed use development should be concentrated around public transport and centres - Mixed use developments positively contribute to the public domain.	The proposal comprises a mix of commercial tenancies and a childcare facility. This provides an active frontage on Belmore Street and part of Victoria St. The site is located within the B3 commercial core zone and is in good proximity to public transport and services.	Yes
Objective 4S-2 *Residential levels of the building are integrated within the development, and safety and amenity is maximised for residents* Design guidance - Residential circulation areas should be clearly defined.	The residential tower sits above the podium level, with a separate defined entrance from Belmore Street. A landscaped COS area is provided at podium level and a smaller area on L12.	

Standards/controls	*Comment*	*Compliance*
- Landscaped communal open space should be provided at podium or roof levels		
4T Awnings and signage *Objective 4T-1* *Awnings are well located and complement and integrate with the building design* Design guidance - Awnings should be located along streets with high pedestrian activity and active frontages *Objective 4T-2* *Signage responds to the context and desired streetscape character* Design guidance - Signage should be integrated into the building design and respond to the scale, proportion and detailing of the development	An awning and sun louvres are proposed to wrap around the commercial tenancies that integrate with the building design. It is noted that the high floor to ceiling height of the ground floor together with the elevated floor levels to address flooding will result in the awning being at between 3.5m- 5m above the footpath level due to the slope of the site. This will limit the weather protection it provides however is the most rationale position for the awning. A signage envelope is indicated on the elevation plans at levels 2 and 3 which is integrated with the building design.	Yes
4U Energy efficiency *Objective 4U-1* *Development incorporates passive environmental design* Design guidance - Adequate natural light is provided to habitable rooms (see 4A Solar and daylight access) *Objective 4U-2* *Development incorporates passive solar design to optimise heat storage in winter and reduce heat transfer in summer* Design Guidance - Provision of consolidated heating and cooling infrastructure should be located in a centralised location *Objective 4U-3* *Adequate natural ventilation minimises the need for mechanical ventilation*	Satisfactory – many units have a northern orientation and the required number of units achieve natural ventilation	Yes

Standards/controls	*Comment*	*Compliance*
4V Water management and conservation *Objective 4V-1* *Potable water use is minimised* *Objective 4V-2* *Urban stormwater is treated on site before being discharged to receiving waters* Design guidance - Water sensitive urban design systems are designed by a suitably qualified professional *Objective 4V-3* *Flood management systems are integrated into site design* Design guidance - Detention tanks should be located under paved areas, driveways or in basement car parks	Water efficient features and fittings are proposed in accordance with BASIX requirements. A rainwater tank is proposed on level 3 for irrigation for the COS area. On-site detention is required and conditions are recommended in relation to stormwater quality management.	Yes
4W Waste management *Objective 4W-1* *Waste storage facilities are designed to minimise impacts on the streetscape, building entry and amenity of residents* Design guidance - Common waste and recycling areas should be screened from view and well ventilated *Objective 4W-2* *Domestic waste is minimised by providing safe and convenient source separation and recycling* Design guidance - Communal waste and recycling rooms are in convenient and accessible locations related to each vertical core - For mixed use developments, residential waste and recycling storage areas and access should be separate and secure from other uses	Waste storage areas for the commercial and residential components are located on ground level and are separate. A bulky goods storage area is provided. A garbage waste chute is proposed leading to the residential waste storage area in Basement 2. It is noted that the storage areas are quite removed from the lifts for the residents. The submitted Waste Management Plan identifies that the green waste will be disposed of privately by a contractor arranged by the Owners Corporation. Given Council will soon be introducing 'FOGO' (Food Organics Green Organics), the lack of a dedicated green waste bin compromises the reduction of residential waste. A condition requiring provision of adequate space for the storage and collection of green waste bins is recommended as part of Attachment 7. It	Yes, subject to conditions

Standards/controls	*Comment*	*Compliance*
- Alternative waste disposal, such as composting, can be incorporated into the design of communal open space areas	is noted that the applicant has verbally advised that there is adequate space to increase the residential waste storage room by relocating the stairs (to access the sewer pit) further west without compromising manoeuvrability for the required waste vehicle.	
4X Building maintenance		
Objective 4X-1		
Building design detail provides protection from weathering	Satisfactory	Yes
Design guidance		
- Design solutions such as roof overhangs to protect walls and hoods over windows and doors to protect openings can be used.		
Objective 4X-2		
Systems and access enable ease of maintenance	Satisfactory	
Design guidance		
- Window design enables cleaning from the inside of the Building		
Objective 4X-3		
Material selection reduces ongoing maintenance costs easily cleaned surfaces that are graffiti resistant	The proposed building materials limits ongoing maintenance by proposing stained and factory finishes for materials such as CFC Panels and the like.	

Attachment 5 - Child Care Planning Guideline

Controls/objectives	*Comment*	*Compliance*
2. Design quality principles		
Principle 1 – Context *Good design responds and contributes to its context, including the key natural and built features of an area, their relationship and the character they create when combined. It also includes social, economic, health and environmental conditions.* *Well-designed child care facilities respond to and enhance the qualities and identity of the area including adjacent sites, streetscapes and neighbourhood.* *Well-designed child care facilities take advantage of its context by optimising nearby transport, public facilities and centres, respecting local heritage, and being responsive to the demographic, cultural and socio-economic makeup of the facility users and surrounding communities.*	Context City centre location provides good access to transport and responds to needs of city based workforce.	Yes
Principle 2 - Built form *Good design achieves a scale, bulk and height appropriate to the existing or desired future character of the surrounding area.* *Good design achieves an appropriate built form for a site and the building's purpose in terms of building alignments, proportions, building type, articulation and the manipulation of building elements. Good design also uses a variety of materials, colours and textures.* *Appropriate built form defines the public domain, contributes to the character of streetscapes and parks, including their views and vistas, and provides internal amenity and outlook.* *Contemporary facility design can be distinctive and unique to support innovative approaches to teaching and learning, while still achieving a visual appearance that is aesthetically pleasing, complements the surrounding areas, and contributes positively to the public realm.*	Built form The proposed design within a mixed use development reflects the city centre location for high rise/tower development	Yes

Controls/objectives	*Comment*	*Compliance*
Principle 3 - Adaptive learning spaces *Good facility design delivers high quality learning spaces and achieves a high level of amenity for children and staff, resulting in buildings and associated infrastructure that are fit-for-purpose, enjoyable and easy to use. This is achieved through site layout, building design, and learning spaces fit-out.* *Good design achieves a mix of inclusive learning spaces to cater for all students and different modes of learning. This includes appropriately designed physical spaces offering a variety of settings, technology and opportunities for interaction.*	Adaptive learning spaces Acceptable amenity for children and staff through site layout and building design.	Yes
Principle 4- Sustainability *Sustainable design combines positive environmental, social and economic outcomes.* *This includes use of natural cross ventilation, sunlight and passive thermal design for ventilation, heating and cooling reducing reliance on technology and operation costs. Other elements include recycling and re-use of materials and waste, use of sustainable materials and deep soil zones for groundwater recharge and vegetation.* *Well-designed facilities are durable and embed resource efficiency into building and site design, resulting in less energy and water consumption, less generation of waste and air emissions and reduced operational costs.*	Sustainability The facility allows for a reasonable balance between sunlight access and shade, however has limited natural ventilation opportunities. This could be improved with louvre windows being introduced into the glazed facades if required.	Yes
Principle 5 – Landscape *Landscape and buildings should operate as an integrated and sustainable system, resulting in attractive developments with good amenity. A contextual fit of well-designed developments is achieved by contributing to the landscape character of the streetscape and neighbourhood.* *Well-designed landscapes make outdoor spaces assets for learning. This includes designing for diversity in function and use, age-appropriateness and amenity.* *Good landscape design enhances the development's environmental performance*	Landscape The landscaping of the outdoor areas provides a mix of ground surfaces, relying on artificial grass but incorporating natural materials and plantings to enhance the environment and learning experiences.	Yes

Controls/objectives	*Comment*	*Compliance*
by retaining positive natural features which contribute to the local context, co-ordinating water and soil management, solar access, micro-climate, tree canopy, habitat values and preserving green networks.		
Principle 6 – Amenity *Good design positively influences internal and external amenity for children, staff and neighbours. Achieving good amenity contributes to positive learning environments and the well-being of students and staff.* *Good amenity combines appropriate and efficient indoor and outdoor learning spaces, access to sunlight, natural ventilation, outlook, visual and acoustic privacy, storage, service areas and ease of access for all age groups and degrees of mobility.* *Well-designed child care facilities provide comfortable, diverse and attractive spaces to learn, play and socialise.*	Amenity The layout provides efficient indoor and outdoor learning spaces, good visual connection between the spaces and a variety of learning spaces. The indoor and outdoor spaces offers good amenity for children and staff	Yes
Principle 7 – Safety *Well-designed child care facilities optimise the use of the built and natural environment for learning and play, while utilising equipment, vegetation and landscaping that has a low health and safety risk, and can be checked and maintained efficiently and appropriately.* *Good child care facility design balances safety and security with the need to create a welcoming and accessible environment. It provides for quality public and private spaces that are inviting, clearly defined and allow controlled access for members of the community. Well-designed child care facilities incorporate passive surveillance and Crime Prevention Through Environmental Design (CPTED).*	Safety No safety and security concerns arise from the design of the facility. A dedicated lift is proposed for the CCF, with a separate lobby accessed from the car parking area.	Yes

Controls/objectives	*Comment*	*Compliance*
3. Matters for consideration		
3.1 Site selection and location	*C1 zone considerations* Site is zoned B3 and potential impacts on children and staff relate to potential noise issues from adjoining rail line. These impacts can be managed through appropriate acoustic treatments and construction. No impacts on viability of existing commercial uses are anticipated. *C2 Site suitability* Site constraint includes flooding however CCF elevated at podium level. Land can be made suitable for sensitive use with regard to potential contamination issues Site is located 2 blocks from sex services premises at 24 Belmore St however as CCF is within a mixed use tower where parking is available, interaction between the sites is less likely. *C3 Appropriately located* Site is within the city centre, which is business centre well serviced by trains and buses. Pedestrian access to the shops and businesses is readily available. *C4 Sites for CCF do not incur risks from environmental, health or safety hazards* The site is not proximate to heavy or hazardous industry, service stations or other odour generating uses	Yes

Controls/objectives	*Comment*	*Compliance*
3.2 Local character, streetscape and the public domain interface	*C5 CCF compatible with local character and surrounding streetscape* CCF is proposed within a mixed use tower which is typical of the desired and emerging character of the area *C6 Ensure clear delineation between the CCF and public spaces* A separate lift is provided for the CCF *C7 Pedestrian entries associated with CCF should be differentiated to improve legibility* A separate lobby from the residential lobby is proposed but shared with the commercial lobby. Internal signage can be provided to provide legibility *C8 Where CCF adjoins public parks or open space* N/A *C9 To ensure front fences and retaining walls respond to and complement the context and character of the area and do not dominate the public domain* N/A as CCF is located at podium level C10 allows for high solid acoustic fencing to be used when shielding the facility from noise on classified roads, where the walls are setback from the property boundary with screen landscaping. Although not directly applicable, the proposal includes a 2m high acoustic wall to buffer rail noise.	Yes

Controls/objectives	*Comment*	*Compliance*
3.3 Building orientation, envelope and design	*C11 To respond to the streetscape and site, while optimising solar access and opportunities for shade* The CCF is oriented to the north and west, predominantly away from adjoining properties. The 0-2 year old indoor space will receive afternoon sunlight access only. *C12 Scale compatible with adjoining development and impacts are minimised* Building height and setbacks consistent with desired future built form. Adjoining property to the south is likely to be redeveloped in a similar way (currently single storey). *C13 and C14 -Setbacks consistent with immediate context* Yes- B3 zone requires buildings to be built to the side and front boundaries *C15Built form, articulation and scale relates to its context* As above *C16 Buildings designed to create safe environments* Entry is limited to one secure point, clearly defined and separate from entrances to other uses in the building *C17 CCF designed to be accessible* Yes, continuous paths of travel to entrance and from parking spaces provided and ramp access from Belmore St	Yes
3.4 Landscaping	*C18 & C19 Landscape design contributes to streetscape and amenity* Limited relevance as CCF located at podium level. Some perimeter planting will be visible from the street.	Yes

Controls/objectives	*Comment*	*Compliance*
3.5 Visual and acoustic privacy	*C20 & C21 To protect the privacy and security of children attending the facility* Screening in the form of louvres and mesh is proposed to limit overlooking from balconies into outdoor play spaces *Minimise direct overlooking from public areas* Limited to no overlooking will arise given elevated position of CCF *C22 Minimise privacy impacts of adjoining properties* Outdoor area for 0-2 year old's positioned in south-western corner and will not result in overlooking impacts *C23 & C24 Minimise acoustic privacy impacts on neighbouring residential developments* Acoustic report submitted and subject to implementation of recommendations, no unacceptable acoustic impact on neighbouring property to the south (22 Belmore St)	Yes
3.6 Noise and air pollution	*C25 & C26 Ensure outside noise levels minimised to acceptable levels* Design incorporates acoustic walls and landscaping to minimise actual and perceived noise from rail corridor. Acoustic report submitted & found satisfactory subject to conditions by Council's Environment Division. *C27 & C28 Ensure air quality levels are acceptable where CCF proposed close to external sources of air pollution* N/A - no external sources of air pollution	Yes

Controls/objectives	*Comment*	*Compliance*
3.7 Hours of operation	*C29 and C30 Minimise impact of the child care facility of amenity of neighbouring residential developments* Proposed hours of operation are 7am to 6pm on weekdays which is not anticipated to create adverse amenity impacts given the movement of people to/from the site will include workers and visitors to the commercial component and also residents of the apartments (retail/business uses proposed to operate between 6am and 10pm).	Yes
3.8 Traffic, parking and pedestrian circulation	*C31 – C33 To provide parking that satisfies the needs of the users and demand generated by the centre* Parking is provided on site at mezzanine level and level 1 with lift access and stairs to the centre. A traffic and parking assessment has been provided. *C34 & C35 To provide vehicle access from the street in a safe environment that does not disrupt traffic flows* Car parking is proposed within the site, accessed from Victoria Street. No concerns have ben raised by Council's Traffic Division about impacts on Traffic flows. *C36 & C38 To provide a safe and connected environment for pedestrians both on and around the site* Some defined pedestrian paths are identified at Level 1 connecting to the child care lobby where CCF visitor parking is proposed. Although some visitor parking will require the crossing of driveways, no concerns from Council's Traffic Division has been raised in relation to pedestrian/vehicle conflicts.	

Controls/objectives	*Comment*	*Compliance*
4. Applying the National Regulations to development proposals		
4.1 Indoor space requirements		
Regulation 107 3.25sqm per child 0-2 = 34 x 3.25 = 110.5sqm 2-3 = 38 x 3.25 = 123.5sqm 3-6 = 28 x 3.25 = 91sqm	 0-2 115sqm 2-3 143sqm 3-6 93sqm	 Yes Yes Yes
4.2 Laundry and hygiene facilities Reg 106	Separate laundry room provided (appears small but no minimum area)	Yes
4.3 Toilet and hygiene facilities Reg 109	3 toilet areas proposed, including direct access from outdoor play areas. 2 x accessible toilets are also proposed.	Yes
4.4 Ventilation and natural light Reg 110	Natural ventilation be available to each indoor area and a 3m floor to ceiling height	Yes
4.5 Administrative space		
Reg 111	Small parent meeting room proposed to enable private conversations to be conducted	Yes
4.6 Nappy change facilities		
Reg 112	Nappy change areas provided off each indoor play area capable of meeting requirements	Yes
4.7 Premises designed to facilitate supervision		
Reg 115	Yes, indoor spaces allow clear sight lines	Yes

Controls/objectives	*Comment*	*Compliance*
4.8 Emergency and evacuation procedures Regs 97 and 168	A performance solution is proposed given the CCF is located on the 3rd floor, as outlined in the fire engineering report (refer discussion in part 2.1.6 of assessment report). This includes the preparation of an Emergency Evacuation Plan. Conditions of consent are recommended for the recommendations to be incorporated into the construction certificate documentation and requiring endorsement by Fire and Rescue NSW	Yes, subject to conditions
4.9 Outdoor space requirements		
Reg 108 7sqm per child 0-2 = 34 x 7 = 238sqm 2-3 = 38 x 7 = 266sqm 3-6 = 28 x 7 = 196sqm	0-2 241sqm 2-3 266sqm 3-6 197sqm	Yes
4.10 Natural environment		
Reg 113	The outdoor spaces propose artificial turf however also include natural planting (some bush tucker species), sandstone, timber play features, a sandpit and herb gardens. The play areas could be improved with additional tree planting to enhance the children's experience of the natural environment	Yes
4.11 Shade		
Reg 114	Outdoor play areas are oriented north and west but are overshadowed by the overhang of the building. Plans submitted indicate year-round solar access is available to at least 30 per cent of the ground area, with no more than 60 per cent of the outdoor space covered. have evenly distributed shade structures over different activity spaces.	Yes

Controls/objectives	*Comment*	*Compliance*
4.12 Fencing		
Reg 104	Fencing along the western edge of level 2 will be in the form of a 2m high acoustic solid wall, with transparent panels to allow views of the train line. A 2m high glass balustrade is proposed along the northern and eastern edges of the outdoor play area. Other provisions under this part relate to facilities located at ground level..	Yes
4.13 Soil assessment		
Reg 25	Refer assessment under SEPP 55 noting that CCF is proposed on Level 2	Capable of complying subject to conditions

Attachment 6 - Wollongong Development Control Plan 2009 assessment

CHAPTER A2 – ECOLOGICALLY SUSTAINABLE DEVELOPMENT

Development controls to improve the sustainability of development throughout Wollongong are integrated into the relevant chapters of this DCP.

