

Wollongong Local Planning Panel Assessment Report | 13 August 2020

WLPP No.	Item 2
DA No.	DA-2020/291
Proposal	Retail premises – Service Station
Property	70-74 Kurrajong Street, Windang and 217-221 Windang Road, Windang
Applicant	Isaac Property Development
Responsible Team	Development Assessment and Certification - City Centre Team (NM)

ASSESSMENT REPORT AND RECOMMENDATION

Executive Summary

Reason for consideration by Local Planning Panel - Determination

The proposal has been referred to Local Planning Panel for determination pursuant to clause 2.19(1)(a) of the Environmental Planning and Assessment Act 1979. The proposal is captured by Schedule 2, 2 of the Local Planning Panels Direction of 30 June 2020. The proposal is the subject of 10 or more unique submissions by way of objection.

Proposal

The proposal seeks consent for the construction and use of a service station including construction of an awning, retail outlet, parking, landscaping and signage.

Permissibility

Service Stations are permissible in the B2 Local Centre zone. All other aspects of the development including the retail outlet and signage are considered ancillary to the primary use of the site as a service station.

Consultation

The proposal was exhibited in accordance with Council's Community Participation Plan 2019, 12 unique submissions were received during this period.

The submissions received are discussed at Section 2.5 of this report.

Amended plans were received from the applicant on 1 July 2020. The submitted plans were not considered to be sufficiently different to warrant renotification.

The proposal has been referred to Council's Stormwater, Landscaping, Geotechnical, Traffic and Environment Officers, and externally to Transport for NSW (TfNSW). Satisfactory referrals have been received from each of the referral groups.

Main Issues

- Amenity impacts
- Remediation of Land

RECOMMENDATION

It is recommended DA-2020/291 be approved subject to the conditions contained in Attachment 6.

1 APPLICATION OVERVIEW

1.1 PLANNING CONTROLS

The following planning controls apply to the development

State Environmental Planning Policies

- SEPP No. 33 – Hazardous and Offensive Development
- SEPP No. 55 – Remediation of Land
- SEPP No. 64 – Advertising and Signage
- SEPP (Infrastructure) 2007
- SEPP (Coastal Management) 2018

Local Environmental Plans

- Wollongong Local Environmental Plan (WLEP) 2009

Development Control Plans

- Wollongong Development Control Plan (WDGP) 2009

Other Policies/Regulations

- Wollongong Community Participation Plan 2019
- Wollongong City Wide Development Contributions Plan 2019
- Protection of the Environment Operations (Underground Petroleum Storage Systems) Regulation 2019

1.2 DETAILED DESCRIPTION OF PROPOSAL

The proposal comprises the following:

Demolition and Construction

- Removal of existing vegetation
- Construction of service station including the following components
 - Fuel canopy over 6 fuel points (3 double sided bowsers)
 - Retail outlet/convenience store (300m² GFA) including service counter, retail floor space, office, storage, cool rooms and amenities including separate staff and public toilet facilities.
 - 18 vehicle parking spaces including 1 accessible space
 - Loading bay
 - 3 underground fuel tanks (combined capacity 210,000L)
 - Separate left-in/left-out vehicle access from Windang Road, pedestrian access from Windang Road and Kurrajong Street, removal of vehicle access from Kurrajong Street.
- Stormwater works
- Landscaping

Use

- 24/7 operation, with between 2-3 staff on site
- Operation of retail outlet/convenience store – no cooking on site apart from warming foods which are cooked offsite

- 1-3 fuel deliveries per week
- 1-2 dry goods deliveries per week
- Daily fresh food delivery
- Waste collection including the collection of 2 bulky bins by private contractor

Signage

- 8 business identification signs as follows:
 - Illuminated pylon fuel price sign – 9m by 3.45m by 0.4m
 - 2 x illuminated signs on fuel canopy (United 24) 7m by 0.9m
 - Illuminated fascia sign above retail outlet entrance (QuickSTOP) – 3.5m by 0.9m
 - Illuminated fascia sign (Pie Face) – 5.4m by 0.5m
 - 2 x Flush Wall Signs (Pie Face) – 1.5m by 1.5m
 - Shopfront graphic located below the shopfront glazing (We Bake Fresh Daily) on North Elevation – 1.21m high

1.3 BACKGROUND

Application	Description	Decision	Date
DA-2020/291	Retail premises - service station	Under Assessment	
DA-2007/1916	Construction of a three (3) storey commercial and retail building with parking for 42 vehicles	Approved	16 October 2008
DA-1996/94	Replace existing canopies	Approved	8 March 1996
DA-1994/2265	Alterations and additions to service station	Approved	17 March 1995
DA-1994/415	Replace canopies and dispensing pumps, modify sales room interior	Approved	5 December 1994
DA-1990/749	New canopy to replace old	Approved	13 December 1990
DA-1988/491	57 advertising signs (several sites)	Approved	9 August 1988
DA-1981/731	On lots 4-6 and 24-26 - Garage for overnight storage of customers vehicles	Approved	17 July 1981

Additional Information Request

Following a preliminary assessment of the proposal, an additional information letter was sent to the applicant on 19 May 2020. The letter detailed concerns regarding landscaping, site contamination, operational management, signage, overshadowing, pedestrian access, lot consolidation and lot consolidation. On 30 June 2020 additional information was lodged to address the concerns raised. Amendments were made to the proposal, additional details were provided, and justification for certain non-compliances were provided as part of this submission as discussed within this report.

On 3 August 2020, further additional information and amendments were provided following concerns raised relating to the Arboricultural Assessment, signage and noise/plan of management. The amended plans deleted the several signs, and provided additional architectural elements, amended details in the Plan of Management relating to deliveries and timing, and provided an Arborist Report in relation to trees on neighbouring sites

The amended plans and additional information generally address the concerns raised during the assessment.

Prelodgement Meeting

A prelodgement meeting was held for the proposal on 24 July 2019 (PL-2019/95).

The proposal discussed at the meeting is relatively similar to this development application. The main issues outlined in the meeting related to vehicle access from Kurrajong Street, impacts on surrounding residential dwellings, flood mitigation and built form. The information lodged as part of this application are generally consistent with the advice and recommendations provided at the prelodgement meeting.

Customer service actions

There are no outstanding customer service requests of relevance to the development.

1.4 SITE DESCRIPTION

The site is located at 70-74 Kurrajong Street and 217-221 Windang Road, Windang and the title reference is Lots 24-26 DP 17906 and Lots 3-5 Sec G DP 19008.

The site is rectangular in shape with an area of approximately 2438m². The site is flat. The has a direct road frontage to Windang Road (a State Classified road with 3 lanes in either direction and a central verge) to the west and Kurrajong Street (a local residential street) to the east.

The site is currently vacant and free of significant vegetation, however, has previously held a service station, which Council's historical satellite imagery suggests was demolished between 1993 and 2001. The site has been vacant since then.

The site is within the Windang Local Centre and surrounded by a mixture of land uses including residential, recreational and commercial land uses. The sites to immediately adjoining the site include recreational and residential land to the north, residential to the east across Kurrajong Street, residential and commercial to the south and residential and commercial to the west across Windang Road.

Site photos are contained in Attachment 2.

Property constraints

Council records identify the land as being impacted by the following constraints:

- Contamination: The site may be contaminated due to the previous land use as a service station.
- Class 3 Acid Sulfate soils
- Flooding: The site is identified as being located within a medium flood risk precinct. Council's Stormwater engineer has provided conditions of consent.

There are no restrictions on the title.

The following table summarises the concerns raised in the submissions received. The number in the frequency column is the number of submissions which mentioned the same issue.

Table 1: Submissions

	Concern	Frequency	Comment
1	<p><u>24/7 Trading and operation</u></p> <p>24/7 business and delivery times may lead to noise and amenity impacts as well as undesirable behaviour such as graffiti, violence etc</p> <p>A more substantial noise barrier should be provided to the eastern boundary.</p>	10	<p>The proposed development may result in amenity impact due to 24/7 trading. However, the proposal has been designed so that any potential source of noise, such as the fuel delivery location, bowzers and retail entrance are located away from the residential land uses. A Plan of Management (POM) which details appropriate management practices has been provided and will detail how the impact on surrounding land uses are to be managed.</p> <p>Suitable conditions of consent are recommended, including compliance with the POM, and limiting operating hours if Council receives complaints relating to unreasonable noise as a result of the late-night operation.</p>
2	<p><u>Overshadowing</u></p> <p>Overshadowing of neighbouring residential to the north caused by 4.2m acoustic wall/height and setback of building</p>	5	<p>The proposal has been amended to provide a standard height 1.8m fence to the northern boundary, and an increased setback of 1.5m to the 4.2m high acoustic wall.</p> <p>The setback and height of the wall is what could ordinarily be expected to a neighbouring residential development. Furthermore, 3D shadow modelling does not indicate the proposal will have a significant increased overshadowing impact during the winter solstice compared to the current situation, due to the narrow width of the rear outdoor area of the neighbouring multi dwelling housing.</p>
3	<p><u>Viability and lack of community benefit</u></p> <p>There is no need for the type of business being offered in this area, considering the existing retail and service stations</p>	5	<p>Service station is a permissible land use within the zone, and it is considered a reasonable land use considering the location on the main road, in proximity to the local centre. There are no other south-bound service stations located within proximity of the site. The retail component is 300m² which is approximately 12% of the total site area.</p>

4	<u>Light and Odour pollution</u> Light and odour pollution to neighbouring residents including exposure to harmful petrol fumes	5	Suitable conditions have been recommended by Council's Environment Officer relating to vapour recovery, odour protection and environmental impacts.
5	<u>Process</u> Some community members are unable to submit concerns, and it is difficult for the community to meet and discuss issues during the current Covid-19 restrictions	4	Letters were sent to individual dwellings as shown on the notification map on Figure 2, with all owners and occupants provided with the opportunity to respond to the development individually. While the opportunity for face to face meetings is limited due to Covid-19 restrictions, this did not impact the ability for the required notification process to take place.
6	<u>Loss of value of neighbouring properties</u>	2	House values are determined by a variety of factors. The value of property is not a consideration in the assessment of development applications.
7	<u>Stormwater Management</u> The Stormwater Management is insufficient, including stormwater quality management, location of the OSD	2	The application was referred to Council's Stormwater Engineer who reviewed the application and raised no concerns subject to the recommended conditions of consent.
8	<u>Risk Management</u> Insufficient Risk Management Plan in place for potential catastrophic events	1	There are several requirements relating to the management of service stations which are enforced by NSW EPA, NSW Fair Trading, Worksafe NSW etc. The operator of the service station is legally required to comply with these provisions.
9	<u>Increased Traffic</u> Increased traffic on Windang Road from vehicles entering and exiting	1	The proposed service station is not expected to result in increased traffic on Windang Road. The service proposes a left-in and left-out entry and exit arrangement, which is unlikely to have a significant impact on traffic. Council's Traffic Engineer has no raised concern with the proposal subject to recommended conditions of consent. TFNSW has provided concurrence for the proposal.
10	<u>Visual</u> Visual impacts of structure from neighbouring sites	1	The proposed development has a typical appearance for a service station. A condition is proposed to ensure outdoor lighting, including from signage does not have an unreasonable impact on surrounding land uses.

11	<u>Construction</u> Contaminated dust during the construction phase	1	Suitable conditions are recommended to control any dust or other pollutants during the construction of the development.
12	<u>Tree Removal</u>	1	The site was recently cleared, and there are no significant trees or vegetation located on the site. An arborist report was provided in relation to trees on neighbouring sites. Suitable landscaping conditions have been recommended by Council's Landscape Officer.

1.6 CONSULTATION

1.6.1 INTERNAL CONSULTATION

Council's Geotechnical, Environment, Traffic, Stormwater and Landscaping officers have reviewed the application and provided satisfactory referral comments subject to conditions.

1.6.2 EXTERNAL CONSULTATION

Transport for NSW

The application was referred to TfNSW for concurrence in accordance with the requirements of Clause 104 of the Infrastructure SEPP. TfNSW provided concurrence on 12 May 2020 subject to recommended conditions of consent. TfNSW referral advice and conditions is contained within Attachment 5, which is required to form part of any consent if granted.

2 PROTECTION OF THE ENVIRONMENT OPERATIONS (UNDERGROUND PETROLEUM STORAGE SYSTEMS) REGULATION 2019

This Regulation applies to the proposed storage system.

Storage system means a system of tanks, pipes, valves and other equipment that is designed—

(a) to contain petroleum, or

(b) to control the passage of petroleum into, out of, through or within the system,

and includes any structure through which petroleum routinely passes from one part of the system to another.

Council's Environment Officer has provided recommended conditions regarding compliance with the installation and commissioning of the storage system in accordance with this regulation.

3 ENVIRONMENTAL PLANNING AND ASSESSMENT ACT 1979

3.1 SECTION 4.15(1)(A)(1) ANY ENVIRONMENTAL PLANNING INSTRUMENT

3.1.1 STATE ENVIRONMENTAL PLANNING POLICY NO. 33 – HAZARDOUS AND OFFENSIVE DEVELOPMENT

A document titled SEPP 33 Risk Screening Documentation dated March 2020, prepared by Hazkem Pty Ltd was lodged with the application.

Council's Environment Officer has reviewed the application, including the risk screening documentation, and has raise no concern subject to suitable conditions of consent, which are included within the recommended conditions of consent. Additional service station compliance requirements are enforced by various State Government Agencies including EPA, Fair Trading, Work

Safe etc. The operator of the service station is legally required to comply with these various provisions, which remain unaffected by the development application.

3.1.2 STATE ENVIRONMENTAL PLANNING POLICY NO. 55 – REMEDIATION OF LAND

A review of Council's records and historical satellite imagery of the site indicates the site may be potentially contaminated. The site has previously been used as a service station, which was demolished between 1993 and 2001. The site has been free of any development from 2001 to the present. A Review of Contamination, prepared by Senversa Pty Ltd was lodged with the application, and reviewed by Council's Environment Officer.

The site is considered to be suitable for the proposed development, subject to the conditions as recommended by Council's Environment Officer.

3.1.3 STATE ENVIRONMENTAL PLANNING POLICY NO. 64 – ADVERTISING AND SIGNAGE

The application proposed 8 business identification signs as follows:

- Illuminated pylon fuel price sign – 9m by 3.45m by 0.4m
- 2 x illuminated signs on fuel canopy (United 24) 7m by 0.9m
- Illuminated fascia sign above retail outlet entrance (QuickSTOP) – 3.5m by 0.9m
- Illuminated fascia sign (Pie Face) – 5.4m by 0.5m
- 2 x Flush Wall Signs (Pie Face) – 1.5m by 1.5m
- Shopfront graphic located below the shopfront glazing (We Bake Fresh Daily) – 1.21m high

6 Signage to which this policy applies

This policy applies to all signage that can be displayed with development consent and is visible from any public place. The signage is considered to be satisfactory with regard to the aims of this policy and the assessment criteria in Schedule 1 as per Clause 8 below

An assessment with the requirements of Schedule 1 is contained below.

Objectives/controls	Comment	✓/✗
1 Character of the area		
<i>Is the proposal compatible with the existing or desired future character of the area or locality in which it is proposed to be located?</i>	The proposed signage is typical for a service station and is not considered likely to have a significant impact on the surrounding area considering the land zoning.	✓
<i>Is the proposal consistent with a particular theme for outdoor advertising in the area or locality?</i>		
2 Special areas		
<i>Does the proposal detract from the amenity or visual quality of any environmentally sensitive areas, heritage areas, natural or other conservation areas, open space areas, waterways, rural landscapes or residential areas?</i>	There are no environmentally sensitive or heritage areas the proposal may impact.	✓
3 Views and vistas		
<i>Does the proposal obscure or compromise important views?</i>	The proposal does not compromise the quality of views, vistas or viewing rights of other advertisers.	✓
<i>Does the proposal dominate the skyline and reduce the quality of vistas?</i>		
<i>Does the proposal respect the viewing rights of</i>		

Objectives/controls	Comment	✓/✗
other advertisers?		
4 Streetscape, setting or landscape		
Is the scale, proportion and form of the proposal appropriate for the streetscape, setting or landscape?	The proposal is consistent with the streetscape, setting and landscape regarding scale and visual interest.	✓
Does the proposal contribute to the visual interest of the streetscape, setting or landscape?	The proposal does not protrude above buildings, structures or any tree canopies in the locality.	
Does the proposal reduce clutter by rationalising and simplifying existing advertising?	The pylon sign is typical of a service station and considered acceptable.	
Does the proposal screen unsightliness?		
Does the proposal protrude above buildings, structures or tree canopies in the area or locality?		
Does the proposal require ongoing vegetation management?		
5 Site and building		
Is the proposal compatible with the scale, proportion and other characteristics of the site or building, or both, on which the proposed signage is to be located?	The proposal is compatible with site and building and is not out of scale or proportion with respect of any important features of the site.	✓
Does the proposal respect important features of the site or building, or both?		
Does the proposal show innovation and imagination in its relationship to the site or building, or both?		
6 Associated devices and logos with advertisements and advertising structures		
Have any safety devices, platforms, lighting devices or logos been designed as an integral part of the signage or structure on which it is to be displayed?	Five of the signs are illuminated. A condition is recommended to ensure light emitting from the signage is consistent with the relevant Australian Standards.	Y
7 Illumination		
Would illumination result in unacceptable glare?	The signage is considered acceptable regarding illumination.	✓
Would illumination affect safety for pedestrians, vehicles or aircraft?	Illumination is not expected to have a significant impact on pedestrian or vehicle safety.	
Would illumination detract from the amenity of any residence or other form of accommodation?	The site is surrounded by some residential land uses, however, as the site is within a business zone, illumination of signage is considered acceptable and unlikely to have a significant impact on the surrounding area.	
Can the intensity of the illumination be adjusted, if necessary?		
Is the illumination subject to a curfew?	The proposed development is open	

Objectives/controls	Comment	✓/x
	<p>24/7 and signage will therefore not be subject to a curfew. A condition will be included to ensure signage is only illuminated during operating hours in the event the service station does not operate 24/7.</p> <p>A condition is proposed to ensure illumination is adjusted if it becomes a nuisance.</p>	
8 Safety		
<p><i>Would the proposal reduce the safety for any public road?</i></p> <p><i>Would the proposal reduce the safety for pedestrians or bicyclists?</i></p> <p><i>Would the proposal reduce the safety for pedestrians, particularly children, by obscuring sightlines from public areas?</i></p>	<p>The proposal will not reduce the safety for road users, pedestrians or bicyclists. The proposal will not obscure sightlines from public areas.</p>	✓

Part 3 Advertisements

The requirements of Part 3 of the SEPP applies to all signage except for business identification signs, building identification signs, exempt signage and signage on vehicles.

All proposed signs contain the business name (being United, Quickstop or Pie Face) and do not contain any additional advertising of products or businesses not operating on the site and are therefore business identification signs. The requirements of Part 3 do not apply to the signs proposed as part of this application.

A condition is proposed to ensure no third party advertising signs will be displayed without prior approval being granted.

3.1.4 STATE ENVIRONMENTAL PLANNING POLICY (INFRASTRUCTURE) 2007

The site has a direct frontage to a classified road, being Windang Road.

Division 17 Roads and Traffic

101 Development with frontage to classified road

(a) where practicable and safe, vehicular access to the land is provided by a road other than a classified road

In the circumstances of the proposed use, it is logical and safe for vehicle access to be provided from the classified road. Accessing the site from the rear, being a local residential road would result in amenity impacts on surrounding residents due to the expected frequency of vehicle access and the hours of operation. Vehicle access can be provided from the classified road safely and efficiently.

(b) the safety, efficiency and ongoing operation of the classified road will not be adversely affected by the development as a result of

(i) the design of the vehicular access to the land

The proposed vehicular access is typical for a service station. It involves a left in and left out access only and is unlikely to result in queuing into the

classified road. Safety, efficiency, and ongoing operation of the road is unlikely to be significantly affected.

(ii) the emission of smoke or dust from the development

The development is not of a type that is likely to result in the emission of smoke or dust.

(iii) the nature, volume or frequency of vehicles using the classified road to gain access to the land

The proposed service station is of a typical design and in a suitable location. Vehicles are not expected to queue onto the classified road, and access will be for south bound travellers only, in a left in, left out arrangement, which will minimise impacts on traffic. The proposal is not expected to have a significant impact.

(c) the development is of a type that is not sensitive to traffic noise or vehicle emissions, or is appropriately located and designed, or includes measures, to ameliorate potential traffic noise or vehicle emissions within the site of the development arising from the adjacent classified road

The use of the classified road is not expected to result in any noise or emissions which have a significant negative impact on the operation of the proposed service station.

104 *Traffic-generating development*

The proposed development is specified in Schedule 3, as it is a service station with direct access from a classified road and is therefore subject to provisions of this clause.

The following considerations are required prior to granting consent to the development.

(a) give written notice of the application to TFNSW within 7 days after the application is made

TFNSW was formally referred the development for review and comment.

(b) take into consideration

(i) any submission that TFNSW provides in response to the notice within 21 days after the notice was given

Comments were received from TFNSW on 12 May 2020. The referral advice and recommended conditions of consent form part of the recommended conditions of consent and are included at Attachment 5.

(ii) the accessibility of the site concerned, including

(A) the efficiency of movement of people and freight to and from the site and the extent of multi-purpose trips

The site includes separate entry and exit, including left in and left out intersections only. The proposed use is not expected to have a significant impact on the efficiency of movement along the classified road.

(B) the potential to minimise the need for travel by car and to maximise movement of freight in containers or bulk freight by rail, and

The nature of the use does not result in any potential for car use to be minimised.

(iii) any potential traffic safety, road congestion or parking implications of the development

The development includes parking and is unlikely to impact traffic safety or road congestion.

3.1.5 STATE ENVIRONMENTAL PLANNING POLICY (COASTAL MANAGEMENT) 2018

Part 2 Development controls for coastal management areas

13 Development on land within the coastal environment area

The proposed development is unlikely to have an adverse impact the integrity and resilience of the coastal environment, natural coastal processes, water quality, marine flora and fauna, public open space, places of cultural or Aboriginal heritage or the surf zone.

The proposed development is considered appropriate regarding the permissible land use, and suitably separated from the coast.

15 Development in coastal zone generally—development not to increase risk of coastal hazards

The development is minor in nature and unlikely to increase the risk of coastal hazards.

16 Development in coastal zone generally—coastal management programs to be considered

Wollongong Coastal Zone Management Plan

A review of Council's Coastal Zone Management Plan mapping identifies the site as not impacted by coastal inundation, coastal geotechnical risk or reduced foundation capacity at the 2010, 2050 and 2100 timeline.

Minimal adverse impact on the coastal environment is anticipated as a result of the proposed development. Minimal impacts on the development are expected as a result of coastal processes.

The proposal is therefore considered satisfactory regarding the aims, objectives and matters outlined for consideration in the SEPP.

3.1.6 WOLLONGONG LOCAL ENVIRONMENTAL PLAN 2009

Part 1 Preliminary

The proposal is classified as a service station as defined below.

Clause 1.4 Definitions

service station means a building or place used for the sale by retail of fuels and lubricants for motor vehicles, whether or not the building or place is also used for any one or more of the following—

- (a) the ancillary sale by retail of spare parts and accessories for motor vehicles,
- (b) the cleaning of motor vehicles,
- (c) installation of accessories,
- (d) inspecting, repairing and servicing of motor vehicles (other than body building, panel beating, spray painting, or chassis restoration),
- (e) the ancillary retail selling or hiring of general merchandise or services or both.

The retail portion is consistent with parts (a) and (e) above. The convenience store does not propose the preparation of food, and the sale of food items which are prepared offsite and warmed on site is consistent with the service station use.

The application also proposes business identification signage as defined below:

business identification sign means a sign—

(a) that indicates—

(i) the name of the person or business, and

(ii) the nature of the business carried on by the person at the premises or place at which the sign is displayed, and

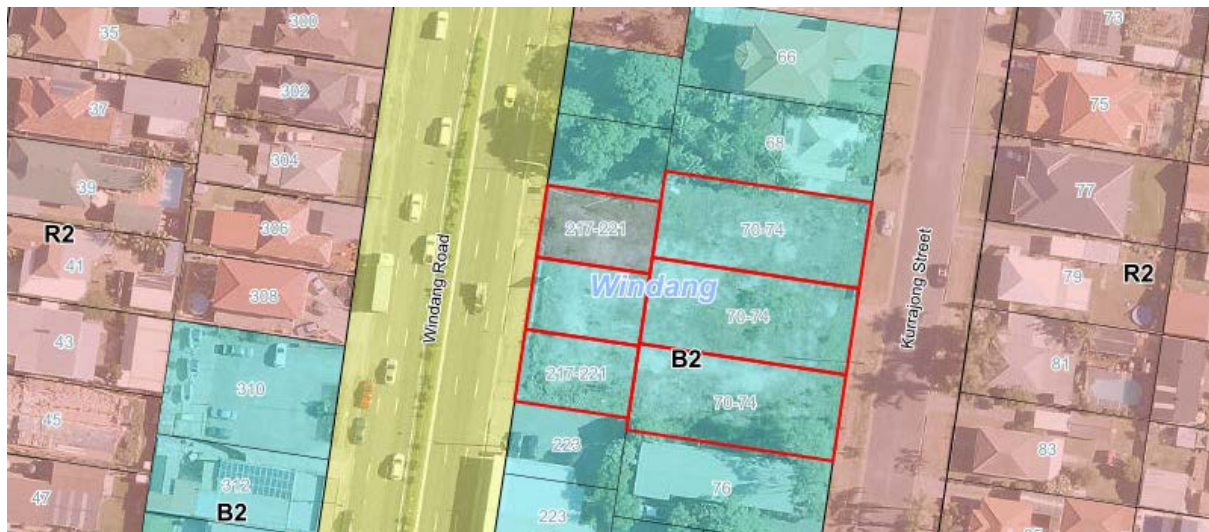
(b) that may include the address of the premises or place and a logo or other symbol that identifies the business,

but that does not contain any advertising relating to a person who does not carry on business at the premises or place.

Part 2 Permitted or prohibited development

Clause 2.2 – zoning of land to which Plan applies

The zoning map identifies the land as being zoned B2 Local Centre.



*(indoor); Recreation facilities (outdoor); Registered clubs; Residential flat buildings; Respite day care centres; Restricted premises; Roads; Self-storage units; Seniors housing; **Service stations**; Sex services premises; Shop top housing; Tank-based aquaculture; Tourist and visitor accommodation; Veterinary hospitals; Wholesale supplies*

The proposed **service station** is permissible in the zone. The retail outlet (commercial premises) and the business identification signage is considered ancillary to the primary use of the site as a service station, however is also permissible in the zone in its own right.

Part 4 Principal development standards

Clause 4.3 Height of buildings

In accordance with this Clause, the height of a building is not to exceed the maximum height shown on the Height of Buildings Map, being 9m. The proposed service station building has a maximum height of 4m, and 5.95m to the top of the fuel canopy. The fuel price sign has a maximum height of 9m, which is consistent with this Clause.

Clause 4.4 Floor space ratio

Maximum FSR permitted for the zone: 0.75:1

Site area: 2,438m²

GFA: 348.6m²

FSR: $348.6\text{m}^2 / 2438\text{m}^2 = 0.14:1$

Part 7 Local provisions – general

Clause 7.1 Public utility infrastructure

The site can be serviced appropriately.

Clause 7.3 Flood planning area

The site is within a medium flood risk area. The application was referred to Council's Stormwater Engineer who raised no concern subject to the recommended conditions of consent.

Clause 7.5 Acid Sulfate Soils

The site is mapped as containing Class 3 Acid Sulfate Soils. The application was referred to Council's Environment Officer and was considered acceptable subject to the recommended conditions of consent.

Clause 7.6 Earthworks

The proposal comprises some earthworks associated with the burying of the fuel storage and general site preparation. The earthworks are not expected to have a detrimental impact on environmental functions and processes, neighbouring uses or heritage items and features surrounding land.

Clause 7.13 Certain land within business zones

The proposed development addresses the primary street frontage and provides an active interface with public land.

3.2 SECTION 4.15(1)(A)(II) ANY PROPOSED INSTRUMENT

No proposed instruments apply to this development.

3.3 SECTION 4.15(1)(A)(III) ANY DEVELOPMENT CONTROL PLAN

3.3.1 WOLLONGONG DEVELOPMENT CONTROL PLAN 2009

A detailed discussion in accordance with the WDCP 2009 is contained in Attachment 4. The proposal is generally satisfactory regarding the controls and objectives of the DCP. Non-compliances in relation to signage are considered to be suitably justified.

3.3.2 WOLLONGONG CITY WIDE DEVELOPMENT CONTRIBUTIONS PLAN 2019

The estimated cost of works is \$1,875,000 and a levy of 1% is applicable under this plan. A condition can be included on the consent requiring the payment of Development Contributions prior to the issue of the Construction Certificate.

3.4 SECTION 4.15(1)(A)(IIIA) ANY PLANNING AGREEMENT THAT HAS BEEN ENTERED INTO UNDER SECTION 7.4, OR ANY DRAFT PLANNING AGREEMENT THAT A DEVELOPER HAS OFFERED TO ENTER INTO UNDER SECTION 7.4

There are no planning agreements entered into or any draft agreement offered to enter into under S7.4 which affect the development.

3.5 SECTION 4.15(A)(IV) THE REGULATIONS (TO THE EXTENT THAT THEY PRESCRIBE MATTERS FOR THE PURPOSES OF THIS PARAGRAPH)

92 What additional matters must a consent authority take into consideration in determining a development application?

NA – demolition is not proposed.

93 Fire safety and other considerations

NA

94 Consent authority may require buildings to be upgraded

NA

3.6 SECTION 4.15(1)(B) THE LIKELY IMPACTS OF DEVELOPMENT

Access, Transport and Traffic:

The proposal includes vehicle access from Windang Road. TfNSW has provided concurrence. The proposed vehicle access and egress is not expected to have a significant impact on traffic, transport and access.

Public Domain:

Suitable landscaping is proposed on the site, and the proposal is unlikely to have a significant impact on the public domain. A footpath exists at the front of the site which is proposed to be maintained.

Utilities:

The proposal is not envisaged to place an unreasonable demand on utilities supply. Existing utilities are adequate to service the proposal.

Heritage:

No heritage items will be impacted by the proposal.

Other land resources:

The proposal is considered to contribute to orderly development of the site and is not envisaged to impact upon any valuable land resources.

Water:

The site is presently serviced by Sydney Water, which can be readily extended to meet the requirements of the proposed development. The proposal is not envisaged to have unreasonable water consumption.

Soils:

There are no significant earthworks and no concern is raised regarding soil management. Suitable land remediation conditions have been recommended by Council's Environment Officer.

Air and Microclimate:

The proposal is not expected to have any negative impact on air or microclimate.

Flora and Fauna:

No substantial vegetation is located on the site. Suitable landscaping conditions are recommended.

Waste:

A condition is recommended that an appropriate receptacle be in place for any waste generated during the construction.

Energy:

The proposal is not envisaged to have unreasonable energy consumption.

Noise and vibration:

A condition is recommended that nuisance be minimised during any construction, demolition, or works.

The 24/7 operation of the premises is typical for a service station, particularly on a main road. A condition of consent is recommended which will allow Council to reduce the operating hours if the operation of the premises results in unreasonable impacts on the surrounding residential land uses.