Generally speaking, the proposal is considered to be consistent with the principles of Ecologically Sustainable Development.

CHAPTER B4 – DEVELOPMENT IN BUSINESS ZONES

The development is located in a business zone and as such this chapter is applicable to the development. An assessment against the relevant sections is outlined below.

2 Objectives

The development is considered consistent with the objectives of development in business zones.

3. Retail and business centre hierarchy strategy

The site is zoned B3 and provides for business and retail uses. The proposal is consistent with the objectives of this part to reinforce Wollongong City Centre as the regional centre.

4 Economic impact assessment – retail hierarchy

Not applicable.

5 Planning requirements for development in the regional city and major regional centres

<u>5.1 Wollongong City Centre</u>

1. The specific planning requirements for development upon any land within the Wollongong City Centre are contained in Part D (Locality Based/ Precinct Plan) of this DCP.

9 General design requirements for retail and business premises developments

Refer Chapter D13

13 Works in the public domain

Refer comments under Chapter D13

CHAPTER C5: CHILD CARE CENTRES

Clause 26 of the SEPP (Educational Establishments and Child Care Facilities) 2017 identifies certain matters required under a DCP do not apply to development for the purpose of a centre-based childcare facility, regardless of when the DCP was made. These matters include operational or management plan, including hours of operation, need/demand for childcare services, proximity to other services and any also any other matter contained in the design principles of the Child Care Planning Guidelines and the regulatory requirements. These matters are considered in Attachment 5.

The provisions of this chapter do not apply aside from controls relating to building height (defer to LEP controls), rear and side setbacks and car parking rates. Therefore, only the relevant provisions of this chapter are assessed below:

Controls/objectives	*Comment*	*Compliance*
<u>7.6 Car Parking, Access and Pedestrian Safety</u>		
(a) To ensure a safe environment for pedestrians, motorists and cyclists in and around child care centres; *(b) To ensure that vehicular access arrangements into and from the car parking area do not detrimentally affect the traffic flow or safety of roads in the surrounding road network; and* *(c) To ensure that suitable parking arrangements are provided on-site for staff, parents, visitors and emergency or service vehicles.*	*Parking at a rate of 1 per staff + 1 visitor space for each 6 children + 1 accessible space + 2 large spaces (3.2m x 5.5m)* *= 20 staff spaces + 20 visitor (incl. accessible/pram)* 17 staff and 20 visitor spaces proposed + 1 accessible space + 2 pram spaces A variation is sought to the number of staff car spaces (17 where 20 is required) and the use of 6 stacked staff spaces as under Part 7.6.2(10). These variations are discussed in Part 2.3.1 of the assessment report A condition that the stacked staff car spaces are to be filled first (i.e. by staff arriving at the centre prior to the centre opening) is recommended to be imposed on the consent as part of the Traffic conditions following resolution of the vehicle manoeuvring issue. The safety of the car parking area is compromised by the current design with regard to Level 1 ramp as discussed in Part 1.4.1 of the assessment report (Traffic referral comments) Emergency/service vehicles can utilise the ground level with direct lift access.	Variation sought*
<u>7.7 Signage and Outdoor Lighting</u>	Signage envelopes shown for the building which is likely to include signage for the childcare facility. Some signage will also be necessary at ground level to clearly identify the entrance to the facility. Lighting to the lobby areas will be provided.	Yes

Controls/objectives	*Comment*	*Compliance*
7.11 Stormwater Drainage	Refer Chapter E13	

CHAPTER D13 – WOLLONGONG CITY CENTRE

2 Building form

Objectives/controls	*Comment*	*Compliance*
2.2 Building to street alignment and street setbacks		
Built to street alignment in commercial core with 4m setback above street frontage height Balconies can project into 600mm into front building setbacks up to 50% of the horizontal width of the building	Zero (0m) setback to Belmore St & Victoria St with 4m setback from Belmore St to tower & 5.189m from Victoria St 3.45m-3.7m Belmore Street setback to balconies (does not encroach more than 600mm and does not exceed 50% horizontal width)	Yes
2.3 Street frontage heights in commercial core		
12m-24m street frontage height	13m-14m street frontage height	Yes
2.4 Building depth and bulk		
Residential floor plates size in Commercial Core is 900m2 above 24m in height All points on an office floor should be no more than 10m from a source of daylight (eg. window, lightwell or skylight) in buildings less than 24m in height, and no more than 12.5m from a window in buildings over 24m in height	Max. floorplate is 417sqm - complies Commercial areas are 15m-16m from a source of daylight where they should be no more than 12.5m. Minor variation supported noting that the additional distance is likely to be taken up by circulation space or storage for commercial uses.	Minor variation sought

<u>2.5 Side and rear building setbacks and building separation</u> *Objectives are :* *to provide appropriate level of amenity for occupants in terms of daylight, outlook, view sharing, ventilation, wind mitigation and privacy* *to achieve usable and pleasant streets and public domain areas in terms of wind mitigation and daylight access.* 12m side setback btwn street frontage and 45m 14m above 45m	12m-14m setback to the southern boundary is proposed – complies A 4.5m setback to the western boundary is proposed for the northern portion of the tower (adjoins rail corridor). A variation is sought which is discussed in the body of the report (Part 2.3.1).	Variation sought
<u>2.6 Mixed used buildings</u> *Objectives:* *a) To encourage a variety of mixed-use developments in the city centre.* *b) To create lively streets and public spaces in the city centre* *c) To increase the diversity and range of shopping and recreational activities for workers, residents and visitors.* *d) To enhance public safety by increasing activity in the public domain on week nights and on weekends.* *e) To minimise potential conflicts and achieve compatibility between different uses.* *f) To minimise conflicts between permitted land use and heritage buildings.* *g) To ensure that the design of mixed-use buildings addresses residential amenity.* *h) To create separate, legible and safe access and circulation in mixed use buildings.* *i) To ensure that mixed use buildings address the public domain and the street.* a) Provide flexible building layouts which allow variable tenancies or uses on the first two floors of a building above the ground floor. b) Minimum floor to ceiling heights are 3.3 metres for commercial office and 3.6 metres for active public uses, such as retail and restaurants in the B3 Commercial Core zone. In the B4 Mixed Use zone, the ground floor and	The development proposes commercial uses at ground and first floor levels, childcare facility on Level 2, with residential uses above. Potential conflicts between the residential and childcare use are minimised through the layouts of the residential units, balcony location and screening. This will minimise overlooking into the childcare facility and minimise loss of residential amenity during operating hours. Separate and legible entrances and servicing arrangements are provided for each of the uses within the building. An active frontage is provided. Floor to ceiling heights provide enough flexibility for future uses, with Level 1 being 3.2m rather than 3.3m.	Yes

Objectives/controls	*Comment*	*Compliance*
first levels of a building shall incorporate a minimum 3 metre floor to ceiling height clearance, to maximise the flexibility in the future use of the building. c) Separate commercial service requirements, such as loading docks, from residential access, servicing needs and primary outlook. d) Locate clearly demarcated residential entries directly from the public street. e) Clearly separate and distinguish commercial and residential entries and vertical circulation. f) Provide security access controls to all entrances into private areas, including car parks and internal courtyards. g) Provide safe pedestrian routes through the site, where required. h) Front buildings onto major streets with active uses. i) Avoid the use of blank building walls at the ground level. j) For mixed use buildings that include food and drink premises uses, the location of kitchen ventilation systems shall be indicated on plans and situated to avoid amenity impacts to residents		
<u>2.7 Deep soil zone</u> 15% of site area as DSZ Where non-residential uses result in full site coverage the deep soil component must be provided on structure	Deep soil zone provided on structure as podium results in full site coverage. 174sqm deep soil planting is provided = 10% An additional 140sqm area of planting on L12 COS is proposed, although not specifically identified as DSZ it achieves the minimum 6m dimension area and includes tree planting. It is noted that the proposal satisfies the requirements for a minimum 7% DSZ area under the ADG and is considered acceptable.	Yes
<u>2.8 Landscape design</u>	Landscape satisfactory	Yes

Objectives/controls	*Comment*	*Compliance*
2.9 Green roofs, green walls and planting on structures	Satisfactory subject to conditions	Yes
2.10 Sun access planes	N/A	N/A
2.11 Development on classified roads	N/A	N/A

3 Pedestrian amenity

Objectives/controls	*Comment*	*Compliance*
3.2 Permeability	N/A	N/A
3.3 Active street frontages	Active street frontage provided on Belmore Street and ground floor wraps around to Victoria St (although elevated above footpath)	Yes
3.4 Safety and security	No safety or security concerns are raised with the design. Retail/business component is <5000sqm in GFA therefore Safer by Design Assessment is not required.	Yes
3.5 Awnings	Awning provided, wraps around corner by 6m. Note - Figure 3.6 does not require a continuous awning to be provided for the development however considered to provide amenity for occupants	Yes
3.6 Vehicular footpath crossings	Refer E3 assessment	
3.7 Pedestrian overpasses, underpasses and encroachments	N/A	N/A

<u>3.8 Building exteriors</u>	The building exterior is dominated by glazed balustrades on the northern elevation, however does incorporate screens and curved elements. This is further discussed in body of report relating to DRP commentary.	Yes
<u>3.9 Advertising and signage</u>	Signage envelopes have been indicated on the eastern (Belmore St) elevation given the end uses are not known. The location of the envelopes responds to the architectural form of the building.	Yes
<u>3.10 Views and view corridors</u> *Objectives* *a) To maintain and enhance views from the city centre to the foreshore, escarpment and significant objects (such as the lighthouse) wherever possible.* *b) To enhance views along city streets.* *c) To protect silhouettes of the tops of major buildings or structures as seen against the sky or backdrop of the escarpment or foreshore.* 	The site is within the area identified in Figure 3.12 as 'distant panoramic views'. The proposed development does not exceed the maximum 60m building height permitted for the site. A 60m height limit applies to the eastern side of Belmore Street, where approved buildings of a similar height have been approved (20-26 Young St – DA-2019/1122 and 29-31 Belmore St – DA-2018/973). The proposed development is positioned in the northern portion of the site and the building bulk is most apparent from the north and south rather than looking from east to west. It is considered that no unreasonable view impacts will arise from the development on the escarpment from Flagstaff Hill as nominated in Figure 3.12.	Yes

4 Access, parking and servicing

Objectives/controls	*Comment*	*Compliance*
4.2 Pedestrian access and mobility		
Objectives *a) To provide safe and easy access to buildings to enable better use and enjoyment by people regardless of age and physical condition, whilst also contributing to the vitality and vibrancy of the public domain.* *b) To ensure buildings and places are accessible to people with a disability. 4.2.2*	Accessible entry is provided to the ground floor by compliant ramp access. The design facilitates easy pedestrian access for parents with prams accessing the childcare facility.	Yes
4.3 Vehicular driveways and manoeuvring areas		
	Driveway access from Victoria Street is proposed which is the preferred location to allow for an active street frontage along Belmore Street . Vehicle manoeuvrability within the site has been found unsatisfactory by Traffic Division	No
4.4 On-site parking	Some parking is provided above ground but is integrated into the design of the building to minimise its bulk and provide some visual interest.	Yes
4.5 Site facilities and services		
	The building is serviced by the major utilities and the requirement for suitable servicing arrangements are included in the recommended conditions in Attachment 7. Waste storage and collection is located on the enclosed ground floor car park which is screened from the public view and located to minimise noise impacts on the residential units. A waste and service dock is suitably located, noting that a 10.24m truck can access and manoeuvre within the ground floor enclosed car park as required.	Yes

5 Environmental management

Objectives/controls	*Comment*	*Compliance*
5.2 Energy efficiency and conservation		
Objectives *a) To reduce the necessity for mechanical heating and cooling.* *b) To minimise greenhouse gas emissions.* *c) To use natural climatic advantages of the coastal location such as cooling summer breezes, and exposure to unobstructed winter sun.*	Satisfactory – BASIX certificate provided. North facing units will allow good solar access and requirements under the ADG for natural ventilation is achieved.	Yes
5.3 Water conservation		
Objectives *a) To reduce per-capita mains consumption of potable water.* *b) To harvest rainwater and urban stormwater runoff for use.* *c) To reduce wastewater discharge.* *d) To capture, treat and reuse wastewater where appropriate.* *e) To safeguard the environment by improving the quality of water run-off.* *f) To ensure infrastructure design is complementary to current and future water use.*	Satisfactory – BASIX certificate provided. Rainwater tank provided for COS areas. Suitable WSUD proposed for water quality (condition recommended)	Yes

5.4 Reflectivity	Glazed northern façade – Condition recommended for reflectivity not to exceed 20% noting extent of glazing	Yes
5.5 Wind mitigation	Wind effects report submitted and conditions are included in Attachment 7 for the recommendations to be implemented.	Yes
5.6 Waste and recycling	A site management plan has been submitted for construction works. A SWMMP has been submitted for the demolition works and for the ongoing use of the development. Commercial and childcare facility waste storage for general and recyclable waste is provided in a dedicated storage room on the ground floor. Suitable waste storage and disposal is proposed, with garbage chutes for putrescible waste provided for residents, and recycling bins on each level for collection to take to waste storage rooms on the ground floor. The SWMPP indicates that the green waste will be collected by private contractors, however this does not allow for food waste to be included in the upcoming FOGO program WCC is in the process of implementing. Adequate space should be provided for green waste bins to utilise the FOGO system.	Yes

6 Residential development standards

Objectives/controls	*Comment*	*Compliance*
6.1 SEPP 65	Refer SEPP 65/ADG assessment	
6.2 Housing choice and mix	The development provides 10% x 1 bed & 18% x 3/4 bed units Access report states 5 x adaptable /liveable units provided (=10% - complies)	Yes
6.6 Basement Carparks	Due to the fall of the site towards the north, the basement carpark extends above ground level in the northern portion of the site by approximately 1m. This portion of the basement wall will have face brickwork to integrate it into the architectural expression of the building	Yes
6.7 Communal open space	Refer ADG	
6.8 Private open space	Refer ADG	
6.9 Overshadowing *Objective* *Minimise the extent of loss of sunlight to living areas and private open space areas of adjacent dwellings.*	The proposal will substantially overshadow the adjoining dwelling to the south (22 Belmore Street). Although the tower is oriented to the north of the site, the podium is 13-14m high which will overshadow the adjoining southern site (and sites further south) during midwinter. Given the B3 commercial core zoning and the anticipated density of development anticipated by the controls, sunlight access to dwellings is difficult to protect. The east-west orientation of lots exacerbates these impacts.	No
6.10 Solar access	Refer ADG	
6.11 Natural ventilation	Refer ADG	
6.12 Visual privacy	Refer ADG	
6.13 Acoustic Privacy	Refer ADG	
6.14 Storage	Refer ADG	

7 Planning controls for special areas

The site is not located within a special area.

8 Works in the public domain

Street tree planting and footpath upgrades will be required in accordance with Council's requirements.

CHAPTER E1: ACCESS FOR PEOPLE WITH A DISABILITY

An Access Report has been provided indicating the development can achieve the requirements for equitable and dignified access to the building, adaptable units, liveable units in relation to the relevant standards, National Construction Code and ADG requirements.