Natural hazards:

Council records list the site as flood affected, and the site is within the Coastal Zone. Assessments in accordance with the Coastal Management SEPP have been carried out and no concerns are raised. The application was referred to Council's Stormwater Engineer who raised no concerns subject to the recommended conditions of consent.

Technological hazards:

Council records list the site as contaminated land affected. The application was referred to Council's Environment Officer, who recommended suitable conditions of consent.

Council records list the site as acid sulphate soil affected, however no concerns are raised.

Safety, Security and Crime Prevention:

This application is consistent with the type of development expected within the local centre and along a main road. The proposal is consistent with the CPTED principles and is unlikely to result in increased opportunities for anti-social behaviour subject to the recommended conditions of consent.

Social Impact:

The application is not expected to result in any significant social impacts on surrounding residents or businesses.

Economic Impact:

The proposal is not expected to create any negative economic impact.

Site Design and Internal Design:

The application does not result in any departures from development standards and is generally consistent with Council's Development Control Plan. A condition is proposed that all works are to be in compliance with the Building Code of Australia.

Construction:

Conditions of consent are recommended relating to construction impacts such as hours of work, erosion and sedimentation controls, works in the road reserve, excavation, demolition and use of any crane, hoist, plant or scaffolding.

Cumulative Impacts:

The proposal is not expected to have any negative cumulative impacts.

3.7 SECTION 4.15(1)(C) THE SUITABILITY OF THE SITE FOR THE DEVELOPMENT

Does the proposal fit in the locality?

The proposal is considered appropriate regarding the zoning of the site and is not expected to have any negative impacts on the amenity of the locality or adjoining developments.

Are the site attributes conducive to development?

There are no site constraints that would prevent the proposal.

3.8 SECTION 4.15(1)(D) ANY SUBMISSIONS MADE IN ACCORDANCE WITH THIS ACT OR THE REGULATIONS

See Section 1.5 of this report.

3.9 SECTION 4.15(1)(E) THE PUBLIC INTEREST

The application is not expected to have any unreasonable impacts on the environment or the amenity of the locality. It is considered appropriate with consideration to the zoning and the character of the area and is therefore considered to be in the public interest.

4 CONCLUSION

This application has been assessed as satisfactory having regard to the Matters of Consideration under Section S4.15(1) of the Environmental Planning and Assessment Act 1979. The proposed development is permissible with consent and has regard to the objectives of the zone and is consistent with the applicable provisions of the relevant planning instruments including Wollongong LEP 2009, relevant SEPPs and Council DCPs. The design and use of the development is appropriate regarding the controls outlined in these instruments.

The proposed development is consistent with all provisions outlined in the relevant Environmental Planning Instruments, and any DCP non-compliances have been suitably justified and are considered acceptable in the circumstances. The submissions received have been adequately addressed either through the submission of additional information or through conditions of consent.

It is considered the proposed development has been designed appropriately given the nature and characteristics of the site and is unlikely to result in significant adverse impacts on the character or amenity of the surrounding area.

5 RECOMMENDATION

It is recommended that the development application be approved subject to the recommended conditions of consent contained within Attachments 6.

6 ATTACHMENTS

- 1 Plans and Plan of Management
- 2 Site Photos
- 3 Additional information letter
- 4 DCP Compliance Assessment
- 5 Transport for NSW Concurrence
- 6 Recommended Conditions of Consent

ARCHITECTURAL DRAWINGS

A000	H	COVER SHEET	A702	G	SIGNAGE DETAILS
A001	H	3D VIEWS	SK01	G	3D SHADOW STUDY - JUNE 21st 9AM
A005	G	STANDARD ABBREVIATIONS & LEGEND	SK02	G	3D SHADOW STUDY - JUNE 21st NOON
A010	G	LOCATION PLAN	SK03	G	3D SHADOW STUDY - JUNE 21st 3PM
A015	G	SITE ANALYSIS & DEMO PLAN			
A020	G	PROPOSED SITE PLAN			
A030	G	PROPOSED FUEL DELIVERY PLAN			
A031	G	PROPOSED REFUSE COLLECTION PLAN			
A050	G	SHADOW DIAGRAMS - JUNE 21st 9AM			
A051	G	SHADOW DIAGRAMS - JUNE 21st NOON			
A052	G	SHADOW DIAGRAMS - JUNE 21st 3PM			
A053	G	SHADOW DIAGRAMS - SEPTEMBER			
A054	G	SHADOW DIAGRAMS - DECEMBER			
A100	G	BUILDING AREA PLAN			
A200	H	STREET ELEVATIONS			
A201	H	NORTH & EAST BUILDING ELEVATIONS			
A202	G	SOUTH & WEST BUILDING ELEVATIONS			
A205	G	FINISHES SCHEDULE			
A300	G	SECTIONS			
A700	G	SIGNAGE DETAILS			
A701	H	SIGNAGE DETAILS			



UNITED WINDANG
DA ISSUE

JULY 2020

General Notes

Do not scale this drawing. The drawing shows design intent only. All dimensions to be checked on site prior to construction or production. Construction details to be confirmed by contractor/manufacturer. This is a computer generated drawing. Do not amend by hand. Figure dimensions are to be used. Contact architect for clarification if dimensions are not clear. All dimensions are in millimeters. All discrepancies and omissions on site must be reported to the architect for their comments or approval prior to commencing work.

Location Plan

Architect

Richmond+Ross
CONSULTING ENGINEERS AND PROJECT LEADERS

38 Willoughby Road Crows Nest NSW 2065
TEL: (02) 9490 9600 FAX: (02) 9438 1224

ABN 34 001 485 436

Client

ISAAC PROPERTY
DEVELOPMENTS /
UNITED

Location

WINDANG ROAD
WINDANG NSW

PRELIMINARY
NOT TO BE USED DURING CONSTRUCTION

Project Number	Drawing Number	Issue
190324	A000	H



Revisions				General Notes	Drawing Notes	PRELIMINARY NOT TO BE USED DURING CONSTRUCTION	Architect Richmond+Ross CONSULTING ENGINEERS AND PROJECT LEADERS 38 Willoughby Road Crows Nest NSW 2065 TEL: (02) 9490 9600 FAX: (02) 94381224	Client ISAAC PROPERTY DEVELOPMENTS / UNITED	Project UNITED WINDANG	Location WINDANG ROAD WINDANG NSW	Scale @ A3
Issue Description				Date	Chk						Drawing 3D VIEWS
H	DA ISSUE	31.07.2020	PR	PK							Project Number
G	DA ISSUE	23.07.2020	PR	PK							Drawing Number
E	DA ISSUE	23.06.2020	PR	PK							Issue
C	DA ISSUE	02.04.2020	PR	PK							190324
B	DA ISSUE	20.03.2020	PR	PK							A001
A	PRELIMINARY	03.01.2020	PR	PK							H

STANDARD ABBREVIATIONS

AF	APRON FLASHING
AP	ACCESS PANEL
APS	AS PER SPECIFICATION
B	BOLLARD
BG#	BOX GUTTER #
BGS	BOX GUTTER SUMP
BJ	BUTT JOINT IN GLAZING
BLK	BLOCKWORK
CCTV	CLOSED CIRCUIT TV MONITOR OR CAMERA
CH	COAT HOOK
CMP	COMPUTER
COS	CHECK ON SITE
CP	PREFINISHED METAL CAPPING
CT	CERAMIC TILE
D	DOOR
DP#	DOWNPIPE #
DP+S#	DOWNPIPE & SPREADER #
DTP	DISPENSER: PAPER TOWEL
E	EMERGENCY LIGHT FITTING
EG	EAVES GUTTER
EMC	ELECTRICAL METERING CUBICLE
EX	EXHAUST GRILLE
FB	FIRE BLANKET
FC	FIBRE CEMENT
FE	FIRE EXTINGUISHER
FG	FIXED GLAZING
FUR	FURRING
FW	FLOOR WASTE
GR	GRABRAIL
HB	HAND BASIN
HC	HOSECOCK
HD	HAND DRYER
IP	INSULATED PANEL
LAM	LAMINATE
MC	MECHANICAL CHASE
MI	MIRROR
MFC	METAL FLASHING / CAPPING

STANDARD ABBREVIATIONS CONT.

MJ	MOVEMENT JOINT
MS	MILD STEEL
MWC	METAL WALL CLADDING
NOM	NOMINAL
OF	OVERFLASHING
OFP	OVERFLOW PIPE
OFS	OVERFLOW SPITTER
PH	PHONE
PT	PAINT FINISH
R	CASH REGISTER
RA	RETURN AIR DIFFUSER
RCD	REFRIGERATION CONTRACTOR'S DOCUMENTS
REF	REFER TO...
RWT	RAIN WATER TANK
SA	SUPPLY AIR DIFFUSER
SAFE	SAFE
SBD	SWITCHBOARD
SD	SOAP DISPENSER
SF	SOAKER FLASHING
SHS	SQUARE HOLLOW SECTION
SK 1	SINK TYPE 1
SK 2	SINK TYPE 2
STN	RECONSTITUTED STONE
TGSI	TACTILE GROUND SURFACE INDICATOR
TP 1	TAPWARE TYPE 1
TP 2	TAPWARE TYPE 2
TPD	TOILET PAPER DISPENSER
W	WINDOW
WC	WATER CLOSET (TOILET SUITE)
UFC	UNFORMED CONCRETE
UR	URINAL
VM	VIDEO MONITOR
VWJ	VERTICAL WALL JOINER
WCA	WALL CAVITY
WC	WATER CLOSET
WMS	WALL METAL STUD

STANDARD SYMBOLS AND TAGS

	DATUM POINT
	SET OUT POINT
	DOOR TAG DOOR No
	WINDOW TAG WINDOW No
	WALL TAG WALL TYPE No
	CEILING TAG CEILING TYPE HEIGHT TO UNDERSIDE ABOVE FFL
	MATERIAL / FINISHES TAG MATERIAL ABBREVIATION MATERIAL TYPE CODE
	SIGNAGE TAG SIGNAGE CODE
	DDA DOOR CIRCULATION SPACE INDICATED THUS. ARROW INDICATES DIRECTION OF APPROACH

Revisions	General Notes	Drawing Notes	PRELIMINARY NOT TO BE USED DURING CONSTRUCTION		Architect ABN 34 001 485 436 Richmond+Ross CONSULTING ENGINEERS AND PROJECT LEADERS 38 Willoughby Road Crows Nest NSW 2065 TEL: (02) 9490 9600 FAX: (02) 94381224	Client ISAAC PROPERTY DEVELOPMENTS / UNITED	Project UNITED WINDANG	Scale 1 : 100 @ A3
								Drawing
								STANDARD ABBREVIATIONS & LEGEND
								Project Number Drawing Number Issue
G DA ISSUE 23.07.2020 PR PK	Do not scale this drawing. The drawing shows design intent only. All dimensions to be checked on site prior to construction or production. Construction details to be confirmed by contractor/manufacturer. This is a computer generated drawing. Do not amend by hand. Figure dimensions are to be used. Contact architect for clarification if dimensions are not clear. All dimensions are in millimeters. All discrepancies and omissions on site must be reported to the architect for their comments or approval prior to commencing work.						Location WINDANG ROAD WINDANG NSW	190324 A005 G
C DA ISSUE 02.04.2020 PR PK								
B DA ISSUE 20.03.2020 PR PK								
A PRELIMINARY 03.01.2020 PR PK								
Issue Description	Date	Chk Int						

1. SITE AREA = 2440 SQ.M.
BUILDING GFA = 300 SQ.M.
GARBAGE ENCLOSURE GFA = 39.4 SQ.M.

2. 18 CAR PARKING SPACES:
17 X 2600 X 5400 CAR SPACES.
1 X 2600 X 5400 ACCESSIBLE SPACE WITH
1 X 2600 X 5400 CLEAR ADJACENT SPACE.
1 X 3000 X 5400 AIR & WATER SPACE.
1 X LOADING BAY.

3. ALL PAVEMENT LINEMARKINGS SHALL BE WHITE EXCEPT WHERE NOTED.

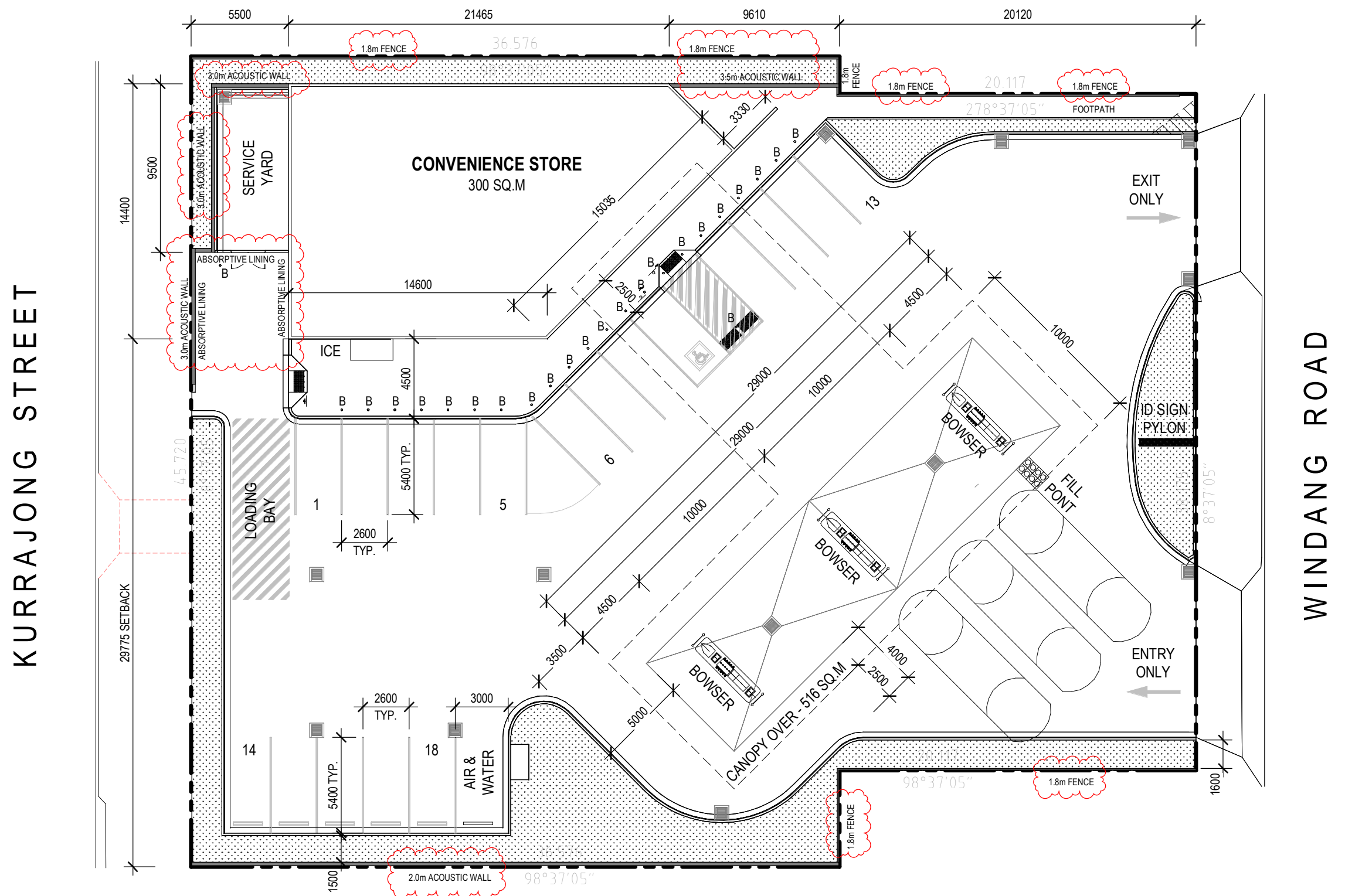
4. ANGLED LINEMARKING SHALL BE ADOPTED TO PEDESTRIAN WALKWAYS BETWEEN CAR SPACES AND WHERE SHOWN ON PLAN.


5. THE ACCESSIBLE PARKING SPACE SHALL BE DELINIATED WITH A LINEMARKED PERIMETER AND THE INTERNATIONAL SYMBOL IN ACCORDANCE WITH AS1428.1. REFER DWG. No. A021

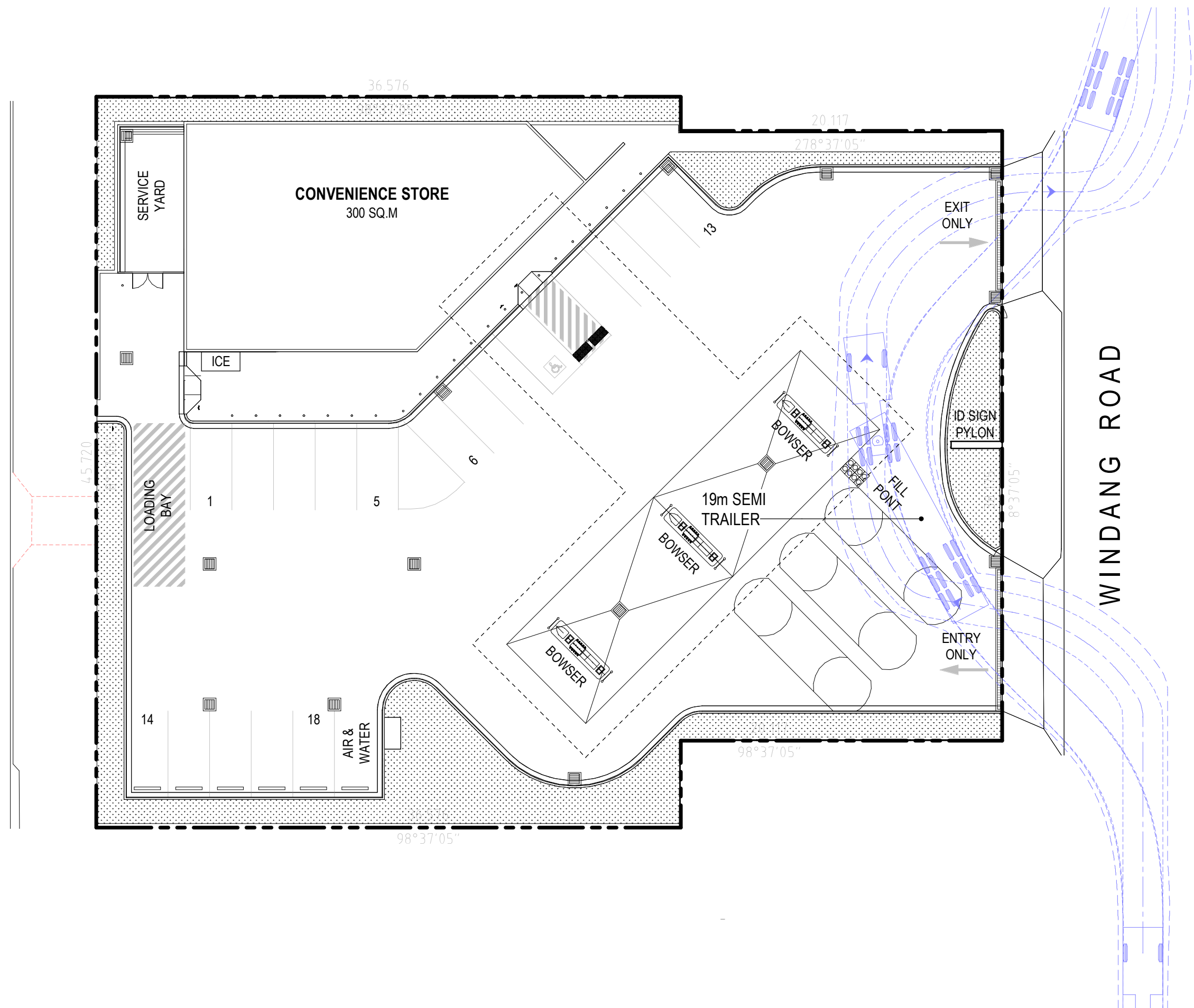
6. THE TOP AND VERTICAL FACE OF KERBS SHALL BE PAINTED YELLOW IN ALL AREAS WHICH COULD BE TRAFFICKED BY PEDESTRIANS.

7. WHEELSTOPS SHALL BE AVOIDED AND ONLY INSTALLED ON COMPLETION OF A RISK ASSESSMENT AND WHERE ALTERNATIVE PROTECTION DEVICES ARE UNSUITABLE. WHEELSTOPS SHALL BE PAINTED **YELLOW**, CENTRED ON THE CAR SPACE AND INSTALLED IN ACCORDANCE WITH AS2890.1.

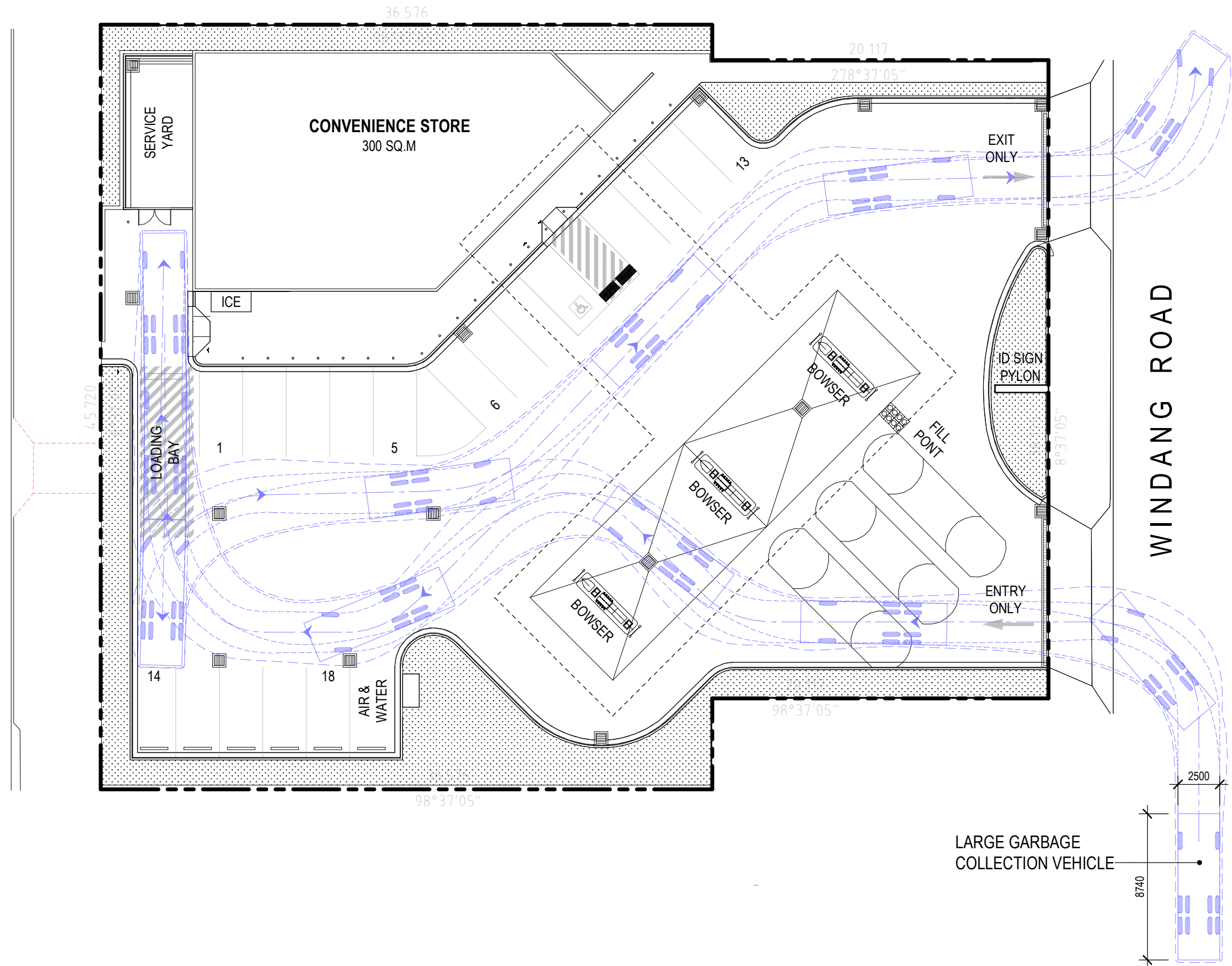
8. WHEELSTOP SPACING SHALL BE 620 FROM FACE OF KERB (INCREASE TO 820 AGAINST HIGH KERBS OR WALLS). WHEELSTOPS SHALL BE 1650 LONG.



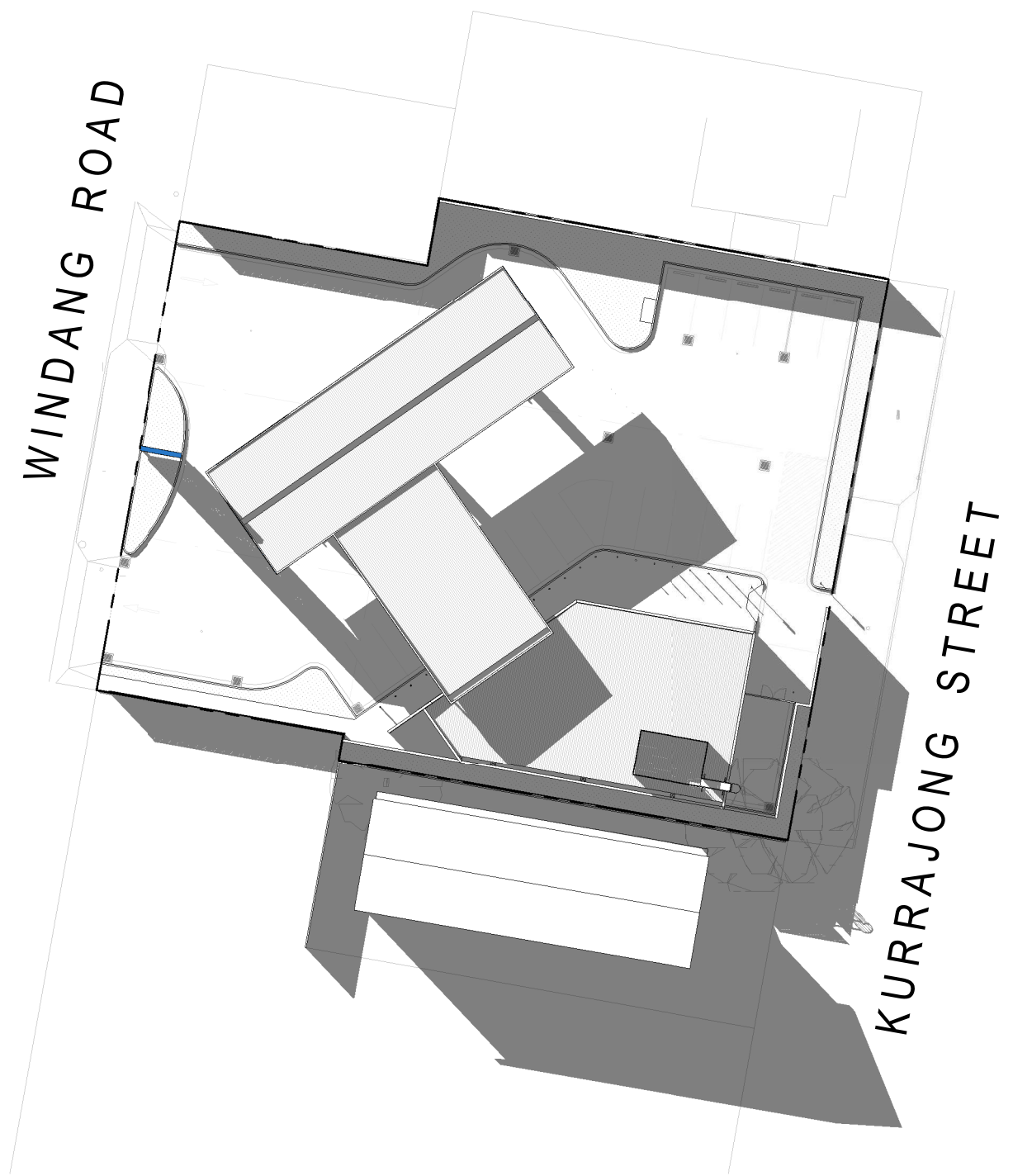
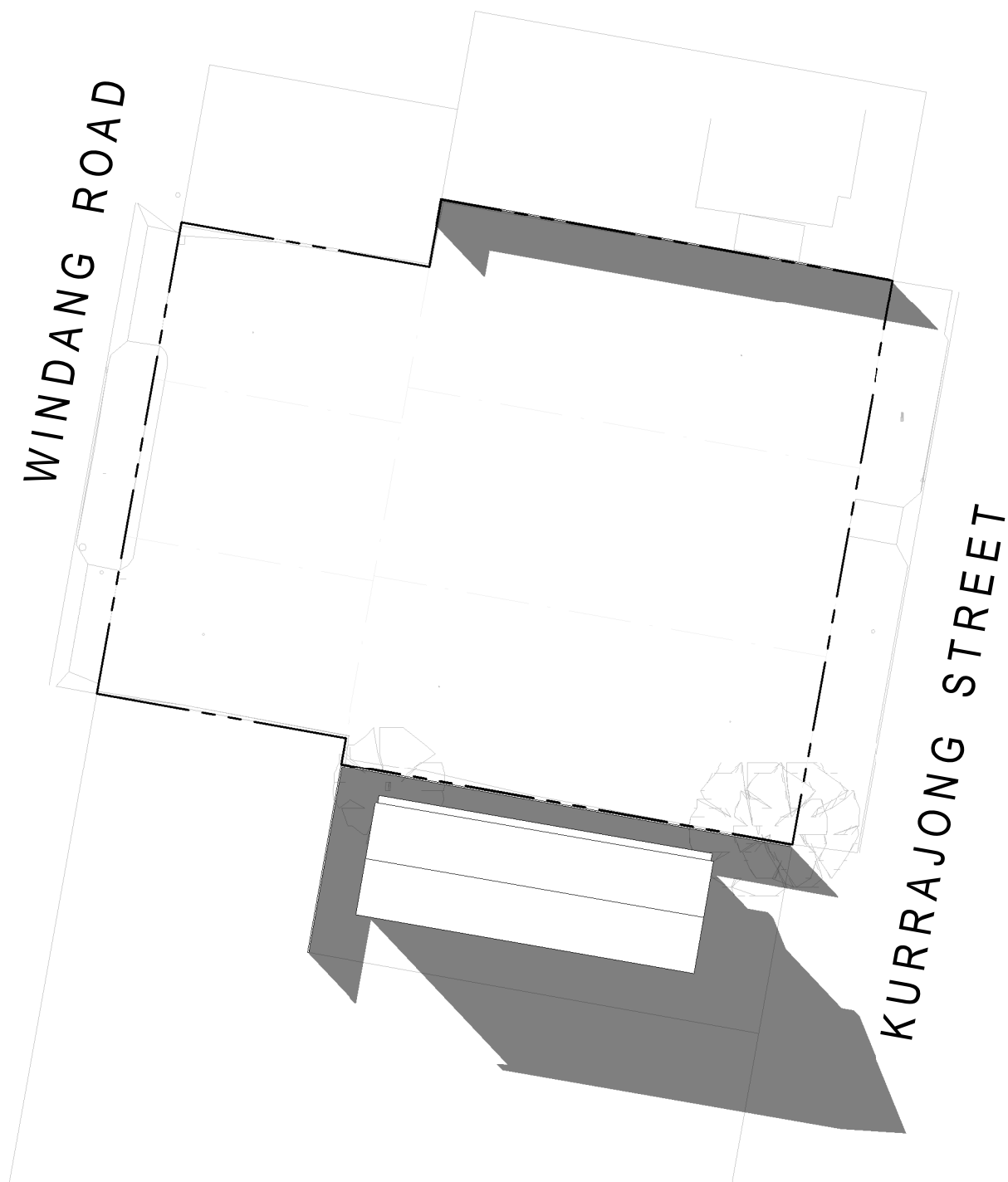
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F DA ISSUE 30.06.2020 PR PK																				Project Number Drawing Number Issue															
E DA ISSUE 23.06.2020 PR PK																				190324 A020 G															
C DA ISSUE 02.04.2020 PR PK																																			
B DA ISSUE 20.03.2020 PR PK																																			
A PRELIMINARY 03.01.2020 PR PK																																			
Issue Description Date Chk Int																																			