CHAPTER E2: CRIME PREVENTION THROUGH ENVIRONMENTAL DESIGN

The proposal is considered to be satisfactory with regard to the Principles of Crime Prevention Through Environmental Design.

No significant concealment or entrapment opportunities are anticipated, noting that fencing is provided on the Victoria Street frontage to restrict access to the drainage swale.

Access to residential car park area is secure.

Commercial/childcare facility lobby and residential lobby areas and lifts are separated.

Passive surveillance of the street is provided.

CHAPTER E3: CAR PARKING, ACCESS, SERVICING/LOADING FACILITIES AND TRAFFIC MANAGEMENT

Council's Traffic Engineer has considered the proposal having regard to the provisions of this chapter and has identified issues with the design of the ramp and swept paths on Level 1.

6 Traffic impact assessment and public transport studies

6.1 Car Parking and Traffic Impact Assessment Study

A traffic impact assessment (TIA) was submitted with the development. The TIA referenced

6.2 Preliminary Construction Traffic Management Plan

Conditions of consent are recommended with regards to traffic management during construction.

7 Parking demand and servicing requirements

Parking meets requirements under ADG and RMS guidelines as outlined below for residential development and a variation to childcare staff parking is sought:

Use / component	Parking rate	Required	Proposed
Car parking			
Commercial	1 per 60m^2	1144 /60 = 19.1	19 (incl adaptable)
Childcare facility	1 per staff and 1 per 6 children visitor spaces 1 accessible space 2 large spaces (3.2x5.5) for parents with strollers	20 staff spaces 20 visitor spaces (including 1 x accessible + 2 pram spaces)	17 Staff* 20 Visitor **No objection has been raised to the proposed reduced staff parking by Council's Traffic division as discussed below*
Residential	RMS Guide		

	1 bed 0.6 2 bed 0.9 3+ bed 1.4	5 x 0.6 = 3.0 36 x 0.9 = 32.4 9 x 1.4 = 12.6 Total Res = 48	48 residential
Visitor	0.2 per unit	50 x 0.2 = 10	10 (including 1 adaptable)
Total car parking		117	114

Provision of parking for motorcycles and bicycles has been provided for each land use in accordance with the requirements of this chapter.

Under Part 7.4 of this chapter, parking waivers can be considered for the childcare facility component of the development. In the city centre, the parking waiver allows - *'a 30% reduction due to increased access to public parking and public transport'.* The site is within two (2) public parking areas, within 550m of the railway station and within 400m of a bus stop. The TIA submitted with the application identified that the 30% reduction could be applied. The proposed reduction in the provision of staff parking from 20 spaces to 17 was considered by Council's Traffic Engineer and found acceptable.

8 Vehicular access

Revised plans are required prior to determination to resolve vehicle manoeuvring, particularly on Level 1. This is discussed in more detail within the body of the report (Part 1.6.1).

9 Loading / unloading facilities and service vehicle manoeuvering

Revised plans are required prior to determination for the development to comply with AS 2890.1 in relation to the Level 1 ramp. This is discussed in detail under Part 1.6.1 of the assessment report.

Waste servicing will occur on-site (refer further comments regarding waste servicing under Chapter E7)

10 Pedestrian access

The proposal is satisfactory regarding pedestrian access into the site and along the frontage.

11 Safety & security (Crime Prevention through Environmental Design) measures for car parking areas

The proposal is satisfactory regarding the principles of CPTED.

CHAPTER E6: LANDSCAPING

The revised proposal incorporates communal landscape areas, including areas for deep soil planting which have been found satisfactory by Council's landscape officer. Conditions have been recommended for street tree planting and public domain works as outlined in Attachment 7.

CHAPTER E7: WASTE MANAGEMENT

A Site Waste Minimisation and Management Plan has been provided in accordance with this chapter.

The proposal involves demolition of all existing structures and a demolition plan and Hazardous Materials Survey have been provided.

The waste arrangements have been outlined in an operational waste management plan prepared by waste consultants Dickens Solutions Pty Ltd. General and recyclable waste is proposed to be collected by Council's waste collection services within the site. Adequate swept paths will allow sufficient space for Council's waste collection vehicles.

Green waste is proposed to be collected by a private contractor. As the development can be serviced by Council waste vehicles, the provision of green waste bins for residents should be accommodated within the waste storage area on the ground floor. This is particularly important given that Council is currently introducing Food Organics Garden Organics ('FOGO') which allows households to use the green lidded bins to dispose of household organic waste. A condition has been included in Attachment 7 for the waste storage area to be increased in size to accommodate the required number of green waste bins (Note this was discussed with the applicant who verbally advised there is scope to increase the waste storage area by relocating the stairs further west).

The proposal provides separate commercial and residential waste storage rooms and on-site servicing arrangements. It is noted that the development will be serviced by a medium rigid vehicle (10.24m) in accordance with the required waste collection vehicle specified in Appendix 7 of this chapter.

CHAPTER E12 GEOTECHNICAL ASSESSMENT

The application has been reviewed by Council's Geotechnical Engineer in relation to site stability and the suitability of the site for the development. Appropriate conditions have been recommended are in included in Attachment 7.

CHAPTER E13 FLOODPLAIN MANAGEMENT

The site is identified as being flood affected. A flood study and concept stormwater plan have been provided. Council's stormwater engineer has reviewed the proposal with respect to the provisions of this chapter and clause 7.3 of WLEP 2009 and has recommended conditions of consent.

CHAPTER E14 STORMWATER MANAGEMENT

Stormwater is proposed to be disposed of the street incorporating a drainage swale along the southern and western boundary and discharging into the street system on Victoria Street. Council's stormwater engineer has reviewed the proposal with respect to the provisions of this chapter and has recommended conditions of consent.

CHAPTER E15 WATER SENSITIVE URBAN DESIGN

WSUD report provided and assessed as satisfactory by Environment Division.

CHAPTER E17 PRESERVATION AND MANAGEMENT OF TREES AND VEGETATION

The proposal involves removal of all trees within the site. An arborist report was submitted with the application and considered by Council's Landscape officer. No objections have been raised to the removal of the trees.

CHAPTER E19 EARTHWORKS (LAND RESHAPING WORKS)

The earthworks are satisfactory with regard to this chapter subject to the imposition of suitable conditions.

CHAPTER E20 CONTAMINATED LAND MANAGEMENT

The proposal has been supported by a Detailed Site Investigation prepared by a suitably qualified consultant has been submitted. The recommendations of that report have been reviewed by Council's Environment Officer and conditions of consent are recommended as outlined in Attachment 7.

CHAPTER E21 DEMOLITION AND HAZARDOUS BUILDING MATERIALS MANAGEMENT

Conditions of consent are recommended in regard to appropriate measures for the management of demolition works and hazardous building materials to be in place during works.

CHAPTER E22 SOIL EROSION AND SEDIMENT CONTROL

Conditions of consent are recommended in regard to appropriate sediment and erosion control measures to be in place during works.

Attachment 7 – Recommended conditions

The development application has been determined by granting deferred commencement consent subject to the following conditions:

(i) **The Development Consent shall not operate until Council has been satisfied as to the following matters:**

Sydney Trains
The Applicant shall prepare and provide to Sydney Trains for review, comment and written endorsement the following final version items in compliance with relevant ASA Standards (https://www.transport.nsw.gov.au/industry/asset-standards-authority):

a Revised final Geotechnical, Structural and Finite Element Reports and revised Structural Drawings in order to address the following items:

i Western shoring wall next to rail corridor shows internal bracings at southern side. However, there is no lateral support for this shoring wall towards north. It is to be demonstrated this part of the shoring wall is designed as cantilevered wall at temporary excavation stage.

ii North side of the shoring plan is inconsistent with the architectural drawings and either showing plan or architectural drawings need to be revised.

iii Confirmation that the temporary bracing to the shoring system have a minimum service life of 10 years.

iv As the building is located within 20 metres of centreline of the nearest railway track up to Level 2, it is to be demonstrated that the structural supporting elements have been designed to comply with AS 5100 for collision protection.

v It is to be demonstrated the proposed excavation near the railway bridge at Victoria Street will not adversely affect bridge abutment structure stability.

vi The Finite Element analysis has modelled a cantilever contiguous pile wall. Structural drawing S0100 Issue A indicates the west wall to comprise three different wall types. The section of wall modelled is likely to be stiffer than the cantilevered soldier pile wall. It is to be confirmed that the FE analysis reflects the worst case wall scenario.

b Confirmation that the design of the proposed development will not introduce electro-magnetic interference to railway signalling and telecommunications systems.

c If required by Sydney Trains based on the review of the above documentation, a monitoring plan.

Any conditions issued as part of Sydney Trains endorsement of the above documents will also form part of the consent conditions that the Applicant is required to comply with.

(ii) The developer must satisfy Council, within 12 months of the date shown on the top of this consent, that the matters specified in condition number (i) have been complied with. Failure to satisfy Council within that time period will lapse this development consent.

(iii) If compliance with the matters contained in condition number (i) results in a substantial variation to the development approved deferred commencement, a new development application must be submitted.

Once Council is satisfied that the matters contained in condition number (i) have been complied with and the developer has been notified in writing of such compliance, the following conditions shall apply in respect of the approved development:

The development proposed is integrated development and approval is required from the approval bodies listed below:

Water NSW
Pursuant to s90 – consent under the Water Management Act 2000 – (Water Supply Work). – General Terms of Approval issued by Water NSW dated 24 September 2020 as attached shall form part of this Notice of Determination.

Conditions imposed by Council as part of this Integrated Development Consent are:

Approved Plans and Specifications

1 The development shall be implemented substantially in accordance with the details and specifications set out on Project No. 19055 Drawing DA-003-H to DA-004-H, DA-101-H to DA-116-H, DA-201-H to DA-205-H, DA-301-H to DA-305-H, DA-351-H to DA-358-H, DA-901-H and DA-1409-H dated 16 October 2020 prepared by Urban Link and any details on the application form, and with any supporting information received, except as amended by the conditions specified and imposed hereunder.

General Matters

2 **Building Work - Compliance with the Building Code of Australia**
All building work must be carried out in compliance with the provisions of the Building Code of Australia.

3 **Construction Certificate**
A Construction Certificate must be obtained from Council or a Registered Certifier prior to work commencing.

A Construction Certificate certifies that the provisions of Clauses 139-147 of the Environmental Planning and Assessment Regulation 2000 have been satisfied, including compliance with all relevant conditions of Development Consent and the Building Code of Australia.

Note: The Certifier must cause notice of its determination to be given to the consent authority, and to the council, by forwarding to it, within two (2) days after the date of the determination, the plans and documentation referred to in clause 142 (2) of the Environmental Planning and Assessment Regulation 2000.

4 **Approval to Operate a Child Care Centre - NSW Department of Community Services**
This consent does not authorise the use or operation of the premises as a Child Care Centre, except where the operator and all employees are in possession of a current valid license from the NSW Department of Education & Communities.

5 **Disability Discrimination Act 1992**
This consent does not imply or confer compliance with the requirements of the Disability Discrimination Act 1992.

It is the responsibility of the applicant to guarantee compliance with the requirements of the Disability Discrimination Act 1992. The current Australian Standard AS1428.1 (2009) – Design for Access and Mobility is recommended to be referred for specific design and construction requirements, in order to provide appropriate access to all persons within the building.

6 **Restricted Vegetation Removal**
This consent permits the removal of trees and other vegetation from the site within three (3) metres of the approved buildings. This consent also permits the pruning of trees within three (3) metres of approved buildings in accordance with AS 4373-2007 Pruning of Amenity Trees. No other trees or vegetation shall be removed or pruned, without the prior written approval of Council.

7 **Mailboxes**
The developer must install mailboxes along street frontage of the property boundary in accordance with Australia Post Guidelines. Prominent house numbers are to be displayed, with a minimum number size of 150 mm in height for each number and letter in the alphabet.

8 **Separate Consent Required for Advertising Signage**
This consent does not authorise the erection of any advertising signage. Any such advertising signage will require separate Council approval, in the event that such signage is not exempt development, under Schedule 2 of Wollongong Local Environmental Plan 2009.

Any new application for advertising signage must be submitted to Council in accordance with Chapter C1 – Advertising and Signage Structure of Wollongong Development Control Plan 2009

and with regard to the fascia signage, the signage envelopes indicated on the plans approved by this consent.

9 **Maintenance of Access to Adjoining Properties**

Access to all properties not the subject of this approval must be maintained at all times and any alteration to access to such properties, temporary or permanent, must not be commenced until such time as written evidence is submitted to Council or the Principal Certifier indicating agreement by the affected property owners.

10 **Occupation Certificate**

An Occupation Certificate must be issued by the Principal Certifier prior to occupation or use of the development. In issuing an Occupation Certificate, the Principal Certifier must be satisfied that the requirements of section 6.9 of the Environmental Planning and Assessment Act 1979, have been complied with as well as all of the conditions of the Development Consent.

11 **Comply with Geotechnical Report**

The applicant must carry out all recommendations contained in the geotechnical report in order to ensure the structural design will incorporate the site geotechnical constraints to achieve the acceptable risk level as defined by Council geotechnical DCP.

12 **Geotechnical Requirements**

a An earthworks plan is to be developed by a geotechnical consultant prior to start of earthworks.

b Hard bedrock where encountered will be difficult to excavate. Alternative excavation methods should be considered to minimise noise and vibration.

c A dilapidation report is required for all structures located within the zone of influence of the proposed earthworks as determined by the geotechnical consultant.

d No disturbance of ground is to occur beyond site boundaries. A minimum buffer between site boundaries and the construction of retaining structures is to be recommended by the geotechnical consultant to ensure adjoining property is not adversely impacted upon by this development.

e All excavations need to be supported during and after construction particularly to protect adjoining property with nearby existing development.

f Retaining wall design is not to include anchors extending on to adjoining property without the written consent of the adjoining property owner.

g The earthworks plan may require modification in light of any subsequent geotechnical reports commissioned to address unforeseen geotechnical conditions encountered during the site preparation earthworks.

h All earthworks including drainage and retaining wall construction is to be subject to geotechnical supervision. Where necessary amendments are to be made to the designs during construction based on supplementary geotechnical advice given during the supervision to ensure that the completed works accommodates all encountered geotechnical constraints.

i At the completion of the site preparation earthworks, the geotechnical consultant is to prepare a works-as-executed report detailing encountered geotechnical conditions and how the works addressed these conditions so that the residual geotechnical constraints can be accommodated within the structural designs for the development. The structural designs are to be confirmed or amended by the structural engineer based on the works-as-executed geotechnical report.

13 **Preparation remediation action plan (RAP), Waste classification protocols and Site Remediation Work**

a Prior to site remediation prepare a remediation action plan (RAP) and waste classification protocol as per the waste classification guidelines, Part 1: Classifying Waste NSW EPA (2014) as recommended in DSI prepared by Aargus Pty Ltd. dated 14 July 2020.

b Site remediation work must be undertaken as per the recommendations of remediation action plan.

14 **Stormwater Quality Management**

a The stormwater treatment system must achieve pollutants and nutrients removal minimum: GP – 90%, TSS – 80%, TP – 55% and TN – 40%.
b It is strata management responsibility to maintain the stormwater filtration system.

15 **Sydney Trains Requirement - Supervision**
Unless advised by Sydney Trains in writing, all excavation, shoring and piling works within 25m of the rail corridor are to be supervised by a geotechnical engineer experienced with such excavation projects and who holds current professional indemnity insurance.

16 **Sydney Trains Requirement - Design**
The Applicant is to ensure that the development incorporates appropriate anti-graffiti measures, to the satisfaction of to Sydney Trains.

17 **Sydney Trains Requirement - Consultation**
The Applicant must ensure that at all times they have a representative (which has been notified to Sydney Trains in writing), who:

- oversees the carrying out of the Applicant's obligations under the conditions of this consent and in accordance with correspondence issued by Sydney Trains;
- § acts as the authorised representative of the Applicant; and
- § is available (or has a delegate notified in writing to Sydney Trains that is available) on a 7 day a week basis to liaise with the representative of Sydney Trains, as notified to the Applicant.

18 Without in any way limiting the operation of any other condition of this consent, the Applicant must, during demolition, excavation and construction works, consult in good faith with Sydney Trains in relation to the carrying out of the development works and must respond or provide documentation as soon as practicable to any queries raised by Sydney Trains in relation to the works.