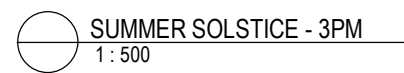
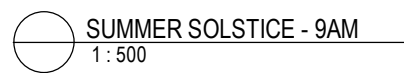
Revisions				General Notes				Drawing Notes				<div><div>PRELIMINARY</div><div>NOT TO BE USED DURING CONSTRUCTION</div></div>				<div><div>Architect</div><div>ABN 34 001 485 436</div><div><div>Richmond+Ross</div><div>CONSULTING ENGINEERS AND PROJECT LEADERS</div></div><div>38 Willoughby Road Crows Nest NSW 2065</div><div>TEL: (02) 9490 9600 FAX: (02) 94381224</div></div>				<div><div>Client</div><div>ISAAC PROPERTY DEVELOPMENTS / UNITED</div></div>				<div><div>Project</div><div>UNITED WINDANG</div></div>				<div><div>Scale</div><div>1 : 250 @ A3</div></div>			
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<div><div>Issue Description</div><div>Date</div><div>Chk</div><div>Int</div></div>												<div><div>Drawing</div><div>PROPOSED FUEL DELIVERY PLAN</div></div>																			
												<div><div>Project Number</div><div>Drawing Number</div><div>Issue</div></div>																			
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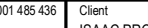


Revisions	General Notes	Drawing Notes	<div>PRELIMINARY</div> <div>NOT TO BE USED DURING CONSTRUCTION</div>	Architect <div>Richmond+Ross</div> <div>CONSULTING ENGINEERS AND PROJECT LEADERS</div> 38 Willoughby Road Crows Nest NSW 2065 TEL: (02) 9490 9600 FAX: (02) 94381224	Client ISAAC PROPERTY DEVELOPMENTS / UNITED	Project UNITED WINDANG	Scale 1 : 250 @ A3		
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							Project Number 190324	Drawing Number A031	Issue G



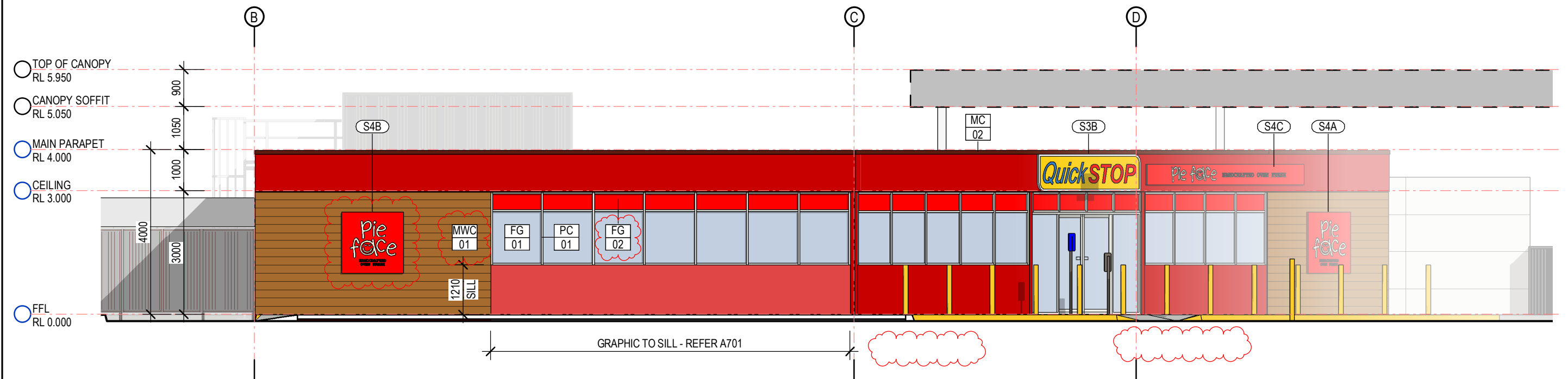
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G DA ISSUE 23.07.2020 PR PK																				38 Willoughby Road Crows Nest NSW 2065								Location				Drawing			
E DA ISSUE 23.06.2020 PR PK																				TEL: (02) 9490 9600 FAX: (02) 94381224				WINDANG ROAD				SHADOW DIAGRAMS - JUNE 21st 3PM							
Issue Description				Date Chk Int																				WINDANG NSW				Project Number Drawing Number Issue							
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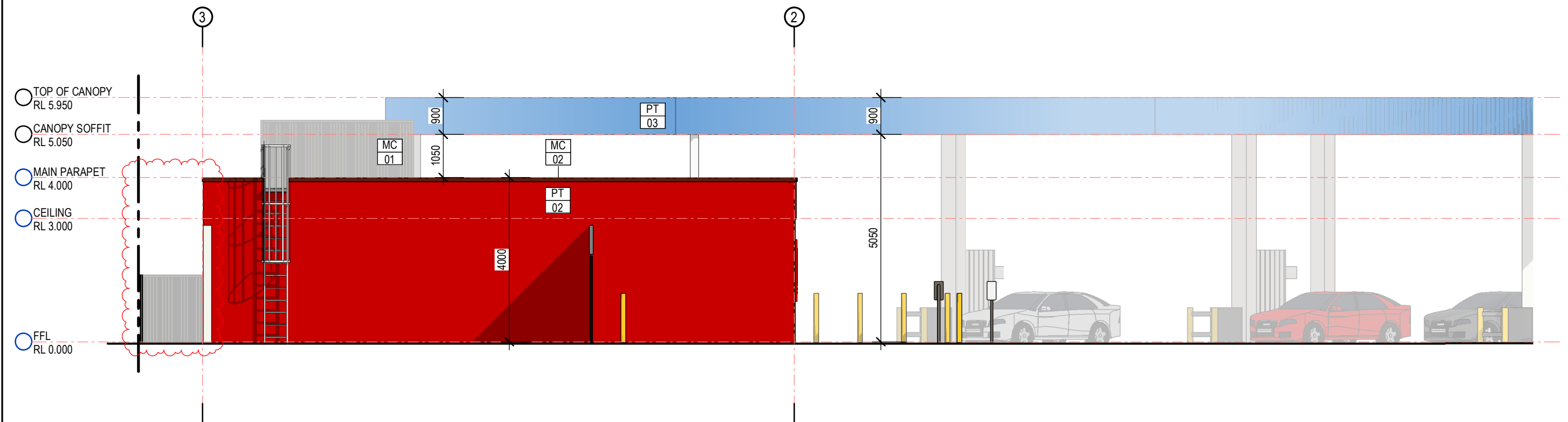
Revisions					General Notes					Drawing Notes					PRELIMINARY NOT TO BE USED DURING CONSTRUCTION					North 					Architect ABN 34 001 485 436 Richmond+Ross CONSULTING ENGINEERS AND PROJECT LEADERS 38 Willoughby Road Crows Nest NSW 2065 TEL: (02) 9490 9600 FAX: (02) 94381224					Client ISAAC PROPERTY DEVELOPMENTS / UNITED					Project UNITED WINDANG Location WINDANG ROAD WINDANG NSW					Scale 1 : 500 @ A3 Drawing SHADOW DIAGRAMS - DECEMBER Project Number Drawing Number Issue 190324 A054 G														
G DA ISSUE 23.07.2020 PR PK					Do not scale this drawing. The drawing shows design intent only. All dimensions to be checked on site prior to construction or production. Construction details to be confirmed by contractor/manufacturer. This is a computer generated drawing. Do not amend by hand. Figure dimensions are to be used. Contact architect for clarification if dimensions are not clear. All dimensions are in millimeters. All discrepancies and omissions on site must be reported to the architect for their comments or approval prior to commencing work.																																																	
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Issue Description Date Chk Int																																																						



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															38 Willoughby Road Crows Nest NSW 2065 TEL: (02) 9490 9600 FAX: (02) 94381224										Location WINDANG ROAD WINDANG NSW					STREET ELEVATIONS														
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Issue Description					Date					Chk					Int															190324					A200					H				

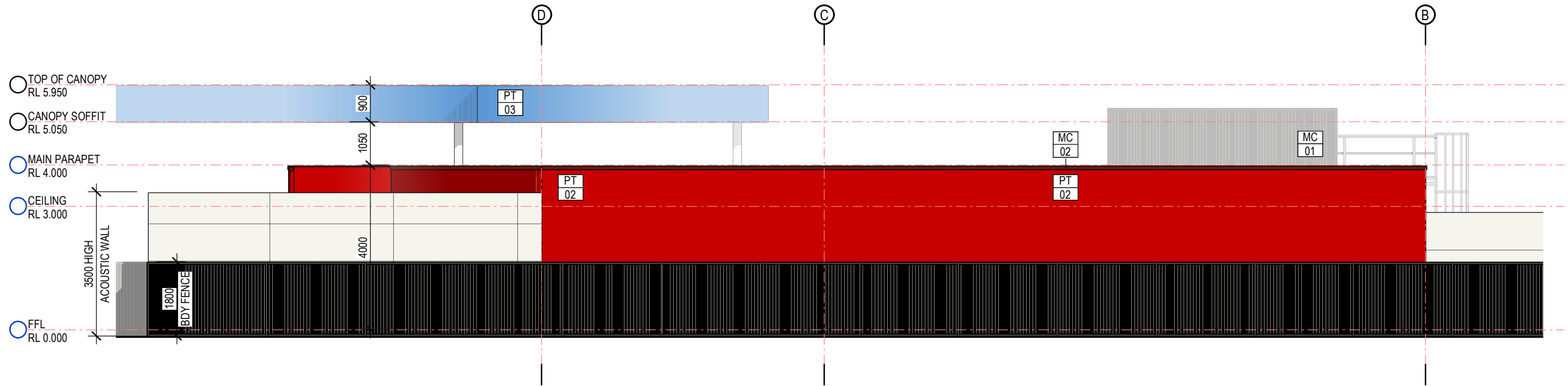


1 FRONT (NORTH) ELEVATION
1:100

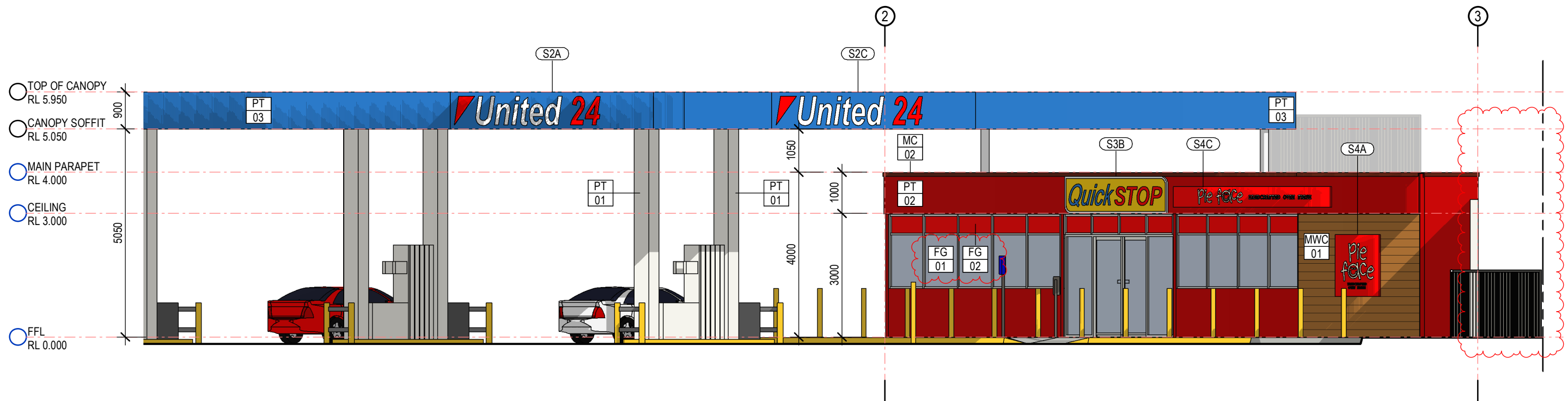


2 SIDE (EAST) ELEVATION
1:100

Revisions H DA ISSUE 31.07.2020 PR PK E DA ISSUE 23.06.2020 PR PK C DA ISSUE 02.04.2020 PR PK B DA ISSUE 20.03.2020 PR PK A PRELIMINARY 03.01.2020 PR PK Issue Description Date Chk Int	General Notes Do not scale this drawing. The drawing shows design intent only. All dimensions to be checked on site prior to construction or production. Construction details to be confirmed by contractor/manufacturer. This is a computer generated drawing. Do not amend by hand. Figure dimensions are to be used. Contact architect for clarification if dimensions are not clear. All dimensions are in millimeters. All discrepancies and omissions on site must be reported to the architect for their comments or approval prior to commencing work.	Drawing Notes PRELIMINARY NOT TO BE USED DURING CONSTRUCTION	Architect Richmond+Ross CONSULTING ENGINEERS AND PROJECT LEADERS 38 Willoughby Road Crows Nest NSW 2065 TEL: (02) 9490 9600 FAX: (02) 94381224	Client ISAAC PROPERTY DEVELOPMENTS / UNITED Project UNITED WINDANG Location WINDANG ROAD WINDANG NSW	Scale 1:100 @ A3 Drawing NORTH & EAST BUILDING ELEVATIONS Project Number Drawing Number Issue 190324 A201 H
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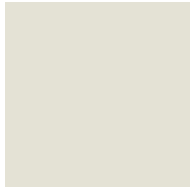

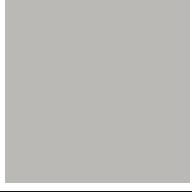




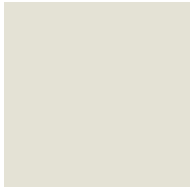


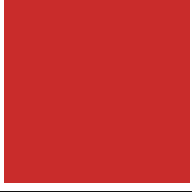
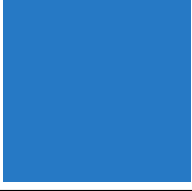
3 REAR (SOUTH) ELEVATION
1 : 100



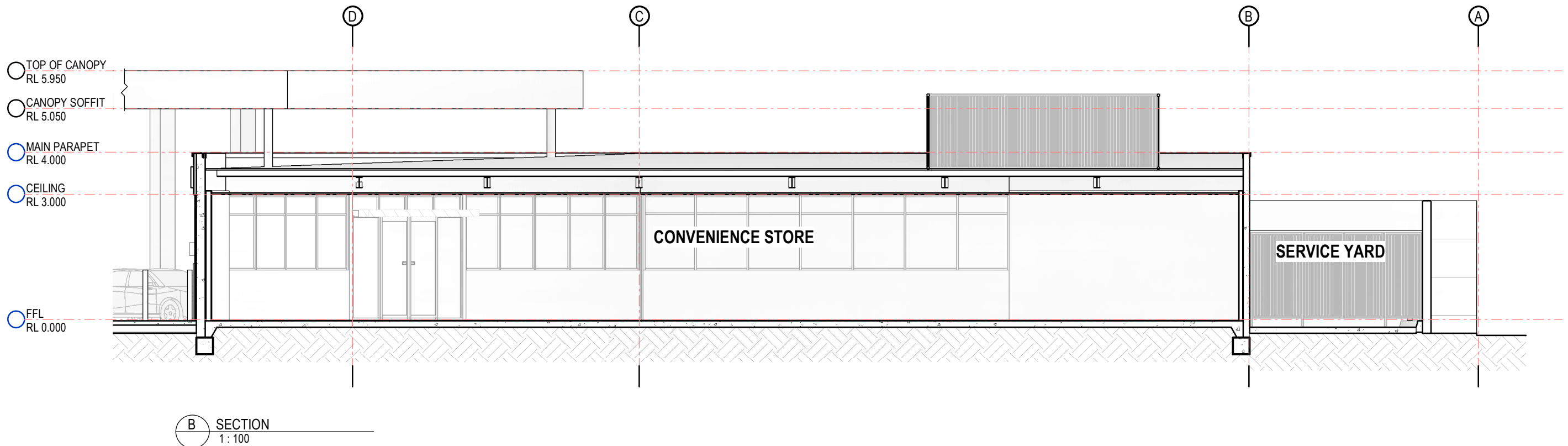
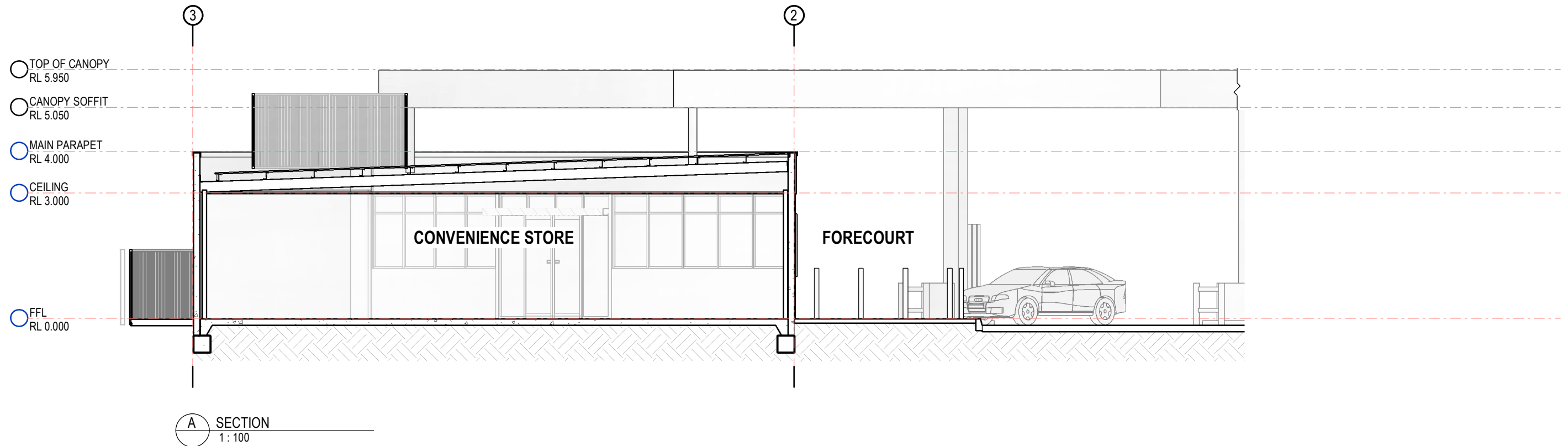
4 SIDE (WEST) ELEVATION
1 : 100

Revisions G DA ISSUE 23.07.2020 PR PK E DA ISSUE 23.06.2020 PR PK C DA ISSUE 02.04.2020 PR PK B DA ISSUE 20.03.2020 PR PK A PRELIMINARY 03.01.2020 PR PK Issue Description Date Chk Int	General Notes Do not scale this drawing. The drawing shows design intent only. All dimensions to be checked on site prior to construction or production. Construction details to be confirmed by contractor/manufacturer. This is a computer generated drawing. Do not amend by hand. Figure dimensions are to be used. Contact architect for clarification if dimensions are not clear. All dimensions are in millimeters. All discrepancies and omissions on site must be reported to the architect for their comments or approval prior to commencing work.	Drawing Notes PRELIMINARY NOT TO BE USED DURING CONSTRUCTION			Architect Richmond+Ross CONSULTING ENGINEERS AND PROJECT LEADERS 38 Willoughby Road Crows Nest NSW 2065 TEL: (02) 9490 9600 FAX: (02) 94381224	Client ISAAC PROPERTY DEVELOPMENTS / UNITED	Project UNITED WINDANG Location WINDANG ROAD WINDANG NSW	Scale 1 : 100 @ A3 Drawing SOUTH & WEST BUILDING ELEVATIONS Project Number Drawing Number Issue 190324 A202 G
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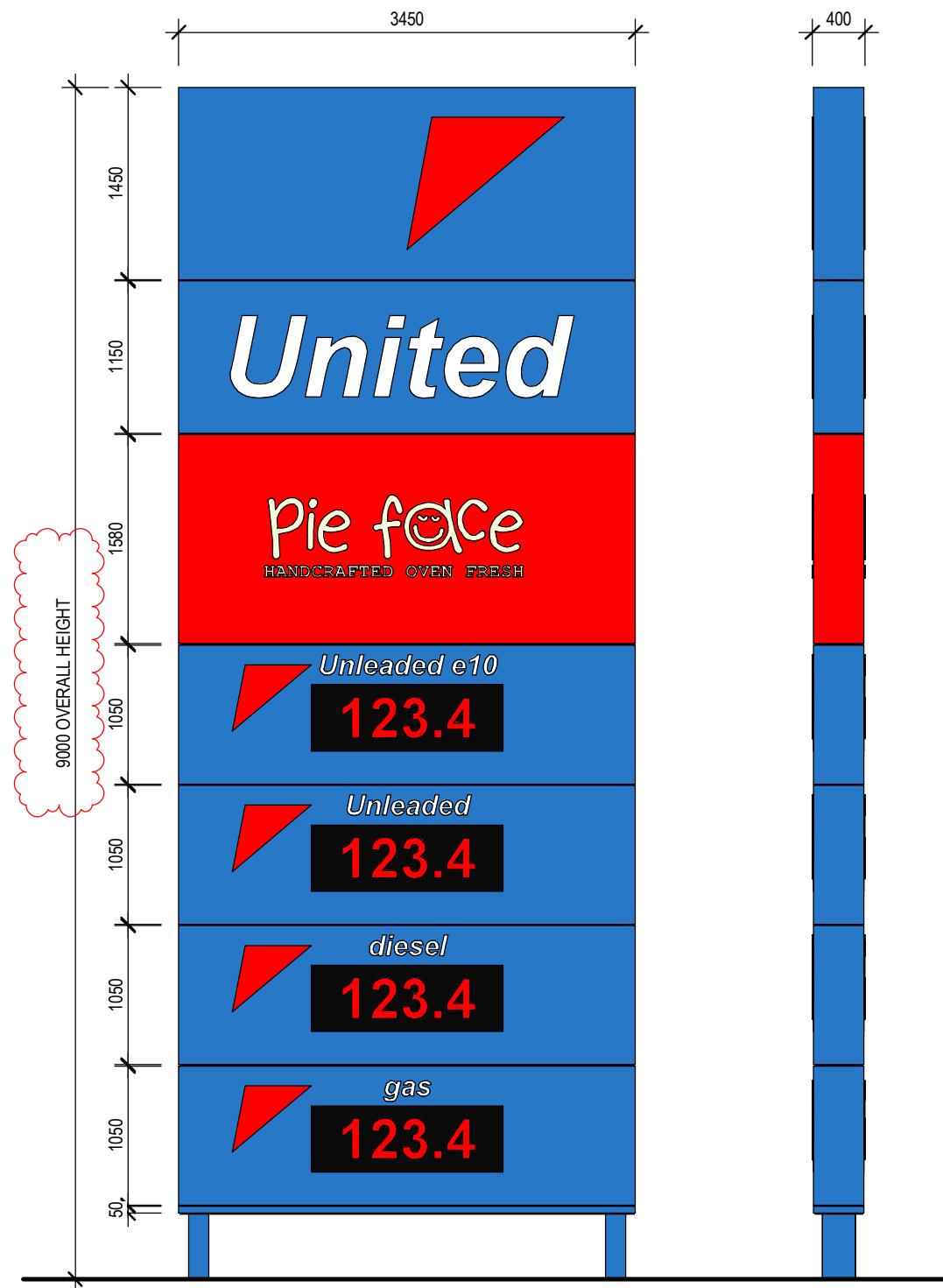
FINISHES SCHEDULE					
CODE	No.	MATERIAL / FINISH	LOCATION	SAMPLE	MANUFACTURER
FG	01	CLEAR GLAZING	WINDOWS & DOORS		
FG	02	CLEAR GLAZING - RED VINYL TINT	WINDOWS - TOP LIGHT		
MC	01	COLORBOND 'SURFMIST' PREFINISHED METAL CLADDING / FLASHING / CAPPING	ROOF PLANT ENCLOSURE		COLORBOND
MC	02	COLORBOND 'MANOR RED' PREFINISHED METAL CLADDING / FLASHING / CAPPING	MAIN BUILDING WALL PARAPET CAPPING. SERVICE YARD FENCING & GATES		COLORBOND
MFC	01	COLORBOND 'SHALE GREY' PREFINISHED METAL FLASHING / CAPPING	ROOF FLASHING		COLORBOND
MRS	01	PREFINISHED TRIM DEK METAL ROOF SHEETING. COLORBOND COLOUR: SHALE GREY.	ROOF SHEETING		COLORBOND

FINISHES SCHEDULE					
CODE	No.	MATERIAL / FINISH	LOCATION	SAMPLE	MANUFACTURER
MWC	01	TIMBER LOOK ALUMINUM CLADDING SYSTEM. COLOUR: LIGHT OAK.	FEATURE WALL		KNOTWOOD
PC	01	POWDERCOAT FINISH	SHOPFRONT GLAZING MULLIONS		Dulux
PT	--	PAINT FINISH IN PREPARATION FOR APPLICATION OF GRAPHIC.	SHOPFRONT GLAZING SILLS		Dulux
PT	01	DULUX WHITE PAINT FINISH. REFER TO SPECIFICATION FOR DETAILS ON PAINT TYPE AND APPLICATION	CONCRETE PANEL WALLS		DULUX
PT	02	DULUX RED PAINT FINISH. REFER TO SPECIFICATION FOR DETAILS ON PAINT TYPE AND APPLICATION	MAIN BUILDING WALLS		DULUX
PT	03	DULUX BLUE PAINT FINISH. REFER TO SPECIFICATION FOR DETAILS ON PAINT TYPE AND APPLICATION	CANOPY		DULUX

Revisions				General Notes				Drawing Notes				PRELIMINARY NOT TO BE USED DURING CONSTRUCTION								Architect ABN 34 001 485 436 Richmond+Ross CONSULTING ENGINEERS AND PROJECT LEADERS 38 Willoughby Road Crows Nest NSW 2065 TEL: (02) 9490 9600 FAX: (02) 94381224				Client ISAAC PROPERTY DEVELOPMENTS / UNITED				Project UNITED WINDANG				Scale @ A3			
				Do not scale this drawing. The drawing shows design intent only. All dimensions to be checked on site prior to construction or production. Construction details to be confirmed by contractor/manufacturer. This is a computer generated drawing. Do not amend by hand. Figure dimensions are to be used. Contact architect for clarification if dimensions are not clear. All dimensions are in millimeters. All discrepancies and omissions on site must be reported to the architect for their comments or approval prior to commencing work.																				Drawing FINISHES SCHEDULE											
G DA ISSUE 23.07.2020 PR PK																												Project Number Drawing Number Issue							
C DA ISSUE 02.04.2020 PR PK																												190324 A205 G							
B DA ISSUE 20.03.2020 PR PK																																			
A PRELIMINARY 03.01.2020 PR PK																																			
Issue Description				Date				Chk				Int																							

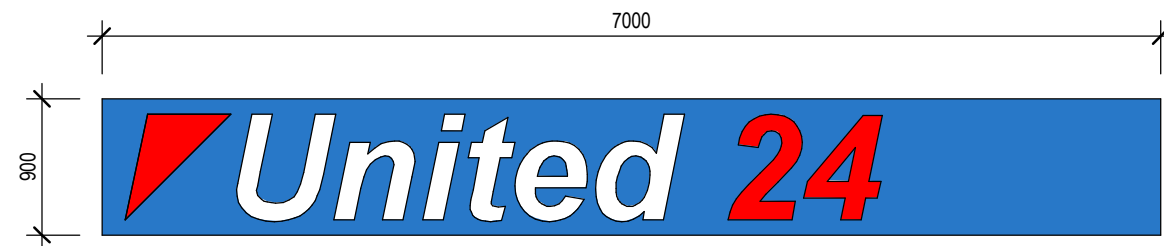


Revisions				General Notes				Drawing Notes				PRELIMINARY NOT TO BE USED DURING CONSTRUCTION				Architect ABN 34 001 485 436 Richmond+Ross CONSULTING ENGINEERS AND PROJECT LEADERS 38 Willoughby Road Crows Nest NSW 2065 TEL: (02) 9490 9600 FAX: (02) 94381224				Client ISAAC PROPERTY DEVELOPMENTS / UNITED				Project UNITED WINDANG				Scale 1 : 100 @ A3			
G DA ISSUE 23.07.2020 PR PK C DA ISSUE 02.04.2020 PR PK Issue Description Date Chk Int				Do not scale this drawing. The drawing shows design intent only. All dimensions to be checked on site prior to construction or production. Construction details to be confirmed by contractor/manufacturer. This is a computer generated drawing. Do not amend by hand. Figure dimensions are to be used. Contact architect for clarification if dimensions are not clear. All dimensions are in millimeters. All discrepancies and omissions on site must be reported to the architect for their comments or approval prior to commencing work.																				Drawing SECTIONS							
																								Project Number		Drawing Number		Issue			
																								190324		A300		G			



S1 - PYLON (ID SIGN & PRICEBOARD)

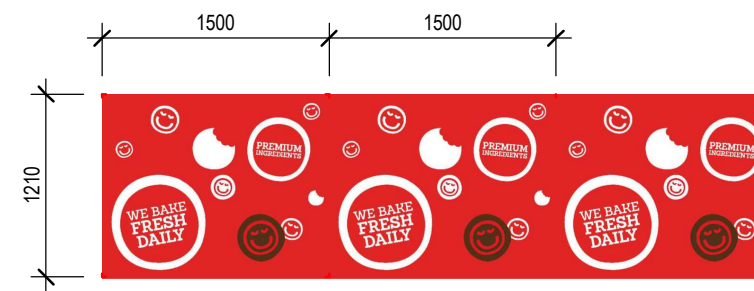
Revisions				General Notes		Drawing Notes		PRELIMINARY NOT TO BE USED DURING CONSTRUCTION		Architect Richmond+Ross CONSULTING ENGINEERS AND PROJECT LEADERS 38 Willoughby Road Crows Nest NSW 2065 TEL: (02) 9490 9600 FAX: (02) 94381224		Client ISAAC PROPERTY DEVELOPMENTS / UNITED		Project UNITED WINDANG		Scale 1 : 50 @ A3	
G DA ISSUE 23.07.2020 PR PK				Do not scale this drawing. The drawing shows design intent only. All dimensions to be checked on site prior to construction or production. Construction details to be confirmed by contractor/manufacturer. This is a computer generated drawing. Do not amend by hand. Figure dimensions are to be used. Contact architect for clarification if dimensions are not clear. All dimensions are in millimeters. All discrepancies and omissions on site must be reported to the architect for their comments or approval prior to commencing work.										Drawing			
E DA ISSUE 23.06.2020 PR PK														Location			
C DA ISSUE 02.04.2020 PR PK														WINDANG ROAD			
B DA ISSUE 20.03.2020 PR PK														WINDANG NSW			
A PRELIMINARY 03.01.2020 PR PK																Project Number Drawing Number Issue	
Issue Description				Date		Chk		Int								190324 A700 G	