19 Where a condition of consent requires consultation with Sydney Trains, the Applicant shall forward all requests and/or documentation to the relevant Sydney Trains External Interface Management team via email on Illawarra_Interface@transport.nsw.gov.au.

20 **Sydney Trains Requirement - Documentation**
Copies of any certificates, drawings, approvals/certification or documents endorsed by, given to or issued by Sydney Trains or TAHE (Transport Asset Holding Entity) must be submitted to Council for its records prior to the issuing of the applicable Construction Certificate or Occupation Certificate.

21 **Sydney Trains Requirement - Environmental Protection**
During all stages of the development the Applicant must take extreme care to prevent any form of pollution entering the railway corridor. Any form of pollution that arises as a consequence of the development activities shall remain the full responsibility of the Applicant.

22 **Sydney Trains requirements - Drainage**
The Applicant must not allow any person to do any act or thing which allows stormwater, surface run off or drainage to pass over, through or under the development site onto the railway corridor.

23 **Sydney Trains Requirement - Inspections**
Sydney Trains or Transport for NSW (TfNSW), and persons authorised by those entities for the purpose of this condition, must be permitted to inspect the site of the development and all structures to enable it to consider whether those structures have been or are being constructed and maintained in accordance with the approved plans and the requirements of this consent, on giving reasonable notice to the principal contractor for the development or the owner or occupier of the part of the site to which access is sought.

24 **Sydney Trains Requirement - Written Notice**
If required by Sydney Trains, the Applicant must give Sydney Trains written notice at least five (5) business days before any of the following events occur within 25 metres of the rail corridor land:

- site investigations;
- foundation, pile and anchor set out;

- set out of any other structures below ground surface level or structures which will transfer any load or bearing;
- foundation, pile and anchor excavation;
- other excavation;
- surveying of foundation, pile and anchor excavation and surveying of as-built excavations;
- other concreting; or
- any other event that Sydney Trains has notified to the Applicant.

25 **Sydney Trains Requirements - Other**
The Applicant is advised that Sydney Trains has a HV aerial transmission line near this site and any works including but not limited to, scaffolding and crane movements must be undertaken in a safe manner at all times.

26 Any conditions issued as part of Sydney Trains approval/certification of any documentation for compliance with the Sydney Trains conditions of consent, those approval/certification conditions will also form part of the consent conditions that the Applicant is required to comply with.

27 Where a condition of consent requires Sydney Trains or Transport for NSW endorsement the Principal Certifier is not to issue a Construction Certificate or Occupancy Certificate, as the case may be, until written confirmation has been received from those entities that the particular condition has been complied with. The issuing of staged Construction Certificates dealing with specific works and compliance conditions can be issued subject to written agreement from those entities to which the relevant conditions applies.

Prior to the Issue of the Construction Certificate

28 **Sydney Trains Requirement -Survey**
Prior to the issue of a Construction Certificate, the Applicant shall provide an accurate survey locating the development with respect to the rail boundary and rail infrastructure. This work is to be undertaken by a registered surveyor, to the satisfaction of Sydney Trains representative.

29 Prior to the issue of a Construction Certificate, the Applicant shall undertake a services search to establish the existence and location of any rail services. Persons performing the service search shall use equipment that will not have any impact on rail services and signalling. Should rail services be identified within the subject development site, the Applicant must discuss with Sydney Trains as to whether these services are to be relocated or incorporated within the development site.

30 **Sydney Trains Requirement - Noise and Vibration**
The Applicant shall prepare an acoustic assessment demonstrating how the proposed development will comply with the Department of Planning's document titled "Development Near Rail Corridors and Busy Roads- Interim Guidelines". The Applicant must incorporate in the development all the measures recommended in the report. A copy of the report is to be provided to the Principal Certifier and Council prior to the issuing of a Construction Certificate. The Principal Certifier must ensure that the recommendations of the acoustic assessment are incorporated in the construction drawings and documentation prior to the issuing of the relevant Construction Certificate.

31 **Sydney Trains Requirement -Electrolysis**
Prior to the issue of a Construction Certificate the Applicant is to engage an Electrolysis Expert to prepare a report on the Electrolysis Risk to the development from stray currents. The Applicant must incorporate in the development all the measures recommended in the report to control that risk. A copy of the report is to be provided to the Principal Certifier with the application for a Construction Certificate. The Principal Certifier must ensure that the recommendations of the electrolysis report are incorporated in the construction drawings and documentation prior to the issuing of the relevant Construction Certificate.

32 **Sydney Trains Requirement -Design**
Given the possible likelihood of objects being dropped or thrown onto the rail corridor from balconies, windows and other external features (eg roof terraces and external fire escapes) that are within 20 metres of, and face, the rail corridor, the development must have measures installed, to the satisfaction of Sydney Trains (eg awning windows, louvres, enclosed balconies, window

restrictors etc) which prevent the throwing of objects onto the rail corridor. The Principal Certifier is not to issue the Construction Certificate until written confirmation has been received from Sydney Trains confirming that this condition has been satisfied.

33 **Sydney Trains Requirement - Design**
The design, installation and use of lights, signs and reflective materials, whether permanent or temporary, which are (or from which reflected light might be) visible from the rail corridor must limit glare, reflectivity and illumination to the satisfaction of the light rail operator. The Principal Certifier is not to issue the Construction Certificate until written confirmation has been received from Sydney Trains confirming that this condition has been satisfied.

34 **Sydney Trains Requirement - Design**
There is a need to ensure that the roots and foliage of trees being planted beside the rail corridor do not have an impact on the rail corridor or rail operations. A final landscaping and planting plan demonstrating measures to ensure compliance with this condition must be prepared to the satisfaction of Sydney Trains. No construction certificate can be issued until written confirmation has been received from Sydney Trains confirming that this condition has been complied with.

35 **Sydney Trains Requirement - Construction**
No work is permitted within the rail corridor, or any easements which benefit Sydney Trains/TAHE (Transport Asset Holding Entity), at any time, unless the prior approval of, or an Agreement with, Sydney Trains/TAHE (Transport Asset Holding Entity) has been obtained by the Applicant. The Principal Certifier is not to issue the Construction Certificate until written confirmation has been received from Sydney Trains confirming that this condition has been satisfied.

36 **Sydney Trains Requirement - Construction**
No rock anchors, rock bolts, ground anchors or rock ties, piles, foundations, rock pillars, transfer structures, basement walls, slabs, columns, beams, cut rock faces, are to be installed into TAHE (Transport Asset Holding Entity)/Sydney Trains property or easements. The Principal Certifier is not to issue the Construction Certificate until written confirmation has been received from Sydney Trains confirming that this condition has been satisfied.

37 **Sydney Trains Requirement - Construction**
Prior to the issuing of a Construction Certificate, the following rail specific items are to be submitted to Sydney Trains for review and endorsement:

- Machinery to be used during excavation/construction.
- Demolition, excavation and construction methodology and staging.
- Methodology for vibration and noise control during construction demonstrating no adverse impact on rail operations or assets.
- Confirmation that electro-magnetic interference to railway signalling and telecommunication systems will not be introduced.

The Principal Certifier is not to issue the Construction Certificate until it has received written confirmation from Sydney Trains that this condition has been complied with.

38 **Sydney Trains Requirement - Construction**
If required by Sydney Trains, prior to the issue of a Construction Certificate a Risk Assessment/Management Plan and detailed Safe Work Method Statements (SWMS) for the proposed works are to be submitted to Sydney Trains for review and comment on the impacts on rail corridor. The Principal Certifier is not to issue the Construction Certificate until written confirmation has been received from Sydney Trains confirming that this condition has been satisfied.

39 **Sydney Trains Requirement - Construction**
Prior to the issuing of a Construction Certificate the Applicant must submit to Sydney Trains a plan showing all craneage and other aerial operations for the development and must comply with all Sydney Trains requirements. If required by Sydney Trains, the Applicant must amend the plan showing all craneage and other aerial operations to comply with all Sydney Trains requirements.

The Principal Certifier is not to issue the Construction Certificate until written confirmation has been received from the Sydney Trains confirming that this condition has been satisfied.

40 **Sydney Trains Requirement - Construction**

If required, prior to the issue of a Construction Certificate the Applicant is to contact Sydney Trains External Interface Management team to determine the need for public liability insurance cover. If insurance cover is deemed necessary this insurance be for sum as determined by Sydney Trains and shall not contain any exclusion in relation to works on or near the rail corridor, rail infrastructure and must be maintained for the duration specified by Sydney Trains. The Applicant is to contact Sydney Trains External Interface Management team to obtain the level of insurance required for this particular proposal. Prior to issuing the Construction Certificate the Principal Certifier must witness written proof of this insurance in conjunction with Sydney Trains written advice to the Applicant on the level of insurance required.

41 **Sydney Trains Requirement – Construction**

If required, prior to the issue of a Construction Certificate the Applicant is to contact Sydney Trains External Interface Management team to determine the need for the lodgement of a Bond or Bank Guarantee for the duration of the works. The Bond/Bank Guarantee shall be for the sum determined by Sydney Trains. Prior to issuing the Construction Certificate the Principal Certifier must witness written advice from Sydney Trains confirming the lodgement of this Bond/Bank Guarantee.

42 **Sydney Trains Requirements - Drainage**

The Applicant must ensure that the drainage pit that the drainage system is to connect to is outside of the rail corridor. Should it be located within the rail corridor (ie TAHE land) then the drainage plan is to be amended to ensure that the pipe from the development connects into Council's pipe located within the roadway reserve. Prior to the issuing of a Construction Certificate the Applicant must submit to Sydney Trains confirmation that his requirement has been complied with. The Principal Certifier is not to issue the Construction Certificate until written confirmation has been received from the Sydney Trains confirming that this condition has been satisfied.

43 **Site Validation Report**

A Validation Report (Stage IV) shall be submitted to Council prior to the issue of the Construction Certificate.

The Validation Report shall verify that:

a the site is not affected by soil and/or groundwater contamination above the NSW EPA threshold limit criteria; and
b the site is suitable for the proposed development.

The Validation Report must be prepared by a contaminated land consultant who is a member of certified under one of the following certification schemes:

- the Environment Institute of Australia and New Zealand's (EIANZ) Certified Environmental Practitioner (Site Contamination) scheme (CEnvP (SC)); or
- the Soil Science Australia (SSA) Certified Professional Soil Scientist Contaminated Site Assessment and Management (CPSS CSAM) certification.

The Validation Report is to be issued by the certified contaminated land consultant direct to Council. No third party submissions will be accepted.

44 **Construction Environmental Management Plan**

- Submit a construction environmental management to the Private Certifier (PC), the plan shall address as minimum, the vehicle traffic, odour and vapour, dust, plant and machinery noise, water and sediment management, surface water, subsurface seepage and accumulated excavation water, sediment from equipment and cleaning operations, site security, working hours, contact information, incident response and contingency management.
- Submit an excavated soil material disposal plan to the PC, with the batching, sampling and analysis procedures as per the DECCW (2009) *Waste Classification Guidelines*. The plan shall be

prepared by a suitably qualified and experienced consultant. A copy of the plan shall be forwarded to Council.

45 **Child Care Facility - Fire Engineering Report**

a The development must comply with the proposed fire safety strategy to address the Performance Requirements of the BCA for the childcare facility as outlined in the report prepared by Innova Services (ref:20348-L01 and dated 23 October 2020).

b Prior to issue of the Construction Certificate, written endorsement of the Performance Solution from Fire and Rescue NSW must be submitted to the Principal Certifier and Council.

c The Construction Certificate plans and documentation must reflect the endorsed design.

Note: Where changes are required to satisfy the requirements of Fire and Rescue NSW that result in built form changes that are not consistent with this consent, an application to modify the development consent under Section 4.55 of the Environmental Planning and Assessment Act 1979 will be required.

46 **Schedule of External Building Materials/Finishes**

The external treatment/appearance of the development must be in accordance with the approved schedule of materials and finishes as shown on Plan DA-901-H dated 16 October 2020 prepared by Urban Link. These requirements must be reflected in the Construction Certificate plans and documentation. Any changes to the approved external materials and finishes must be approved by Council in writing prior to issue of the Construction Certificate.

47 **Dilapidation Report Prior to Construction**

A Dilapidation Report detailing the current structural condition of adjoining buildings, infrastructure and roads shall be prepared and endorsed by a qualified structural engineer. The report shall be submitted to the satisfaction of the certifying authority prior to issue of the Construction Certificate.

A copy of the report is to be forwarded to Council and the owners of adjoining properties prior to the issue of a Construction Certificate.

48 **Residential Waste Storage Room - Green Waste**

The residential waste storage room must be increased to accommodate green waste bins to service the development. The number of bins must be in accordance with the likely waste generation rates including capacity for each unit to utilise Council's Food Organics Green Organics ('FOGO') household waste system. The plans and documentation submitted with the Construction Certificate application must demonstrate that this requirement has been met.

49 **Pump System**

A pump system shall be provided in association with the detailed drainage design for the site to cater for stormwater from a prolonged/extreme storm event entering the basement. The pump system shall be designed by a suitably qualified and experienced civil engineer and reflected on the Construction Certificate plans and supporting documentation.

50 **Design in Accordance with Flood Report**

The detailed design of the development (incl. earthworks, pavements, built form, finished surface levels, and surface treatment) shall be generally in accordance with Detailed Flood Study by Rienco Consulting Engineers. (Flood Report reference 20014 Rev 4 dated 20 May 2020.) These requirements shall be reflected on the Construction Certificate plans (civil and architectural) and certified by a suitably qualified civil engineer prior to the release of the Construction Certificate.

51 **Carpark Crest Level**

The carpark crest level shall set at of RL +10.90m AHD (200mm above the 1% AEP peak flood surface level of RL +10.7m AHD at the entrance to the building.) This is in Accordance with the email from Rienco dated 18 June 2020.

52 **Loss of Flood Storage**

The detailed design of the development shall ensure no net loss of existing flood storage in any storm event (up to the PMF). Construction details of compensatory flood storage areas (where

required) shall be prepared by a suitably qualified civil engineer and reflected on the Construction Certificate plans. This must include detailed plans showing finished surface levels, finished surface treatment and the flood storage volume. Certification from a suitably qualified civil engineer verifying that these requirements have been met shall be submitted to the Principal Certifier prior to the release of the Construction Certificate.

53 **Excavation and Retaining Structures Adjacent to Public Roads**

The design of all permanent and temporary retaining structures within the zone of influence of any Council assets including the road pavement, stormwater pipes and pits, must be provided to Wollongong City Council and the Principal Certifier for assessment prior to the issue of the Construction Certificate. The design must be prepared in accordance with the TfNSW Technical direction GTD 2012/001, by a qualified Civil Engineer, NPER 3 accreditation with the Institute of Engineers Australia and experienced in structural design. The plan must clearly show that all components of the retaining structure and associated drainage is wholly located within the subject site. The design must be supported by:

a A geotechnical report prepared in accordance with the requirements of the TfNSW Technical direction GTD 2012/001.
b A dilapidation survey of the existing Council infrastructure.
c Details of the proposed monitoring program for the excavation and retaining structures, and relevant threshold actions prepared in accordance with TfNSW Technical direction GTD 2012/001.

54 **Ground Anchors**

Permanent ground anchors are not permitted within the road. Temporary ground anchors can only be used where the Road Authority has provided written confirmation to the applicant for their use. Temporary anchors must be designed in accordance with TfNSW Technical Direction GTD 2012/001.

55 **Basement Waterproofing**

Full engineering details of the proposed wall around the basement car park shall be submitted to the Principal Certifier prior to the issue of the Construction Certificate. These shall include construction details indicating that no ingress of stormwater is possible into the basement levels other than from sub-soil drainage, vehicle wash water and runoff from the driveway that drains towards the basement. This applies to any proposed opening such as doors or ventilation louvres. The problem of backwater from the stormwater pipeline entering the basement car park level shall be addressed by a method such as a flap gate or one-way valve system.

56 **Flows from Adjoining Properties**

Flows from adjoining properties shall be accepted and catered for within the site. Finished ground and top of retaining wall levels on the boundary shall be no higher than the existing upslope adjacent ground levels. The above requirements must be clearly shown on construction certificate plans prior to the release of the construction certificate.

57 **Structural Engineering Details**

The submission of structural engineering details by a suitably qualified and experienced structural engineer (with appropriate insurance coverage) to the Principal Certifier, prior to the release of the Construction Certificate addressing the following matters:

a Footings;
b reinforced concrete slabs;
c retaining walls;
d structural steelwork;
e wall bracing and tie-down requirements;
f the structural engineer, in producing a design is to complement the Geotechnical Engineer's Stability Report to make a clear statement that "any structure designed and erected in accordance with the plans and specifications will achieve the performance requirements described in Clause 1.3 of 2870 (1996) and any other relevant codes and standards."