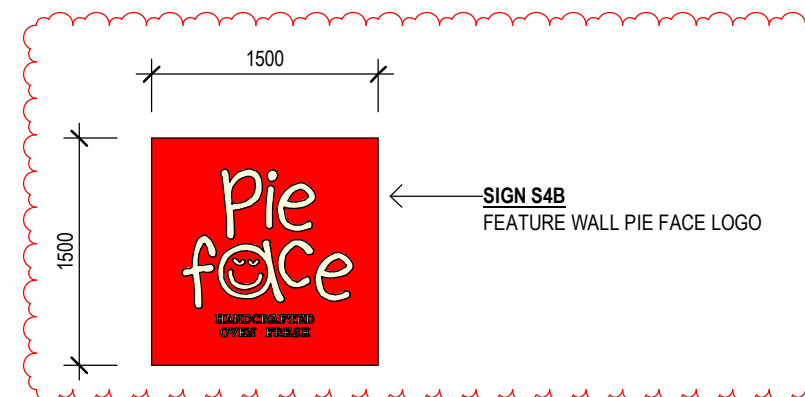
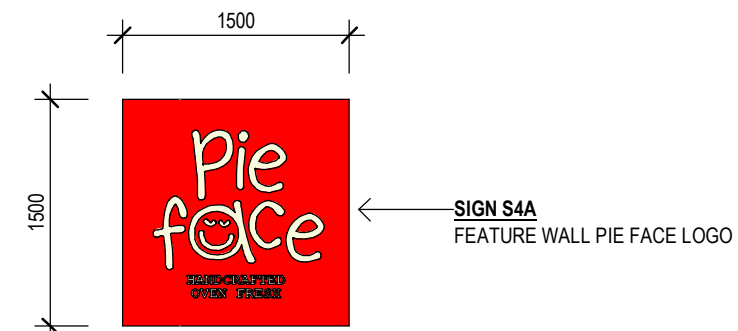
S2 - ILLUMINATED CANOPY SIGN



S3 - ILLUMINATED BUILDING SIGN

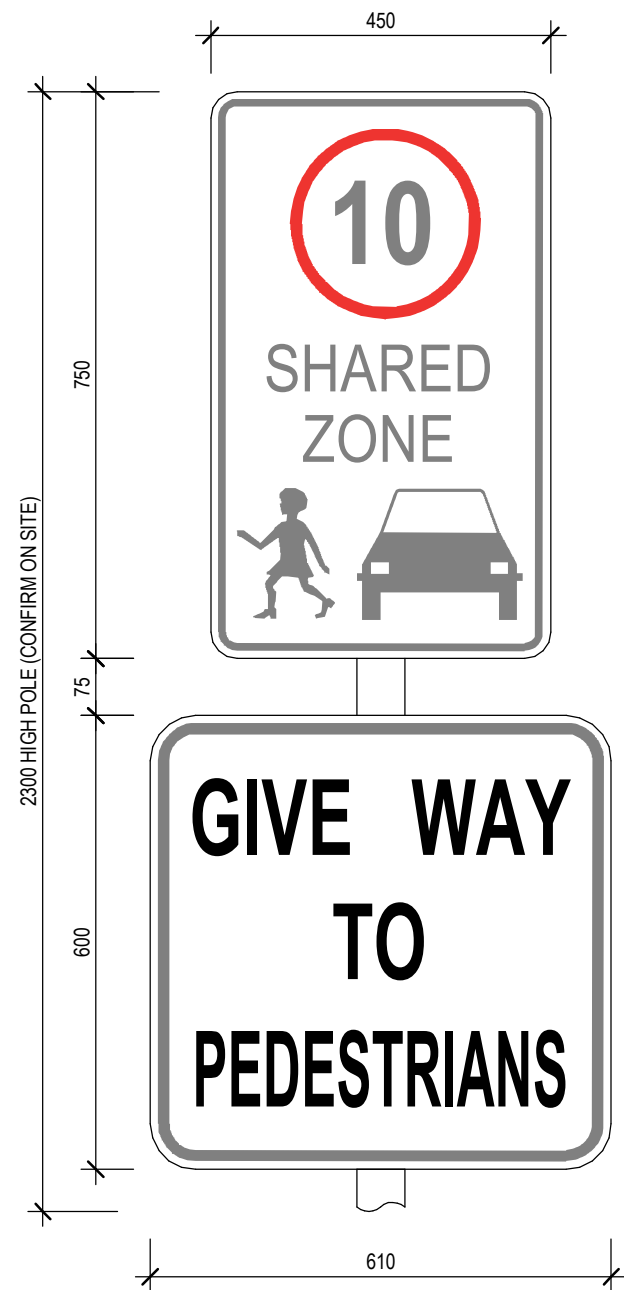


SHOPFRONT SILL GRAPHIC

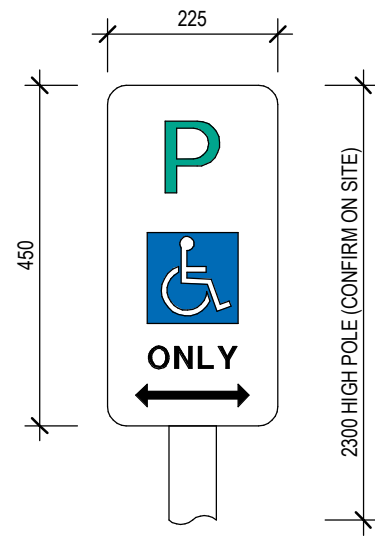


S4 - ILLUMINATED BUILDING SIGNS

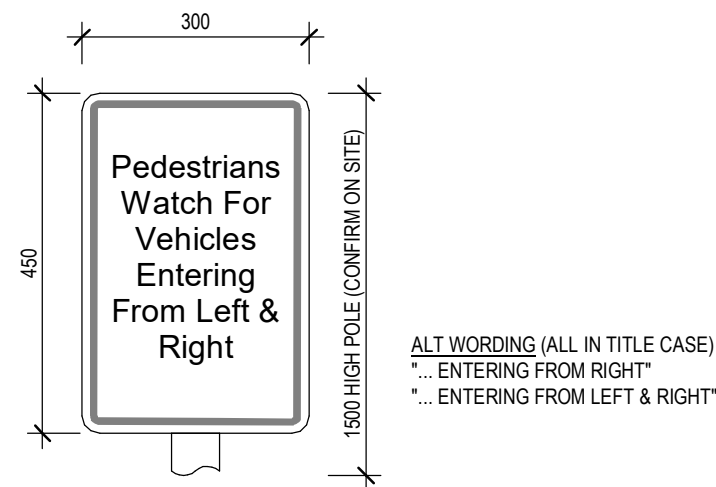
Revisions				General Notes				Drawing Notes				Architect				Client				Project				Scale							
				Do not scale this drawing. The drawing shows design intent only. All dimensions to be checked on site prior to construction or production. Construction details to be confirmed by contractor/manufacturer. This is a computer generated drawing. Do not amend by hand. Figure dimensions are to be used. Contact architect for clarification if dimensions are not clear. All dimensions are in millimeters. All discrepancies and omissions on site must be reported to the architect for their comments or approval prior to commencing work.								38 Willoughby Road Crows Nest NSW 2065 TEL: (02) 9490 9600 FAX: (02) 94381224				ISAAC PROPERTY DEVELOPMENTS / UNITED				UNITED WINDANG				1: 50 @ A3							
H DA ISSUE 31.07.2020 PR PK																								Drawing							
G DA ISSUE 23.07.2020 PR PK																								SIGNAGE DETAILS							
E DA ISSUE 23.06.2020 PR PK																															
C DA ISSUE 02.04.2020 PR PK																															
B DA ISSUE 20.03.2020 PR PK																															
A PRELIMINARY 03.01.2020 PR PK																															
Issue Description				Date				Chk				Int				PRELIMINARY NOT TO BE USED DURING CONSTRUCTION				Richmond+Ross CONSULTING ENGINEERS AND PROJECT LEADERS				Location WINDANG ROAD WINDANG NSW				Project Number Drawing Number Issue			
																								190324 A701 H							



SHARED ZONE - S5



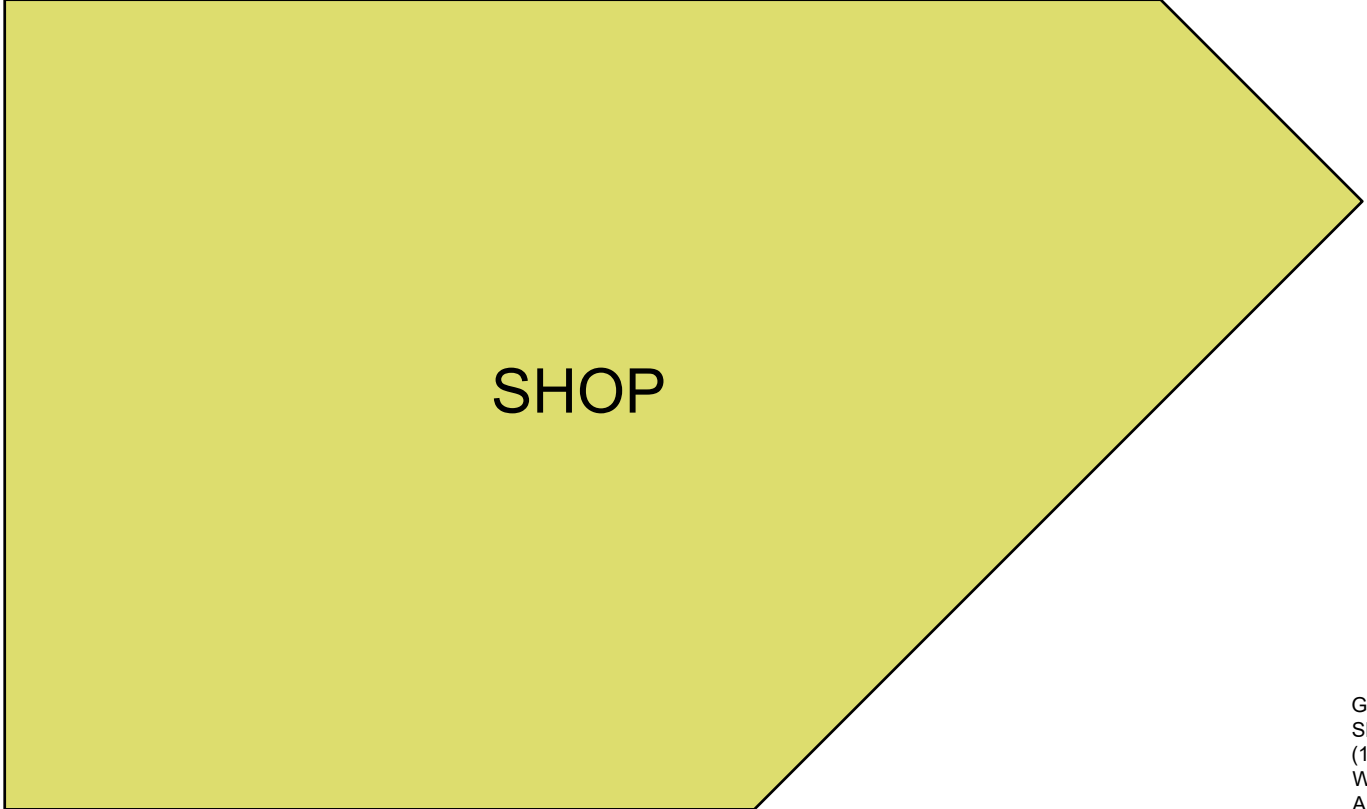
DISABLED PARKING - S6



PEDESTRIAN WARNING - S7

DEPENDING ON LOCATION WITHIN SITE, SIGNAGE SHOULD BE SET A MINIMUM OF 2m ABOVE TOP OF KERB TO PREVENT OBSTRUCTION TO OCCASIONAL PEDESTRIANS, OR TO REDUCE INTERFERENCE FROM PARKED VEHICLES. IF THIS DOESN'T APPLY, SIGNAGE HEIGHTS SHALL BE SET AS NOTED.

Revisions				General Notes				Drawing Notes				PRELIMINARY NOT TO BE USED DURING CONSTRUCTION				Architect ABN 34 001 485 436 Richmond+Ross CONSULTING ENGINEERS AND PROJECT LEADERS 38 Willoughby Road Crows Nest NSW 2065 TEL: (02) 9490 9600 FAX: (02) 94381224				Client ISAAC PROPERTY DEVELOPMENTS / UNITED				Project UNITED WINDANG				Scale 1 : 10 @ A3			
				Do not scale this drawing. The drawing shows design intent only. All dimensions to be checked on site prior to construction or production. Construction details to be confirmed by contractor/manufacturer. This is a computer generated drawing. Do not amend by hand. Figure dimensions are to be used. Contact architect for clarification if dimensions are not clear. All dimensions are in millimeters. All discrepancies and omissions on site must be reported to the architect for their comments or approval prior to commencing work.																				Drawing SIGNAGE DETAILS							
G DA ISSUE 23.07.2020 PR PK																								Location WINDANG ROAD WINDANG NSW				Project Number Drawing Number Issue			
C DA ISSUE 02.04.2020 PR PK																								190324 A702 G							
B DA ISSUE 20.03.2020 PR PK																															
A PRELIMINARY 03.01.2020 PR PK																															
Issue Description				Date				Chk				Int																			



Tank	Fuel System Diagram
Tank 1 - DSL - 60kL	Suction System
Tank 2 - E85 - 10kL	Suction System
Tank 3 - P98 - 20kL	Suction System
Tank 4 - P95 - 25kL	Suction System
Tank 5 - E10 - 45kL	Suction System
Tank 6 - ULP - 50kL	Suction System

NOTE:

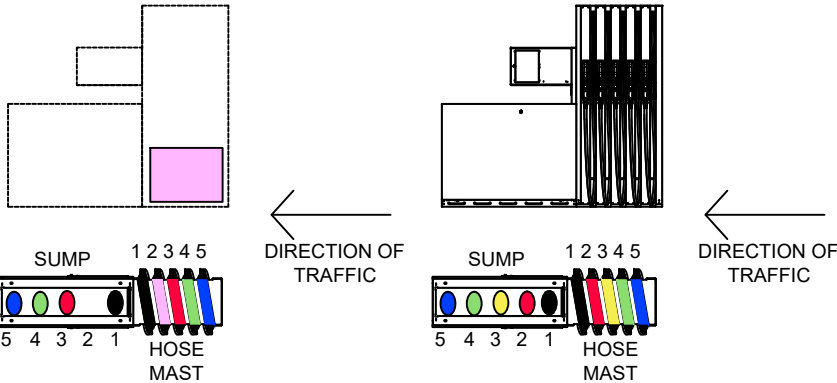
1. SITE MUST HAVE BASIC ATG CONSOLE INSTALLED FOR VR2 COMPLIANCE
2. ALL TANKS SHALL BE INSTALLED WITH CONDUITS TO FACILITATE FUTURE PROVISION OF THE AUTOMATIC TANK GAUGING (ATG) SYSTEM IN TANKS
3. ALL DUHF DISPENSERS ARE REQUIRED TO HAVE INDIVIDUAL PRODUCT LINES FOR EACH NOZZLE
4. UPSS VENTS TO BE LOCATED WITHIN THE CANOPY COLUMNS
5. PREMIUM DIESEL ADITIZER TANK INSTALLED WITHIN FUEL BOWSER AS NOMINATED BY PRINCIPAL
6. RUN P95 & P98 PROVISIONS TO ALL CAR CANOPY SUMPS & CAP OFF WHERE NOT REQUIRED.
7. VR2 NOTE: INSTALL VR2 PIPING. EACH DATA ELEC CABLE TO BE INSTALLED IN A NUPI 32MM CONDUIT