58 **Section 73 Compliance Certificate**

A Section 73 Compliance Certificate under the Sydney Water Act 1994 must be obtained from Sydney Water Corporation. Application must be made through an authorised Water Servicing Coordinator. Please refer to the "Builders and Developers" section of the web site www.sydneywater.com.au then search to "Find a Water Servicing Coordinator". Alternatively, telephone 13 20 92 for assistance.

Following application, a "Notice of Requirements" will advise of water and sewer infrastructure to be built and charges to be paid. Please make early contact with the Coordinator, since building of water/sewer infrastructure can be time consuming and may impact on other services and building, driveway or landscape design.

The Notice of Requirements must be submitted to the Principal Certifier prior to issue of the Construction Certificate.

59 **Endeavour Energy Requirements**

The submission of documentary evidence from Endeavour Energy to the Principal Certifier is required confirming that satisfactory arrangements have been made with Endeavour Energy for the provision of electricity supplies to the development, prior to the release of the Construction Certificate.

Note: Applications should be made to Customer Connections – South Coast, Endeavour Energy PO Box 811 Seven Hills NSW 1730.

60 **Telecommunications**

The submission of documentary evidence from an approved telecommunications carrier to the Principal Certifier confirming that underground telecommunication services are available for this development is required prior to the issue of the Construction Certificate.

61 **Glass Reflectivity Index**

The reflectivity index of the glass used in the external façade of the building shall not exceed 20 per cent. The details and samples of the glass to be used are to be submitted with the Construction Certificate together with written evidence that the reflectivity of the glass is 20 per cent or less.

62 The development shall incorporate appropriate design measures to minimise any crime risk to patrons or staff and motor vehicles within the car parking areas, including (but not limited to) the following:

a Landscape treatment which allows visibility from the roadway and other public areas;

b Landscaping at ground level provided which is difficult or uncomfortable to hide in or traverse,

c Provide clearly marked and sign posted visitor car parking signs (including security/intercom system);

d Ensure that fire rated doors in the car park have a clear glass panel located no more than 1.5 m from the floor. The panel shall have a minimum dimension of 300 mm x 300 mm to allow visual surveillance within the stairwell and/or next room/space.

This requirement shall be reflected on the Construction Certificate plans.

63 **Site Management, Pedestrian and Traffic Management Plan (Where Works are Proposed in a Public Road Reserve)**

The submission of a Site Management, Pedestrian and Traffic Management Plan to the Principal Certifier and Council (in the event that Council is not the Principal Certifier) for approval of both the Principal Certifier and Council is required, prior to the issue of the Construction Certificate. This plan shall address what measures will be implemented for the protection of adjoining properties, pedestrian safety and traffic management and shall be in compliance with the requirements of the latest versions of Australian Standard AS1742 - Traffic Control Devices for Works on Roads and the TfNSW Traffic Control at Worksites Manual.

This plan is required to maintain public safety, minimise disruption to pedestrian and vehicular traffic within this locality and to protect services, during demolition, excavation and construction phases of the development. This plan shall include the following aspects:

a proposed ingress and egress points for vehicles to/from the construction site;
b proposed protection of pedestrians, adjacent to the construction site;
c proposed pedestrian management whilst vehicles are entering/exiting the construction site;
d proposed measures to be implemented for the protection of all roads and footpath areas surrounding the construction site from building activities, crossings by heavy equipment, plant and materials delivery and static load from cranes, concrete pumps and the like;
e proposed method of loading and unloading excavation machines, building materials formwork and the erection of any part of the structure within the site;
f proposed areas within the site to be used for the storage of excavated material, construction materials and waste containers during the construction period;
g proposed traffic control measures such as advanced warning signs, barricades, warning lights, after hours contact numbers etc are required to be displayed where works are in progress in any road reserve and shall be in accordance the latest versions of the Transport for NSW (TfNSW) Specification - "Traffic Control at Work Sites Manual" and the Australian Standard AS 1742. – "Manual of Uniform Traffic Control Devices" and accompanying field handbooks (SAA HB81);
h proposed method of support of any excavation, adjacent to adjoining buildings or the road reserve. The proposed method of support is to be certified by a Registered Certifier in Civil Engineering; and
i proposed measures to be implemented, in order to ensure that no soil/excavated material is transported on wheels or tracks of vehicles or plant and deposited on the roadway.

The traffic control plan endorsed by Council shall be implemented, prior to the commencement of any works upon the construction site.

Note: Any proposed works or placement of plant and equipment and/or materials within any road reserve will require the separate approval of Council, prior to the commencement of such works, pursuant to the provisions of the Roads Act 1993.

64 **Rail Noise**
Any dwelling erected upon this site shall be designed and constructed in accordance with the recommendations and requirements of NSW Department of Planning (2008) *Development near Rail Corridors and Busy Roads – Interim Guideline*. This requirement shall be reflected on the Construction Certificate plans and supporting documentation for the endorsement by the Principal Certifier, prior to the issue of the Construction Certificate

65 **Water/Wastewater Entering Road Reserve**
Provision shall be made for a minimum 200mm wide grated box drain along the boundary of the property at the vehicular crossing/s to prevent surface water entering the road reserve. This requirement shall be reflected on the Construction Certificate plans.

66 The depth and location of all services (ie gas, water, sewer, electricity, telephone, traffic lights, etc) must be ascertained and reflected on the Construction Certificate plans and supporting documentation.

67 **Landscaping**
The submission of a final Landscape Plan will be required in accordance with the requirements of Wollongong City Council DCP 2009 Chapter E6 and the approved Landscape Plan (Job No. SS19-4223 drawing no.'s 000-J, 102-I, and 103-J dated 19 October 2020, 101-G and 104-I dated 16 October 2020 and 501-B dated 30 April 2020) for the approval by the Principal Certifier, prior to the release of the Construction Certificate.

68 The submission of certification from a suitably qualified and experienced landscape designer and drainage consultant to the Principal Certifier prior to the release of the Construction Certificate, confirming that the landscape plan and the drainage plan are compatible.

69 The implementation of a landscape maintenance program in accordance with the approved Landscape Plan for a minimum period of 12 months to ensure that all landscape work becomes well established by regular maintenance. Details of the program must be submitted with the Landscape Plan to the Principal Certifier prior to release of the Construction Certificate.

70 **Engineering Plans and Specifications - Retaining Wall Structures Greater than One (1) Metre**

The submission of engineering plans and supporting documentation of all proposed retaining walls greater than one (1) metre to the Principal Certifier for approval prior to the issue of the Construction Certificate. The retaining walls shall be designed by a suitably qualified and experienced civil and/or structural engineer. The required engineering plans and supporting documentation shall include the following:

a A plan of the wall showing location and proximity to property boundaries;
b An elevation of the wall showing ground levels, maximum height of the wall, materials to be used and details of the footing design and longitudinal steps that may be required along the length of the wall;
c Details of fencing or handrails to be erected on top of the wall;
d Sections of the wall showing wall and footing design, property boundaries, subsoil drainage and backfill material. Sections shall be provided at sufficient intervals to determine the impact of the wall on existing ground levels. The developer shall note that the retaining wall, subsoil drainage and footing structure must be contained wholly within the subject property;
e The proposed method of subsurface and surface drainage, including water disposal. This is to include subsoil drainage connections to an inter-allotment drainage line or junction pit that discharges to the appropriate receiving system;
f The assumed loading used by the engineer for the wall design.
g Flows from adjoining properties shall be accepted and catered for within the site. Finished ground and top of retaining wall levels on the boundary shall be no higher than the existing upslope adjacent ground levels.

71 **Stormwater Connection to Kerb**

Connection across footways shall be by means of one or two (maximum), sewer grade UPVC pipe(s), 100mm diameter pipes with a continuous downslope gradient to the kerb. Connection to the kerb shall be made with a rectangular, hot dipped galvanised mild steel weephole(s) shaped to suit the kerb profile, with each weephole having the capacity equal to a 100mm diameter pipe. Alternatively, a maximum of two 150mm x 100mm hot dipped galvanised steel pipes may be used across footways, with the 150mm dimension being parallel to the road surface to suit the kerb profile.

72 **Property Addressing Policy Compliance**

Prior to the issue of any construction certificate, the developer must ensure that any site addressing complies with Council's **Property Addressing Policy** (as amended). Where appropriate, the developer must also lodge a written request to Council's **Infrastructure Systems & Support – Property Addressing (propertyaddressing@wollongong.nsw.gov.au),** for the site addressing prior to the issue of the construction certificate. Please allow up to 3-5 business days for a reply. Enquiries regarding property addressing may be made by calling 4227 8660.

73 **Footpath Paving City Centre**

The developer is responsible for the construction of footpath paving for the entire frontage of the development for the full width of the verge. The type of paving for this development shall be in accordance with the Wollongong City Council Public Domain Technical Manual.

A nominal two percent (2%) minimum one percent (1%), maximum two and a half percent (2.5%) cross fall to be provided from property line to back of kerb. Any changes of level, ramps or stairs and associated tactile markers and handrails are to be contained with the property boundary.

The driveway entry threshold from the property boundary line to the face of kerb is to match the footpath material and be designed to withstand predicted traffic loadings.

The driveway threshold finish within property boundary line is to contrast with driveway entry.

The footpath and driveway entry on the council property must be installed to the satisfaction of WCC Manager of Works.

A Landscape Plan is to be submitted to Council for approval prior to the issue of the Construction Certificate showing proposed paving, footpath design levels, street tree details and location of all services.

74 **Street Trees City Centre**

The Developer must address the street frontage by installing street tree planting. The number and species for this development are three *Zelkova serrata*, 200 litre container size in accordance with AS 2303:2018 Tree stock for landscape use. Tree pit detailing is to be in accordance with the Wollongong City Council Public Domain Technical Manual. Dial Before You Dig must be consulted prior to any excavation on site. Pot holing must be carried out to determine service location. Location of street tree plantings to be sited to ensure no conflict occurs with street light poles.

Tree pits must be adequately mulched, plants installed, and tree guard/staking/tree grille/edging installed to the satisfaction of WCC Manager of Development Engineering.

These requirements shall be reflected on the Construction Certificate plans and any supporting documentation.

75 **Stormwater Drainage Design**

A detailed drainage design for the development must be submitted to and approved by the Principal Certifier prior to the release of the Construction Certificate. The detailed drainage design must satisfy the following requirements:

a Be prepared by a suitably qualified civil engineer in accordance with Chapter E14 of Wollongong City Council's Development Control Plan 2009, Subdivision Policy, conditions listed under this consent, and generally in accordance with the concept plan/s lodged for development approval, prepared by prepared by ATB Consulting Engineers, Reference Nos. 19073-SW2 to SW5 revision C and 19073-SW6 to SW8 revision B dated 20 October 2020.

b Include details of the method of stormwater disposal. Stormwater from the development must be piped to Council's existing stormwater drainage system.

c Engineering plans and supporting calculations for the stormwater drainage system are to be prepared by a suitably qualified engineer and be designed to ensure that stormwater runoff from upstream properties is conveyed through the site without adverse impact on the development or adjoining properties. The plan must indicate the method of disposal of all stormwater and must include rainwater tanks, existing ground levels, finished surface levels on all paved areas, estimated flow rates, invert levels and sizes of all pipelines.

d Overflow paths shall be provided to allow for flows of water in excess of the capacity of the pipe/drainage system draining the land, as well as from any detention storage on the land. Blocked pipe situations with 1 in 100 year ARI events shall be incorporated in the design. Overflow paths shall also be provided in low points and depressions. Each overflow path shall be designed to ensure no entry of surface water flows into any building and no concentration of surface water flows onto any adjoining property. Details of each overflow path shall be shown on the detailed drainage design.

76 **Flood Level Requirements**

The following requirements shall be reflected on the Construction Certificate plans, prior to the release of the Construction Certificate:

a Habitable floor levels must be constructed at RL 13.7 metres AHD.

b Any portion of the building or structure below RL 13.7 metres AHD should be built from flood compatible materials. Where materials are proposed and not listed in Appendix B of Chapter E13 of the Wollongong DCP2009, relevant documentation from the manufacturer shall be provided demonstrating that the materials satisfy the definition of 'flood compatible materials' as stated in Chapter E13 of the Wollongong DCP2009.

c The proposed building shall be designed to withstand the forces of floodwater, debris and buoyancy up to and including the PMF plus freeboard being RL 14.0 metres AHD.

77 **On-Site Stormwater Detention (OSD) Design**

The developer must provide on-site stormwater detention (OSD) storage for stormwater runoff from the development. The design and details of the OSD system must be provided in conjunction with the detailed drainage design and approved by the Principal Certifier prior to the release of the Construction Certificate. The OSD design and details must satisfy the following requirements:

a The OSD facility shall incorporate a minimum 900mm x 900mm square lockable grate for access and maintenance purposes, provision for safety, debris control screen, and a suitably graded invert to the outlet to prevent ponding.

b Must include discharge control calculations (i.e. orifice/weir calculations) generally in accordance with Section 12.2.6 and 12.5.4 of Chapter E14 of the Wollongong DCP2009.

c Details of the orifice plate including diameter of orifice and method of fixing shall be provided.

d Must include details of a corrosion resistant identification plaque for location on or close to the OSD facility. The plaque shall include the following information and shall be installed prior to the issue of the Occupation Certificate:

- The structure is an OSD facility, being part of the stormwater drainage network, and is not to be tampered with.
- Identification number DA-2019/1290.

78 **Council Footpath Reserve Works – Driveways and Crossings**

All redundant vehicular crossings and laybacks rendered unnecessary by this development must be reconstructed to normal kerb and gutter or existing edge of carriageway treatment to match the existing. The verge from the back of kerb to the boundary must be restored and the area appropriately graded, topsoiled and turfed in a manner that conforms with adjoining road reserve. The area forward of the front boundary must be kept smooth, even and free from any trip hazards. All alterations of public infrastructure where necessary are at the developer's expense.

All new driveway laybacks and driveway crossings must be designed in accordance with Wollongong City Council Standards. Details and locations are to be shown on the Construction Certificate Plans.

79 **Victoria and Kembla Streets - Detailed Civil Engineering Design – Council Land**

A detailed civil engineering design shall be provided for the proposed footpath and drainage works within the road reserve and/or Council Land. The details must be submitted to and approved by Councils Development Engineering Manager. The detailed civil engineering design shall be prepared by a suitably qualified practicing civil engineer in accordance with the relevant Council engineering standards and shall include:

a Levels and details of all existing and proposed infrastructure/services such as kerb and gutter, public utility, pits, poles, fencing, stormwater drainage, adjacent road carriageway crown, street signs (clearly identifying the type of sign) and footpath levels - and shall extend a minimum of 5 metres beyond the limit of works.

b Footpath longitudinal sections, and cross-sections at 10 metre intervals as well as including building entrance points and transitions to existing at the property boundary demonstrating compliance with the latest versions of AS 1428.1, AS/NZS 2890.1, the Disability Discrimination Act and the AUSTROAD road design standards.

c Where any adjustments to public utilities are proposed the applicant shall submit documentary evidence that they have the consent of the owner of the public utility authority.

d All construction must be in accordance with the requirements of Council's Subdivision Code. Evidence that this requirement has been met must be detailed on the engineering drawings.

e Details are to be provided regarding the type of materials used for construction. They should conform to the adjacent road reserves. Pavement designs must be provided for road reconstruction works, the pavement must be designed by a suitably qualified engineer to the expected traffic loadings and type.

The detailed civil engineering design and supporting documentation shall be submitted to and approved by Wollongong City Council's Development Engineering Manager prior to the issue of a Construction Certificate.

80 **Dilapidation Survey**

A dilapidation survey and report shall be submitted to the Principal Certifier.

The dilapidation survey and report shall accurately reflect the condition of existing public and private infrastructure in the adjacent street(s) fronting the lots.

The report shall outline measures for the protection of existing public and private infrastructure during the works.

Any damage to infrastructure items and relics which is caused by the developer shall be repaired to the satisfaction of the Principal Certifier prior to the issue of a Certificate of Practical Completion for Subdivision works.

81 **Development Contributions - City Centre**

Pursuant to Section 4.17 of the Environmental Planning and Assessment Act 1979 and the Wollongong City-Wide Development Contributions Plan, a monetary contribution of $507,880.00 (subject to indexation) must be paid to Council towards the provision of public amenities and services, prior to the release of any associated Construction Certificate.

This amount has been calculated based on the estimated cost of development and the applicable percentage rate as outlined in Clause 25K of the Environmental Planning and Assessment Regulation 2000.

The contribution amount will be subject to indexation until the date of payment. The formula for indexing the contribution is:

Contribution at time of payment = $C x (CP2 / CP1)

Where:

$C is the original contribution as set out in the Consent

CP1 is the Consumer Price Index; All Groups CPI; Sydney at the time the consent was issued

CP2 is the Consumer Price Index; All Groups CPI; Sydney at the time of payment

Details of CP1 and CP2 can be found in the Australian Bureau of Statistics website – Catalogue No. 6401.0 - Consumer Price Index, Australia.

The following payment methods are available:

METHOD	HOW	PAYMENT TYPE
Online	http://www.wollongong.nsw.gov.au/applicationpayments Your Payment Reference:	· Credit Card
In Person	Wollongong City Council Administration Building - Customer Service Centre Ground Floor 41 Burelli Street, WOLLONGONG	· Cash · Credit Card · Bank Cheque
PLEASE MAKE BANK CHEQUE PAYABLE TO: Wollongong City Council (Personal or company cheques are not accepted)		

A copy of the Wollongong City-Wide Development Contributions Plan and accompanying Fact Sheet may be inspected or obtained from the Wollongong City Council Administration Building, 41 Burelli Street, Wollongong during business hours or on Council's web site at www.wollongong.nsw.gov.au

82 **Payment of S94A Levy**

Prior to release of any associated construction certificate the certifier must ensure that the S94A levy has been paid in full. In this regard the certifier must submit to Council, with the construction certificate documentation, receipts which will specify whether the levy has been paid by cash or bank cheque.

Prior to the Commencement of Works

83 **Sydney Trains Requirement - Survey**
Prior to the commencement of any works a Registered Surveyor shall peg-out the common property boundary between the development site and TAHE (Transport Asset Holding Entity) land and easements. A copy of the survey report indicating the location of pegs must be provided to Sydney Trains prior to the commencement of works.

84 **Sydney Trains Requirement - Construction**
Prior to the commencement of any works appropriate fencing must be in place along the rail corridor to prevent unauthorised access to the rail corridor during construction works. Details of the type of fencing and the method of erection are to be to the satisfaction of Sydney Trains prior to the fencing work being undertaken.

85 **Sydney Trains Requirement - Construction**
No scaffolding is to be used facing the rail corridor unless prior written approval has been obtained from Sydney Trains. To obtain approval the Applicant will be required to submit details of the scaffolding, the means of erecting and securing this scaffolding, the material to be used, and the type of screening to be installed to prevent objects falling onto the rail corridor. Unless agreed to by Sydney Trains in writing, scaffolding shall not be erected without isolation and protection panels.

86 **Sydney Trains Requirement – Construction**
The Applicant/Developer must give Sydney Trains written notice at least five (5) business days before, and on the day of, commencing works which occur adjacent to the rail corridor.

87 **Sydney Trains Requirement - Inspections**
If required by Sydney Trains, prior to the commencement of works or at any time during the excavation and construction period deemed necessary by Sydney Trains, a joint inspection of the rail infrastructure and property in the vicinity of the project is to be carried out by representatives from Sydney Trains and the Applicant. These dilapidation surveys will establish the extent of any existing damage and enable any deterioration during construction to be observed. The submission of a detailed dilapidation report will be required within 10 days following the undertaking of the inspection, unless otherwise notified by Sydney Trains.

88 **Appointment of Principal Certifier**
Prior to commencement of work, the person having the benefit of the Development Consent and a Construction Certificate must:

a Appoint a Principal Certifier (PC) and notify Council in writing of the appointment irrespective of whether Council or a Registered Certifier is appointed; and
b notify Council in writing of their intention to commence work (at least two days notice is required).

The PC must determine when inspections and compliance certificates are required.

89 **Sign – Supervisor Contact Details**
Before commencement of any work, a sign must be erected in a prominent, visible position:

a stating that unauthorised entry to the work site is not permitted;
b showing the name, address and telephone number of the Principal Certifier for the work; and
c showing the name and address of the principal contractor in charge of the work site and a telephone number at which that person can be contacted at any time for business purposes.

This sign shall be maintained while the work is being carried out and removed upon the completion of the construction works.

90 **Temporary Toilet/Closet Facilities**
Toilet facilities are to be provided at or in the vicinity of the work site on which work involved in the erection or demolition of a building is being carried out at the rate of one toilet for every 20 persons or part of 20 persons employed at the site.

Each toilet provided must be:

a a standard flushing toilet; and
b connected to either:
  i the Sydney Water Corporation Ltd sewerage system or
  ii an accredited sewage management facility or
  iii an approved chemical closet.

The toilet facilities shall be provided on-site, prior to the commencement of any works.

91 **Enclosure of the Site**
The site must be enclosed with a suitable security fence to prohibit unauthorised access, to be approved by the Principal Certifier. No building work is to commence until the fence is erected.

92 **Demolition Works**
The demolition of the existing structures shall be carried out in accordance with Australian Standard AS2601 (2001): The Demolition of Structures or any other subsequent relevant Australian Standard and the requirements of the SafeWork NSW.

No demolition materials shall be burnt or buried on-site. The person responsible for the demolition works shall ensure that all vehicles leaving the site carrying demolition materials have their loads covered and do not track soil or waste materials onto the road. Any unforeseen hazardous and/or intractable wastes shall be disposed of to the satisfaction of the Principal Certifier. In the event that the demolition works may involve the obstruction of any road reserve/footpath or other Council owned land, a separate application shall be made to Council to enclose the public place with a hoarding or fence over the footpath or other Council owned land.

93 **Demolition Notification to Surrounding Residents**
Demolition must not commence unless at least two (2) days written notice has been given to adjoining residents of the date on which demolition works will commence.

94 **Hazardous Material Survey**
At least one week prior to demolition, the applicant must prepare a hazardous materials survey of the site and submit to Council a report of the results of the survey. **Hazardous materials** includes, but are not limited to, asbestos materials, synthetic mineral fibre, roof dust, PCB materials and lead based paint. The report must include at least the following information:

a the location of hazardous materials throughout the site;
b a description of the hazardous material;
c the form in which the hazardous material is found, eg AC sheeting, transformers, contaminated soil, roof dust;
d an estimation (where possible) of the quantity of each particular hazardous material by volume, number, surface area or weight;
e a brief description of the method for removal, handling, on-site storage and transportation of the hazardous materials, and where appropriate, reference to relevant legislation, standards and guidelines;
f identification of the disposal sites to which the hazardous materials will be taken.

95 **Asbestos Hazard Management Strategy**
An appropriate hazard management strategy shall be prepared by a suitably qualified and experienced licensed asbestos assessor pertaining to the removal of contaminated soil, encapsulation or enclosure of any asbestos material. This strategy shall ensure any such proposed demolition works involving asbestos are carried out in accordance with SafeWork NSW requirements (<http://www.safework.nsw.gov.au>). The strategy shall be submitted to the Principal Certifier and Council (in the event that Council is not the Principal Certifier prior to the commencement of any works.

The approved strategy shall be implemented and a clearance report for the site shall be prepared by a licensed asbestos assessor and submitted to the Principal Certifier and Council (in the event that Council is not the Principal Certifier), prior to the issue of an Occupation Certificate or commencement of the development. The report shall confirm that the asbestos material has been

removed or is appropriately encapsulated based on visual inspection plus sampling if required and/or air monitoring results and that the site is rendered suitable for the development.

96 **Consultation with SafeWork NSW – Prior to Asbestos Removal**
A licensed asbestos removalist must give written notice to SafeWork NSW at least five (5) days before licensed asbestos removal work is commenced.

97 **Contaminated Roof Dust**
Any existing accumulations of dust in ceiling voids and wall cavities must be removed prior to any demolition work commencing. Removal must take place by the use of an industrial vacuum fitted with a high efficiency particulate air (HEPA) filter.

98 **Waste Management**
The developer must provide an adequate receptacle to store all waste generated by the development pending disposal. The receptacle must be regularly emptied and waste must not be allowed to lie or accumulate on the property other than in the receptacle. Consideration should be given to the source separation of recyclable and reusable materials.

99 **Support for Neighbouring Buildings**
This consent requires the preservation and protection of neighbouring buildings from any damage and if necessary, requires the underpinning and support of any neighbouring building in an approved manner. The applicant or the contractor carrying out the work must at least seven days in advance of any excavation works below the level of the base of the footings of a building on an adjoining allotment, including a public road or place, give written notice of intention to carry out such works to the property owner of the affected adjoining building and furnish specific written details and supporting plans or other documentation of the proposed work.

The adjoining property owner of land is not liable for any part of the cost of work carried out for the purposes of this condition, whether carried out on the allotment of land being excavated or on the adjoining allotment of land.

100 **Sediment Control Measures**
The developer must ensure that sediment-laden runoff from the site is controlled at all times subsequent to commencement of construction works. Sediment control measures must be maintained at all times and checked for adequacy at the conclusion of each day's work.

101 **Notification to Council of any Damage to Council's Infrastructure**
Council must be notified in the event of any existing damage to any of Council's infrastructure including, but not limited to the road, kerb and gutter, road shoulder, footpath, drainage structures and street trees fronting the development prior to the commencement of work. Adequate protection must be provided to Council infrastructure prior to work commencing and during the construction period. Any damage to Council's assets shall be restored in a satisfactory manner prior to the issue of the Occupation Certificate.

102 **Site Management, Pedestrian and Traffic Management (Where Works are Proposed in or from a Public Road Reserve**
The submission, as part of an application for a permit under Section 138 of the Roads Act 1993, of a Site Management, Pedestrian and Traffic Management Plan to Council's Manager Regulation and Enforcement for approval is required, prior to works commencing on the site. This plan shall address what measures will be implemented for the protection of adjoining properties, pedestrian safety and traffic management and shall be in compliance with the requirements of the latest versions of Australian Standard AS 1742 - Traffic Control Devices for Works on Roads and the TfNSW Traffic Control at Worksites Manual.

This plan is required to maintain public safety, minimise disruption to pedestrian and vehicular traffic within this locality and to protect services, during demolition, excavation and construction phases of the development. This plan shall include the following aspects:

a proposed ingress and egress points for vehicles to/from the construction site;
b proposed protection of pedestrians, adjacent to the construction site;

c proposed pedestrian management whilst vehicles are entering/exiting the construction site;

d proposed measures to be implemented for the protection of all roads and footpath areas surrounding the construction site from building activities, crossings by heavy equipment, plant and materials delivery and static load from cranes, concrete pumps and the like;

e proposed method of loading and unloading excavation machines, building materials formwork and the erection of any part of the structure within the site;

f proposed areas within the site to be used for the storage of excavated material, construction materials and waste containers during the construction period;

g proposed traffic control measures such as advanced warning signs, barricades, warning lights, after hours contact numbers etc are required to be displayed where works are in progress in any road reserve and shall be in accordance the latest versions of the TfNSW Specification - "Traffic Control at Work Sites Manual" and the Australian Standard AS 1742. – "Manual of Uniform Traffic Control Devices" and accompanying field handbooks (SAA HB81);

h proposed method of support of any excavation, adjacent to adjoining buildings or the road reserve. The proposed method of support is to be certified by a Registered Certifier in Civil Engineering; and

i proposed measures to be implemented, in order to ensure that no soil/excavated material is transported on wheels or tracks of vehicles or plant and deposited on the roadway.

The approved plan shall be implemented, prior to the commencement of any works upon the construction site.

Note: Any proposed works or placement of plant and equipment and/or materials within any road reserve will require the separate approval of Council, prior to the commencement of such works, pursuant to the provisions of the Roads Act 1993.

103 The arrangements and costs associated with any adjustment to a public utility service shall be borne by the applicant/developer. Any adjustment, deletion and/or creation of public utility easements associated with the approved works are the responsibility of the applicant/developer. The submission of documentary evidence to the Principal Certifier which confirms that satisfactory arrangements have been put in place regarding any adjustment to such services is required prior to any works commencing on site.

104 **Works in Road Reserve – Major Works**

Any occupation, use, disturbance or work on the footpath or road reserve for construction purposes, which is likely to cause an interruption to existing pedestrian and/or vehicular traffic flows requires Council consent under Section 138 of the Roads Act 1993.

The application form for Works within the Road Reserve – Section 138 Roads Act can be found on Council's website. The form outlines the requirements to be submitted with the application, to give approval to commence works under the roads act. It is advised that all applications are submitted and fees paid, five (5) days prior to the works within the road reserve are intended to commence. An application must be submitted must be obtained from Wollongong City Council's Development Engineering Team prior to any works commencing where it is proposed to carry out activities such as, but not limited to, the following:

a Digging or disruption to footpath/road reserve surface;
b Loading or unloading machinery/equipment/deliveries;
c Installation of a fence or hoarding;
d Stand mobile crane/plant/concrete pump/materials/waste storage containers;
e Pumping stormwater from the site to Council's stormwater drains;
f Installation of services, including water, sewer, gas, stormwater, telecommunications and power;
g Construction of new vehicular crossings or footpaths;
h Removal of street trees;
i Carrying out demolition works.

Restoration must be in accordance with the following requirements:

a All restorations are at the cost of the Applicant and must be undertaken in accordance with Council's standard document, "Specification for work within Council's Road reserve".
b Any existing damage within the immediate work area or caused as a result of the work/occupation, must also be restored with the final works.

105 **Geotechnical Requirements During Construction**
All works must be carried out in accordance with geotechnical reports submitted in support of the Development Application and Construction Certificate Application.

106 **Tree Protection**
Prior to commencement of any work on the site, including any demolition, all trees not approved for removal as part of this consent that may be subjected to impacts of this approved development must be protected in accordance with Section 4 of the Australian Standard Protection of Trees on Development Sites (AS 4970-2009).

Tree protection zones must be established prior to the commencement of any work associated with this approved development.

No excavation, construction activity, grade changes, storage of materials stockpiling, siting of works sheds, preparation of mixes or cleaning of tools is permitted within Tree Protection Zones.

During Demolition, Excavation or Construction

107 **Sydney Trains Requirement - Construction**
No metal ladders, tapes, and plant, machinery, or conductive material are to be used within 6 horizontal metres of any live electrical equipment. This applies to the train pantographs and catenary, contact and pull-off wires of the adjacent tracks, and to any aerial power supplies within or adjacent to the rail corridor.

108 **Sydney Trains Requirement - Construction**
Excess soil is not allowed to enter, be spread or stockpiled within the rail corridor (and its easements) and must be adequately managed/disposed of.

109 **Sydney Trains Requirement - Drainage**
The Applicant must ensure that extreme care is taken during works to prevent water from collecting on or near the railway corridor. Should water be allowed to pond adjacent to rail infrastructure facilities and service is interrupted, the Applicant shall be liable for any Sydney Trains expenditure involved with restoring or maintaining alternative services.

110 Rainwater from the roof must not be projected and/or falling into the rail corridor and must be piped down the face of the building which faces the rail corridor.

111 **WSUD Treatment Devices Installation**
WSUD report prepared by Jones and ATB Consulting Engineers to install filter cartridges within OSD to meet the stormwater quality objectives of WDCP Chapter E 15.

112 **Implementation Recommendations of Acoustic Report - Childcare Facility**
The development must be implemented in accordance with the recommendations of the acoustic report prepared by Acoustic, Vibration & Noise Pty Ltd dated 15 May 2020 and amended 28 August 2020 (ref: 2020-302 Childcare Centre Rev.1) must be implemented.

113 **Implementation Recommendations of Acoustic Report - Residential**
Implement building acoustic treatment as recommended in acoustic report prepared by Acoustic, Vibration & Noise Pty Ltd dated 23 October 2019 and amended 28 August 2020 to comply with the State Environmental Planning Policy (Infrastructure) 2007 Cl 87 (Rail).

The following LAeq levels are not to be exceeded:

- in any bedroom in the building 35dB(A) at any time between 10pm and 7am.
- anywhere else in the building (other than a garage, kitchen, bathroom or hallway): 40dB(A) at any time between 10pm and 7am.

All mechanical plants including garage doors must be satisfactorily attenuated to levels complying with noise emission criteria through appropriate location and (if necessary) standard acoustic treatments such as noise screens, enclosures, in-duct treatments (silencers/lined ducting) or similar as recommended by acoustic report in Section 7.0.

114 **Environmental Wind Control**

Implement all the mitigation measures stated in the Wind Assessment report prepared by Dimitri Isagaris dated 14 May 2020 to minimise adverse wind effects.

115 **Importation Soils to Site**

Prior to importing any soils to site for the purpose of back-filling also requires validation testing following the EPA (1995) *Sampling Design Guidelines* to confirm suitability for the proposed land use.

116 **Survey Report for Floor Levels**

A Survey Report must be submitted to the Principal Certifier verifying that each floor level accords with the floor levels as per the approved plans under this consent. The survey shall be undertaken after the formwork has been completed and prior to the pouring of concrete for each respective level of the building (if the building involves more than one level). All levels shall relate to Australian Height Datum.

117 **No Adverse Run-off Impacts on Adjoining Properties**

The design and construction of the development shall ensure there are no adverse effects to adjoining properties, as a result of flood or stormwater run-off. Attention must be paid to ensure adequate protection for buildings against the ingress of surface run-off.

Allowance must be made for surface run-off from adjoining properties. Any redirection or treatment of that run-off must not adversely affect any other property.

118 **Protection of Public Places**

If the work involved in the erection or demolition of a building involves the enclosure of a public place or is likely to cause pedestrian/vehicular traffic in a public place to be obstructed or rendered inconvenient, or have the potential for conflict between pedestrians and vehicles:

a A hoarding or fence must be erected between the work site and the public place;
b an awning is to be erected, sufficient to prevent any substance from, or in connection with, the work falling into the public place;
c the work site must be kept lit between sunset and sunrise if it is likely to be hazardous to persons in a public place;
d safe pedestrian access must be maintained at all times;
e any such hoarding, fence or awning is to be removed when the work has been completed.

119 **Copy of Consent to be in Possession of Person carrying out Tree Removal**

The Developer/Applicant must ensure that any person carrying out tree removal is in possession of this development consent and/or the approved landscape plan, in respect to the tree(s) which has/have been given approval to be removed in accordance with this consent.

120 **Waste Inventory Report**

A Waste Inventory report must be maintained on-site during demolition work. The waste inventory is a register of all materials and waste removed from the site during the demolition work. The register must record each load or movement of material and waste from the site and must include at a minimum the following information:

a The description of material (including identified hazardous material);
b an estimate of the quantity by volume and weight;
c the transporter and registration details of the relevant vehicle;
d the intended destination of the material;
e a copy of the National Association of Testing Authorities (NATA) accredited laboratory results for accumulated roof dust should be included with the Waste Inventory sent to Council.

121 **Restricted Hours of Construction Work**

The developer must not carry out any work, other than emergency procedures, to control dust or sediment laden runoff outside the normal working hours, namely, 7.00 am to 5.00 pm, Monday to Saturday, without the prior written consent of the Principal Certifier and Council. No work is permitted on public holidays or Sundays.

Allowable construction activity noise levels must be within the limits identified in the NSW EPA Interim Construction Noise Guidelines (ICNG) July 2009. ICNG are also applied for blasting, rock hammer and drilling, external plant and equipment.

https://www.environment.nsw.gov.au/resources/noise/09265cng.pdf

Any request to vary these hours shall be submitted to the **Council** in writing detailing:

a the variation in hours required (length of duration);
b the reason for that variation (scope of works);
c the type of work and machinery to be used;
d method of neighbour notification;
e supervisor contact number;
f any proposed measures required to mitigate the impacts of the works.

Note: The developer is advised that other legislation may control the activities for which Council has granted consent, including but not limited to, the Protection of the Environment Operations Act 1997.

122 **Site Management**

Stockpiles of sand, gravel, soil and the like must be located to ensure that the material:

a Does not spill onto the road pavement and
b is not placed in drainage lines or watercourses and cannot be washed into these areas.

123 Should during construction any waste material or construction material be accidentally or otherwise spilled, tracked or placed on the road or footpath area without the prior approval of Council's Works Division this shall be removed immediately. Evidence that any approval to place material on the road or road reserve shall be available for inspection by Council officers on site at any time.

124 **Dust Suppression Measures**

Activities occurring during the construction phase of the development must be carried out in a manner that will minimise the generation of dust.

125 **Asbestos – Removal, Handling and Disposal Measures/Requirements Asbestos Removal by a Licensed Asbestos Removalist**

The removal of any asbestos material must be carried out by a licensed asbestos removalist if over 10 square metres in area of non-friable asbestos, or if any type of friable asbestos in strict accordance with SafeWork NSW requirements (<http://www.safework.nsw.gov.au>).

126 **Asbestos Waste Collection, Transportation and Disposal**

Asbestos waste must be prepared, contained, transported and disposed of in accordance with SafeWork NSW and NSW Environment Protection Authority requirements. Asbestos waste must only be disposed of at a landfill site that can lawfully receive this this type of waste. A receipt must be retained and submitted to the Principal Certifier, and a copy submitted to Council (in the event that Council is not the Principal Certifier), prior to commencement of the construction works.

127 **Provision of Waste Receptacle**

The developer must provide an adequate receptacle to store all waste generated by the development, pending disposal. The receptacle must be regularly emptied and waste must not be allowed to lie or accumulate on the property other than in the receptacle. Consideration should be given to the source separation of recyclable and re-usable materials.

128 **BASIX**

All the commitments listed in each relevant BASIX Certificate for the development must be fulfilled in accordance with Clause 97A(2) of the Environmental Planning & Assessment Regulation 2000.

A relevant BASIX Certificate means:

- A BASIX Certificate that was applicable to the development when this development consent was granted (or, if the development consent is modified under section 4.55 of the Environmental Planning & Assessment Act 1979, a BASIX Certificate that is applicable to the development when this development consent is modified); or
- if a replacement BASIX Certificate accompanies any subsequent application for a construction certificate, the replacement BASIX Certificate; and
- BASIX Certificate has the meaning given to that term in the Environmental Planning & Assessment Regulation 2000.''

129 **Excess Excavated Material – Disposal**

Excess excavated material shall be classified according to the NSW Environment Protection Authority's Waste Classification Guidelines – Part 1: Classifying Waste (2014) prior to being transported from the site and shall be disposed of only at a location that may lawfully receive that waste.

130 **Provision of Taps/Irrigation System**

The provision of common taps and/or an irrigation system is required to guarantee that all landscape works are adequately watered. The location of common taps and/or irrigation system must be implemented in accordance with the approved Landscape Plan.

131 **Podium Planting**

All podium planting areas are to have a waterproofing membrane that can provide a minimum 10 year warranty on product. Protective boarding is to be installed to protect membrane from damage.

All podium planting areas to be provided with an adequate drainage system connected to the stormwater drainage system. The planter box is to be backfilled with free draining planter box soil mix.

If selected mulch is decorative pebbles/gravel, the maximum gravel pebble size is 10mm diameter

132 **Fences**

Any new fences constructed on the site and located in the flood plain shall be of a type that will not obstruct the free flow of floodwaters and not cause damage to surrounding land in the event of a flood.

Prior to the Issue of the Occupation Certificate

133 **Dilapidation Report Post Construction**

A Dilapidation Report detailing the current structural condition of adjoining buildings, infrastructure and roads following construction of the development shall be prepared and endorsed by a qualified structural engineer. The report shall be submitted to the satisfaction of the certifying authority prior to issue of the final Occupation Certificate.

A copy of the report is to be forwarded to Council and the owners of adjoining properties prior to the issue of the final Occupation Certificate.

134 **Acoustic Compliance Report to Comply with the ISEPP**

Prior to issue of an Occupation Certificate, a noise compliance report must be prepared by an acoustic consultant who is a member of the Australian Acoustic Society (AAS) or the Association of Australian Acoustic Consultants (AAAC) in relation to the building compliance with the NSW SEPP Infrastructure 2007 – Development Near Rail Corridors & Busy Roads –Interim Guidelines. A copy of the acoustic compliance report must be submitted to Principal Certifier and forward a copy to Council.

135 **Water Sensitive Urban Design Compliance Certificate**

The developer shall submit an engineering certificate stated that the recommended water sensitive urban design (WSUD) filtration system/treatment devices were installed as per the ATB Consulting Engineers WSUD report to comply with WDCP Chapter E 15 water quality objective.

136 **Childcare Operational Management**

Prior to issue of an Occupation Certificate, a childcare operation management plan considering the recommendations of the acoustic report referred to in condition 112 must be provided to the Principal Certifier and Council.

137 **Completion Report for Excavation Adjacent to a Public Road**

Prior to the issuing of the Occupation Certificate, a report must be provided to Wollongong City Council and Principal Certifier, prepared by a qualified Civil Engineer, NPER 3 accreditation with the Institute of Engineers Australia and experienced in structural design that:

a Certifies that all proposed retaining structures within the zone of influence of any Council assets including the road pavement, stormwater pipes and pits was constructed in accordance with the approved plans prepared in accordance to TfNSW Technical direction GTD 2012/001.

b Certifies that the monitoring of the site was carried out in accordance with the requirements of TfNSW Technical direction GTD 2012/001.

c Provides a post construction dilapidation survey.

138 **Drainage**

The developer must obtain a certificate of Hydraulic Compliance (using Council's M19 form) from a suitably qualified civil engineer, to confirm that all stormwater drainage and on-site detention works have been constructed in accordance with the approved plans. In addition, full works-as-executed plans, prepared and signed by a Registered Surveyor must be submitted. These plans and certification must satisfy all the stormwater requirements stated in Chapter E14 of the Wollongong DCP2009. This information must be submitted to the Principal Certifier prior to the issue of the final Occupation Certificate.

139 **Restriction on Use – On-site Detention System**

The applicant must create a restriction on use under the Conveyancing Act 1919 over the on-site detention system. The following terms must be included in an appropriate instrument created under the Conveyancing Act 1919 for approval of Council:

"The registered proprietor of the lot burdened must not make or permit or suffer the making of any alterations to any on-site stormwater detention system on the lot(s) burdened without the prior consent in writing of the authority benefited. The expression 'on-site stormwater detention system' shall include all ancillary gutters, pipes, drains, walls, kerbs, pits, grates, tanks, chambers, basins and surfaces designed to temporarily detain stormwater as well as all surfaces graded to direct stormwater to those structures.

Name of the authority having the power to release, vary or modify the restriction referred to is Wollongong City Council."

The instrument, showing the restriction, must be submitted to the Principal Certifier for endorsement prior to the issue of the Occupation Certificate and the use of the development.

140 **Retaining Wall Certification**

The submission of a certificate from a suitably qualified and experienced structural engineer or civil engineer to the Principal Certifier is required, prior to the issue of the Occupation Certificate or commencement of the use. This certification is required to verify the structural adequacy of the retaining walls and that the retaining walls have been constructed in accordance with plans approved by the Principal Certifier.

141 **BASIX**

An Occupation Certificate must not be issued unless accompanied by the BASIX Certificate applicable to the development. The Principal Certifier must not issue the final Occupation Certificate unless satisfied that selected commitments have been complied with as specified in the relevant BASIX Certificate. NOTE: Clause 154B of the Environmental Planning and Assessment Regulation 2000 provides for independent verification of compliance in relation to certain BASIX commitments.

142 **Positive Covenant – On-Site Detention Maintenance Schedule**

A positive covenant shall be created under the Conveyancing Act 1919, requiring the property owner(s) to undertake maintenance in accordance with the Construction Certificate approved On-Site Stormwater Detention System and Maintenance Schedule (application number to be referenced).

The instrument, showing the positive covenant must be submitted to the Principal Certifier for endorsement prior to the issue of the Occupation Certificate and the use of the development.

143 **On-Site Detention – Structural Certification**
The submission of a certificate from a suitably qualified practising civil and/or structural engineer to the Principal Certifier is required prior to the issue of the Occupation Certificate. This certification is required to verify the structural adequacy of the on-site detention facility and that the facility has been constructed in accordance with the approved Construction Certificate plans.

144 **Completion of Landscape Works**
The completion of the landscaping works as per the final approved Landscape Plan is required prior to the issue of Occupation Certificate.

145 **Structural Soundness Certification**
The submission of a report from a suitably qualified and experienced structural engineer to the Principal Certifier is required, prior to the issue of the Occupation Certificate and commencement of use. This report is required to verify that the development can withstand the forces of floodwater, debris and buoyancy up to and including the Probable Maximum Flood (PMF) plus freeboard being RL 14.0 metres AHD or greater.

146 **Flood Affectation Certification**
The submission of a report from a suitably qualified and experienced civil (hydrology) engineer to the Principal Certifier is required, prior to the issue of the Occupation Certificate and commencement of use. This report is required to certify that the 'as-constructed' development will not have any detrimental effects to adjoining properties or upon the subject land with respect to the loss of flood storage, changes in flood levels and alteration of flood conveyance, as a result of flooding or stormwater run-off.

147 **Drainage WAE**
The developer shall obtain written verification from a suitably qualified civil engineer, stating that all stormwater drainage and related work has been constructed in accordance with the approved Construction Certificate plans. In addition, full works-as-executed plans, prepared and signed by a Registered Surveyor shall be submitted. These plans shall include levels and location for all drainage structures and works, buildings (including floor levels), and finished ground and pavement surface levels. This information shall be submitted to the Principal Certifier prior to the issue of the Occupation Certificate.

148 **Works-As-Executed Plans - Works within Council Land or Road Reserve**
The submission of a Works-As-Executed (WAE) plan for approved works in Council land and or road reserve must be submitted to and approved by Council's Development Engineering Manager, prior to the release of the Occupation Certificate. The WAE plans shall be certified by a registered surveyor indicating that the survey is a true and accurate record of the works that have been constructed. The WAE dimensions and levels must also be shown in red on a copy of the approved Construction Certificate plans. The WAE plans must include:

a Final locations and levels for all works associated with the development within Council land.
b The plan(s) must include, but not be limited to, the requirements stated in Chapter E14 of the Wollongong DCP 2009.

149 **CCTV of Works in Existing Road**
All stormwater pipes within road reserves intended to be dedicated to Council must be inspected by CCTV. A copy of the CCTV inspection must be submitted to Councils Development Engineering Manager for assessment prior to the issue of the Occupation Certificate. Below standard work must either be replaced or repaired to Councils satisfaction prior to the issuing of the Occupation Certificate.

150 **Completion of Engineering Works**

The completion of all engineering works within Council's road reserve or other Council owned or controlled land in accordance with the conditions of this consent and any necessary work to make the construction effective must be to the satisfaction of Council's Manager Development Engineering. The total cost of all engineering works shall be fully borne by the applicant/developer and any damage to Council's assets shall be restored in a satisfactory manner, prior to the issue of the Occupation Certificate.

151 **Completion of Landscape Works on Council Owned or Controlled Land**

The Developer must complete all landscape works required within Council's road reserve, or other Council owned or controlled land, in accordance with the conditions of this consent. The total cost of all such landscape works shall be fully borne by the Developer and any damage to Council's assets shall be the subject of restoration works sufficient to restore the asset to its previous state and configuration previous to the commencement of works. Evidence that this requirement has been met must be satisfied prior to the issue of the Occupation Certificate.

152 **Arborist Verification - Street Tree Installation**

Prior to the issue of Occupation Certificate, the developer must supply certification in the form of a report, including photographic evidence, from an AQF Level 5 Arborist to the Principal Certifier and Wollongong City Council to verify:

- The tree stock complies with AS 2203:2018 Tree Stock for Landscape Use.
- The tree pits have been constructed and the trees installed in accordance with the requirements of the Wollongong City Council City Centre Public Domain Technical Manual and arboricultural best practice.

153 **On-Site Detention – Certificate of Hydraulic Compliance**

The developer shall obtain a certificate of Hydraulic Compliance (using Council's M19 form) from a suitably qualified civil engineer, to confirm that all stormwater drainage and on-site detention works have been constructed in accordance with the approved plans. The certificate must satisfy the requirements of hydraulic compliance as stated in the On-Site Stormwater Detention Code. This information must be submitted with the full works-as-executed plans to the Principal Certifier prior to the issue of the Subdivision Certificate.

154 **Sydney Trains Requirement - Noise and Vibration**

Prior to the issue of an Occupation Certificate (whether an interim or final Occupation Certificate), a report must be prepared and submitted to the Certifying Authority, Council and Sydney Trains certifying that the completed development meets the requirements of State Environmental Planning Policy (Infrastructure) 2007 and with the Department of Planning and Infrastructure's Development Assessment Guideline titled "Development Near Rail Corridors and Busy Roads - Interim Guidelines" as set down in the subject condition of this consent. Such a report must include external and internal noise levels to ensure that the external noise levels during the test are representative of the typical maximum levels that may occur at this development, and that internal noise levels meet the required dB(A) levels. Where it is found that internal noise levels are greater than the required dB(A) level, necessary corrective measures must be carried out to ensure that internal noise levels are compliant with the requirements of this consent.

155 **Sydney Trains Requirement - Construction**

The development shall have appropriate fencing fit for the future usage of the development site to prevent unauthorised access to the rail corridor by future occupants of the development. Prior to the issuing of an Occupation Certificate the Applicant shall liaise with Sydney Trains regarding the adequacy of any existing fencing along the rail corridor boundary or design and construction of new fencing. Details of the type of new fencing to be installed and the method of erection are to be to the satisfaction of Sydney Trains prior to the fencing work being undertaken.

156 **Sydney Trains Requirement - Documentation**

Prior to the issuing of an Occupation Certificate the Applicant is to submit as-built drawings to Sydney Trains and Council. The as-built drawings are to be endorsed by a Registered Surveyor confirming that there has been no encroachment into TAHE (Transport Asset Holding Entity)

property or easements, unless agreed to be TAHE. The Principal Certifier is not to issue the final Occupation Certificate until written confirmation has been received from Sydney Trains confirming that this condition has been satisfied.

157 **Sydney Trains Requirement - Inspections**

If required by Sydney Trains, prior to the issue of the Occupation Certificate, or at any time during the excavation and construction period deemed necessary by Sydney Trains, a joint inspection of the rail infrastructure and property in the vicinity of the project is to be carried out by representatives from Sydney Trains and the Applicant. These dilapidation surveys will establish the extent of any existing damage and enable any deterioration during construction to be observed. The Principal Certifier is not to issue the final Occupation Certificate until written confirmation has been received from Sydney Trains confirming that this condition has been satisfied.

158 **Sydney Trains Requirement - Maintenance**

Prior to the issuing of any Occupation Certificate the Applicant must provide to Sydney Trains for review and endorsement a plan of how future maintenance of the development facing the rail corridor is to be undertaken. The Principal Certifier is not to issue any Occupation Certificate until written confirmation has been received from Sydney Trains confirming that this condition has been satisfied. The maintenance plan must be implemented for the life of the approved development.

159 **Lot Consolidation**

The three lots described Lot 1 DP 1133557, Lot 2 DP 12995 and Lot 3 DP 12995 must be consolidated into a single parcel of land. Documentary evidence that the lot consolidation has been registered must be submitted to Council prior to issue of the Occupation Certificate.

Operational Phases of the Development / Use of the Site

160 **Street Tree Establishment Period - City Centre**

The Developer must comply with the terms of an approved landscape maintenance program for a minimum period of 12 months to ensure that all landscape works within Council's road reserve or Council owned or controlled land becomes well established by regular maintenance. The Street Tree Establishment Period shall commence from the issue of the Occupation Certificate.

The program must include the following elements: watering, weeding, litter removal, mulching, fertilising, tree guard and grate maintenance, and pest and disease control.

Details of the proposed program must be submitted with the Landscape Plan to the Principal Certifier for approval prior to release of the Construction Certificate.

161 **Acoustic Compliance Report**

Within six months of childcare centre operation or when capacity of centre reach to its maximum capacity (whichever happens first), the centre operator shall submit a childcare operational noise compliance report prepared by an acoustic consultant who is a member of the Australian Acoustic Society (AAS) or the Association of Australian Acoustic Consultants (AAAC) in relation to noise requirements stated in this consent. A copy of the acoustic compliance report must be submitted to Council's Environment Division.

162 **Childcare Centre Noise Restriction**

a **Residential Receptors**

i <u>Outdoor Play Area</u>

Up to two (2) hours (total) per day - The LAeq 15 minute noise level emitted from the outdoor play area shall not exceed the background noise level by more than 10 dB at the assessment location.

More than two (2) hours per day - The LAeq 15 minute noise level emitted from the outdoor play area shall not exceed the background noise level by more than 5 dB at the assessment location.

The assessment location is defined as the most affected point on or within any residential receiver property boundary. Examples of this location may be:

- 1.5 m above ground level;
- On a balcony at 1.5 m above floor level;
- Outside a window on the ground or higher floors.

ii <u>Indoor Play Area, Mechanical Plant, Pick up and Drop off</u>

The LAeq 15 minute noise level emitted from the cumulative noise impact of children playing indoors, mechanical plant and traffic on the site shall not exceed the background noise level by more than 5 dB at the assessment location.

b **Commercial Receptors**

The LAeq 15 minute noise level emitted from the Child Care Centre shall not exceed 65 dB(A) when assessed at the most affected point at or within any commercial property boundary.

c **Traffic Noise**

Traffic noise on local roads generated by vehicles associated with the childcare centre arriving and leaving the site (for example vehicles travelling on public roads) shall comply with LAeq 1 hour 50 dB(A) at the assessment location.

163 **Restricted Hours of Operation for Childcare Centre**

The hours of operation for the development shall be restricted to 6.30am to 6.30 pm Monday to Friday only.

Any alteration to the approved hours of operation will require separate Council approval.

Reasons

The reasons for the imposition of the conditions are:

1 To minimise any likely adverse environmental impact of the proposed development.

2 To ensure the protection of the amenity and character of land adjoining and in the locality.

3 To ensure the proposed development complies with the provisions of Environmental Planning Instruments and Council's Codes and Policies.

4 To ensure the development does not conflict with the public interest.

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Our ref IDAS1126880
Our file A-10021
Your ref DA-2019/1290

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Wollongong City Council
Locked Bag 8821
Wollongong NSW 2500

Attn: Rebecca Welsh

24 September 2020

Dear Sir/Madam

Re: Integrated Development Referral – General Terms of Approval
Dev Ref: DA-2019/1290
Description: 80mm submersible pump
Location: 16,18,20 Belmore Street Wollongong

I refer to your recent letter regarding an integrated Development Application (DA) proposed for the above location. Attached, please find the WaterNSW General Terms of Approval (GTA) for part of the proposed development requiring a Water Supply Work approval under the *Water Management Act 2000* (WM Act), as detailed in the subject DA.

Please note Council's statutory obligations under section 91A (3) of the *Environmental Planning and Assessment Act 1979* (EPA Act) which requires a consent, granted by a consent authority, to be consistent with the general terms of any approval proposed to be granted by the approval body. If the proposed development is approved by Council, WaterNSW requests these GTA be included (in their entirety) in Council's development consent. Please also note WaterNSW requests notification:

- if any plans or documents are amended and these amendments significantly change the proposed development or result in additional works or activities (i) in the bed of any river, lake or estuary; (ii) on the banks of any river lake or estuary, (iii) on land within 40 metres of the highest bank of a river lake or estuary; or (iv) any excavation which interferes with an aquifer.

WaterNSW will ascertain from the notification if the amended plans require review of or variation/s to the GTA. This requirement applies even if the amendment is part of Council's proposed consent conditions and do not appear in thiginal documentation.

- if Council receives an application under s96 of the EPA Act to modify the development consent and the modifications change the proposed work or activities described in the original DA.

- of any legal challenge to the consent.

As the proposed work or activity cannot commence before the applicant applies for and obtains an approval, WaterNSW recommends the following condition be included in the development consent:

The attached GTA issued by WaterNSW do not constitute an approval under the *Water Management Act 2000*. The development consent holder must apply to WaterNSW for a Water Supply Work approval **after consent** has been issued by Council **and before** the commencement of any work or activity.

A completed application form must be submitted to WaterNSW together with any required plans, documents, application fee, security deposit or bank guarantee (if required) and proof of Council's development consent. Finalisation of an approval can take up to eight (8) weeks from the date the application and all required supporting documentation is received.

Application forms are available from the WaterNSW website at:
www.waternsw.com.au > Customer Services > Applications & Fees.

WaterNSW requests that Council provide a copy of this letter to the development consent holder.

WaterNSW also requests a copy of the determination for this development application be provided by Council as required under section 91A (6) of the EPA Act.

Lastly, the following recommendations apply:

• An extraction limit will be determined by the Department of Planning, Industry and Environment following a further hydrogeological assessment and included on the conditions applied to the authorisation for the dewatering activity.

• Detailed information required to permit the hydrogeological assessment to be carried out is to be provided by the applicant otherwise the issue of the authorisation will be subject to delay.

• The authorisation will be issued for the purpose of temporary construction dewatering only and it does not constitute any form of approval for ongoing pumping of groundwater from basement levels after the building is issued an occupation certificate.

Yours sincerely

Richard Meares

for

Wayne Conners
Senior Water Regulation Officer
Water Regulatory Operations
WaterNSW

General Terms of Approval

for proposed development requiring approval under s89, 90 or 91 of the Water Management Act 2000

Reference Number:	IDAS1126880
Issue date of GTA:	24 September 2020
Type of Approval:	Water Supply Work
Description:	80mm submersible pump
Location of work/activity:	16,18,20 Belmore Street Wollongong
DA Number:	DA-2019/1290
LGA:	Wollongong City Council
Water Sharing Plan Area:	Greater Metropolitan Region Groundwater Sources

The GTA issued by WaterNSW do not constitute an approval under the *Water Management Act 2000*. The development consent holder must apply to WaterNSW for the relevant approval **after development consent** has been issued by Council **and before** the commencement of any work or activity.

Condition Number	Details
	Dewatering
GT0062-00001	Groundwater shall not be pumped or extracted for any purpose other than temporary construction dewatering at the site identified in the development application.
GT0063-00001	An authorisation under the relevant water legislation, such as a Water Access Licence (WAL), shall be obtained for the take of groundwater as part of the activity. For avoidance of doubt, these terms do not represent any authorisation for the take of groundwater, nor do they constitute the grant, or the indication of an intention to grant, any required WAL.
GT0064-00001	An authorisation under the relevant water legislation, such as an Approval, is also required for the works involved in extracting the groundwater. For avoidance of doubt, these terms do not represent any authorisation for the construction or installation of such works.
GT0065-00001	The relevant works must not be carried out, installed or operated until a specialist hydrogeological assessment has been completed by the Department of Planning Industry and Environment, which concludes that adequate arrangements are in force to ensure that no more than minimal harm will be done to any water source, or its dependent ecosystems, as a consequence of the construction or use of the proposed water management work.
GT0066-00001	The design and construction of the building must prevent any take of groundwater after the authorisation has lapsed by making any below-ground levels that may be impacted by any water table fully watertight for the anticipated life of the building. Waterproofing of below-ground levels must be sufficiently extensive to incorporate adequate provision for unforeseen high water table elevations to prevent potential future inundation.
GT0067-00001	Sufficient permanent drainage shall be provided beneath and around the outside of the watertight structure to ensure that natural groundwater flow is not impeded and: a. any groundwater mounding at the edge of the structure shall be at a level not greater than 10 % above the level to which the water table might naturally rise in the location immediately prior to the construction of the structure; and b. any elevated water table is more than 1.0 m below the natural ground surface existent at the location immediately prior to the construction of the structure; and c. where the habitable part of the structure (not being footings or foundations) is founded in bedrock or impermeable natural soil then the requirement to maintain groundwater flows beneath the structure is not applicable.

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GT0068-00001	Construction methods and material used in and for construction shall be designed to account for the likely range of salinity and pollutants which may be dissolved in groundwater, and shall not themselves cause pollution of the groundwater.
GT0069-00001	The Applicant is bound by the above terms and any other terms and conditions of the subsequent authorisation(s) required for the extraction of groundwater and the associated works under the relevant water legislation.
GT0070-00001	Measurement and monitoring arrangements to the satisfaction of WaterNSW are to be implemented. Weekly records of the volumes of all groundwater pumped and the quality of any water discharged are to be kept and a completion report provided after dewatering has ceased. Records of groundwater levels are to be kept and a summary showing daily or weekly levels in all monitoring bores provided in the completion report.
GT0071-00001	Following cessation of the dewatering operations and prior to the surrender of any associated authorisation, the applicant shall submit to WaterNSW the completion report which shall include: a. detail of the volume of water taken, the precise periods and location of water taken, the details of water level monitoring in all of the relevant bores; and b. The location and construction of groundwater extraction works that are decommissioned c. a water table map depicting the aquifer's settled groundwater condition and a comparison to the baseline conditions; and d. a detailed interpreted hydrogeological report identifying all actual resource and third party impacts, including an assessment of altered groundwater flows and an assessment of any subsidence or excessive settlement induced in nearby buildings and property and infrastructure.
GT0082-00001	The Department of Planning, Industry and Environment¿Water has determined that an authorisation to account for the temporary and transient impacts on groundwater systems associated with the proposed development for up to twelve months is required (to be issued by WaterNSW).
GT0084-00001	All required monitoring and reporting arrangements are to be designed to demonstrate the activity meets due diligence with respect to the Water Management Act 2000, the relevant water sharing plan(s) and the NSW Aquifer Interference Policy during construction and occupation phases of the building.
GT0085-00001	At the time of application for a Construction Certificate, the developer must be able to demonstrate to the consent authority that an authorisation for the pumping of groundwater for temporary construction dewatering has been obtained for the relevant groundwater source from which water is being taken.
GT0086-00001	At the time of application for an Occupation Certificate, the developer must be able to demonstrate to the consent authority that any unexpected groundwater pumping (resulting from poor construction methods, materials or inadequate waterproofing) has been authorised by a water access licence purchased for the relevant groundwater source from which water is being taken and must be able to demonstrate no impact on neighbouring sites or the integrity of the aquifer.
GT0088-00001	All monitoring data collected for the development and all monitoring and

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	management reports are to be provided in electronic format (tabulated and raw corrected data) to the Department of Planning, Industry and Environment¿Water.
GT0098-00001	A specialist Site Hydrogeology Report prepared and certified by a qualified, experienced and practising hydrogeologist must be provided to enable the Department of Planning Industry and Environment to carry out the assessment that includes, but is not limited to, the following: a. pre-development (existing) conditions in the form of a baseline monitoring record and comprehensive groundwater system description: i. site and neighbouring area stratigraphy, formation description, site groundwater levels, groundwater flow paths, site aquifer and aquitard (if relevant) hydraulic characterisation ii. groundwater quality and specific consideration of groundwater potentially affected by contamination from surrounding land uses or acid sulfate soils where they are found to exist iii. neighbouring users, groundwater dependent ecosystems, water bodies and other relevant features within a one kilometre radius of the subject site iv. the above site information must not date more than six months prior to the date of lodgement of the development application to account for climate trends and maintain the currency of groundwater data b. excavation phase (during dewatering), in the form of a comprehensive impact prediction description as well as a monitoring and management strategy: i. predicted impacts (extent, magnitude and duration) that are developed through numerical groundwater modelling ii. corresponding trigger levels (levels, quality, flow, volume and ground surface settlement) to manage any potential impacts iii. construction techniques and approaches that will be used to prevent any ongoing groundwater pumping at the same time as not causing any obstruction to natural groundwater behaviour iv. details of monitoring (groundwater levels, quality as required, rate of inflows, metered pumping) v. where a risk of ground settlement is identified due to the proposed dewatering, the proponent is to provide a program of monitoring, trigger and responses to Council (Note while it is the Proponent¿s responsibility to identify the risk, the Department recommends that Council enforce this requirement for all applications in all high risk areas which includes sand formations or other unconsolidated ground). c. post-excavation phase (during aboveground construction) in the form of a comprehensive post-dewatering impact review: i. collation of monitoring records, ii. analysis of actual impacts compared to predicted impacts, noting that some impacts may be delayed, iii. magnitude and extent of potential long-term effects from the completed structure iv. arrangements for reporting (measurements, technical analysis and future predictions) to the relevant authority d. occupational phase (after building completion) in the form of an annual groundwater monitoring plan: i. monthly monitoring to demonstrate the magnitude of groundwater pumping after construction, either through satisfactory photographic and documented evidence of no visible seepage into the building or, if inflows cannot be prevented, measured flow rates into all pump-out sumps ii. recording arrangements to document ongoing compliance, event-based notification of unexpected groundwater take to the relevant authority and annual reporting arrangements

SCHEDULE 1

The plans and associated documentation listed in this schedule are referred to in general terms of approval (GTA) issued by WaterNSW for integrated development associated with DA-2019/1290 as provided by Council:

- Morrow- Residential Development
- 16-18 Belmore Street
- Wollongong NSW
- Prepared for Blaq Projects