LEGEND:

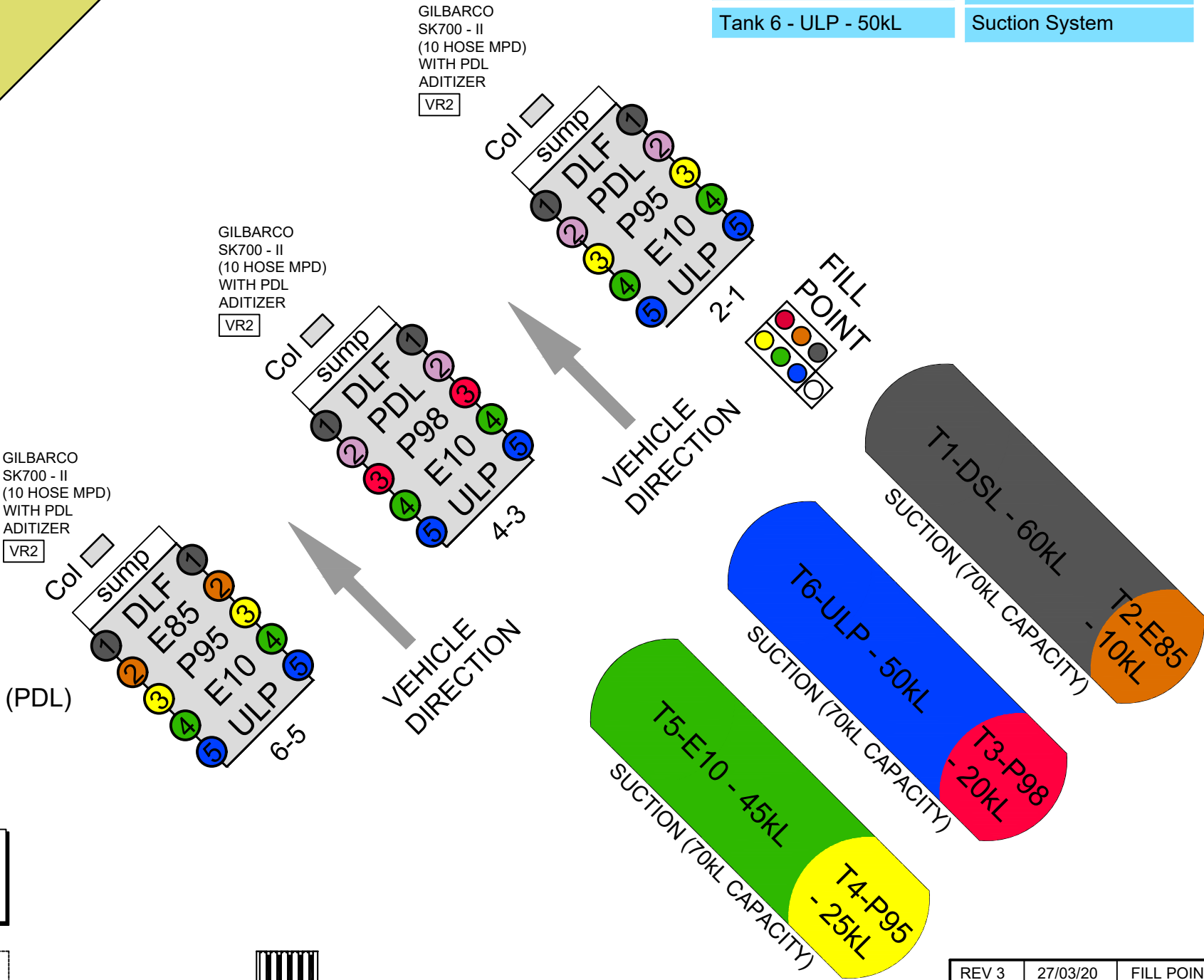
- Unleaded 91
- Unleaded E10
- Premium 95
- Premium 98
- Ethanol 85
- Diesel
- Premium Diesel (PDL)
- DLF DIESEL LOW FLOW

NOTE:
THIS IS A VR2 SITE.

NOTE:
THIS IS A PRODUCT LAYOUT DRAWING OF THE HOSE AT THE DISPENSER/PUMP AND NOT A SUMP LAYOUT DRAWING.



SUMP PRODUCT PIPES/BOWSER CONFIGURATION.



REV 3	27/03/20	FILL POINT CHANGED
REV 2	24/03/20	CHANGED TO SUIT SITE REVISIONS
REV 1	15/11/19	FIRST ISSUE

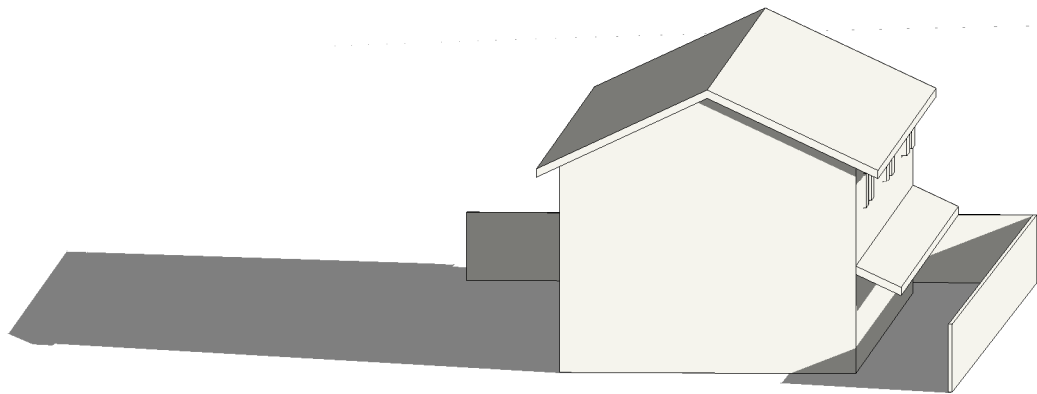
Location: WINDANG, NSW
Site ID:
Ownership:

System Type: Suction System
Pump Model:

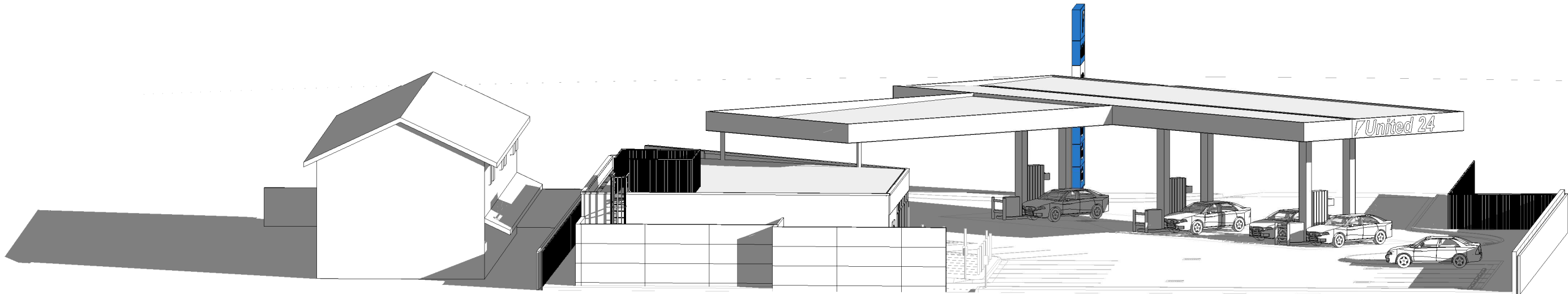
Title: Fuel System Diagram

Revision: 2
Date: 15.11.19
Drawn: MB
Checked: AS

NOTES:
1. SHADOWS GENERATED USING DATA FOR WINTER SOLSTICE AT 9AM.



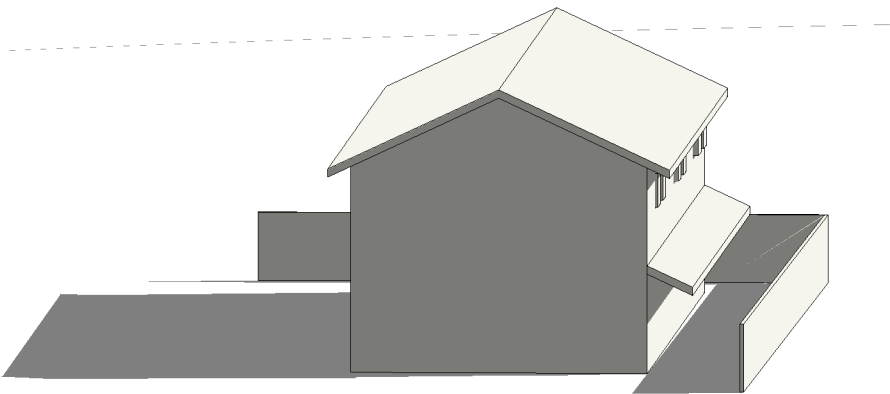
EXISTING SHADOW STUDY



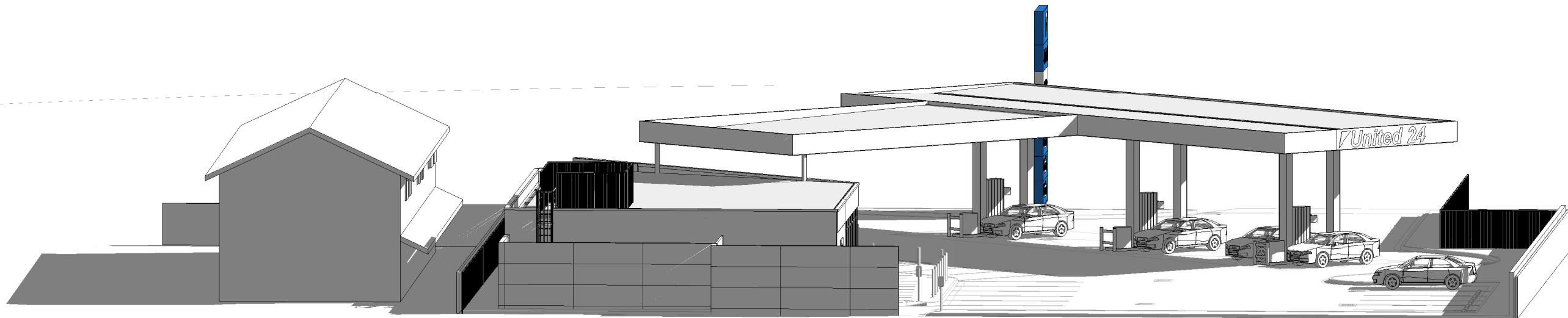
PROPOSED SHADOW STUDY

Revisions					General Notes					Drawing Notes					PRELIMINARY NOT TO BE USED DURING CONSTRUCTION					Architect ABN 34 001 485 436 Richmond+Ross CONSULTING ENGINEERS AND PROJECT LEADERS 38 Willoughby Road Crows Nest NSW 2065 TEL: (02) 9490 9600 FAX: (02) 94381224					Client ISAAC PROPERTY DEVELOPMENTS / UNITED					Project UNITED WINDANG					Scale @ A3																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																											
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NOTES:
1. SHADOWS GENERATED USING DATA FOR WINTER SOLSTICE AT NOON.



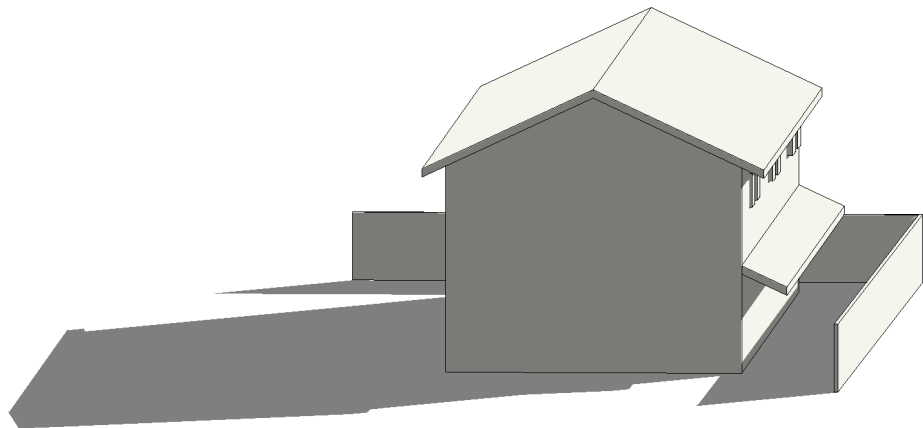
1 EXISTING SHADOW STUDY



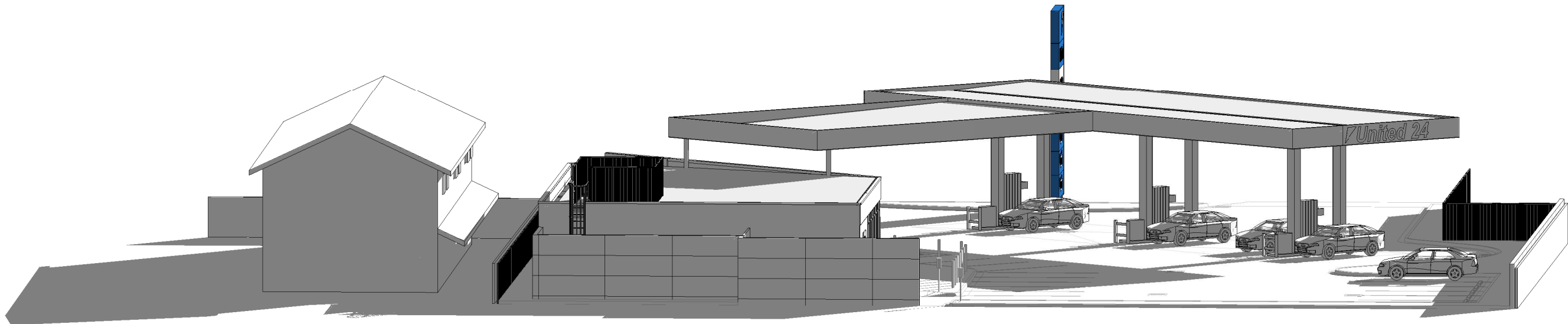
2 PROPOSED SHADOW STUDY

Revisions				General Notes				Drawing Notes				PRELIMINARY NOT TO BE USED DURING CONSTRUCTION				Architect ABN 34 001 485 436 Richmond+Ross CONSULTING ENGINEERS AND PROJECT LEADERS 38 Willoughby Road Crows Nest NSW 2065 TEL: (02) 9490 9600 FAX: (02) 94381224				Client ISAAC PROPERTY DEVELOPMENTS / UNITED				Project UNITED WINDANG				Scale @ A3			
G DA ISSUE 23.07.2020 PR PK				Do not scale this drawing. The drawing shows design intent only. All dimensions to be checked on site prior to construction or production. Construction details to be confirmed by contractor/manufacturer. This is a computer generated drawing. Do not amend by hand. Figure dimensions are to be used. Contact architect for clarification if dimensions are not clear. All dimensions are in millimeters. All discrepancies and omissions on site must be reported to the architect for their comments or approval prior to commencing work.																				Drawing 3D SHADOW STUDY - JUNE 21st NOON				Project Number Drawing Number Issue 190324 SK02 G			
E DA ISSUE 23.06.2020 PR PK																															
Issue Description				Date				Chk				Int																			

NOTES:
1. SHADOWS GENERATED USING DATA FOR WINTER SOLSTICE AT 3PM.

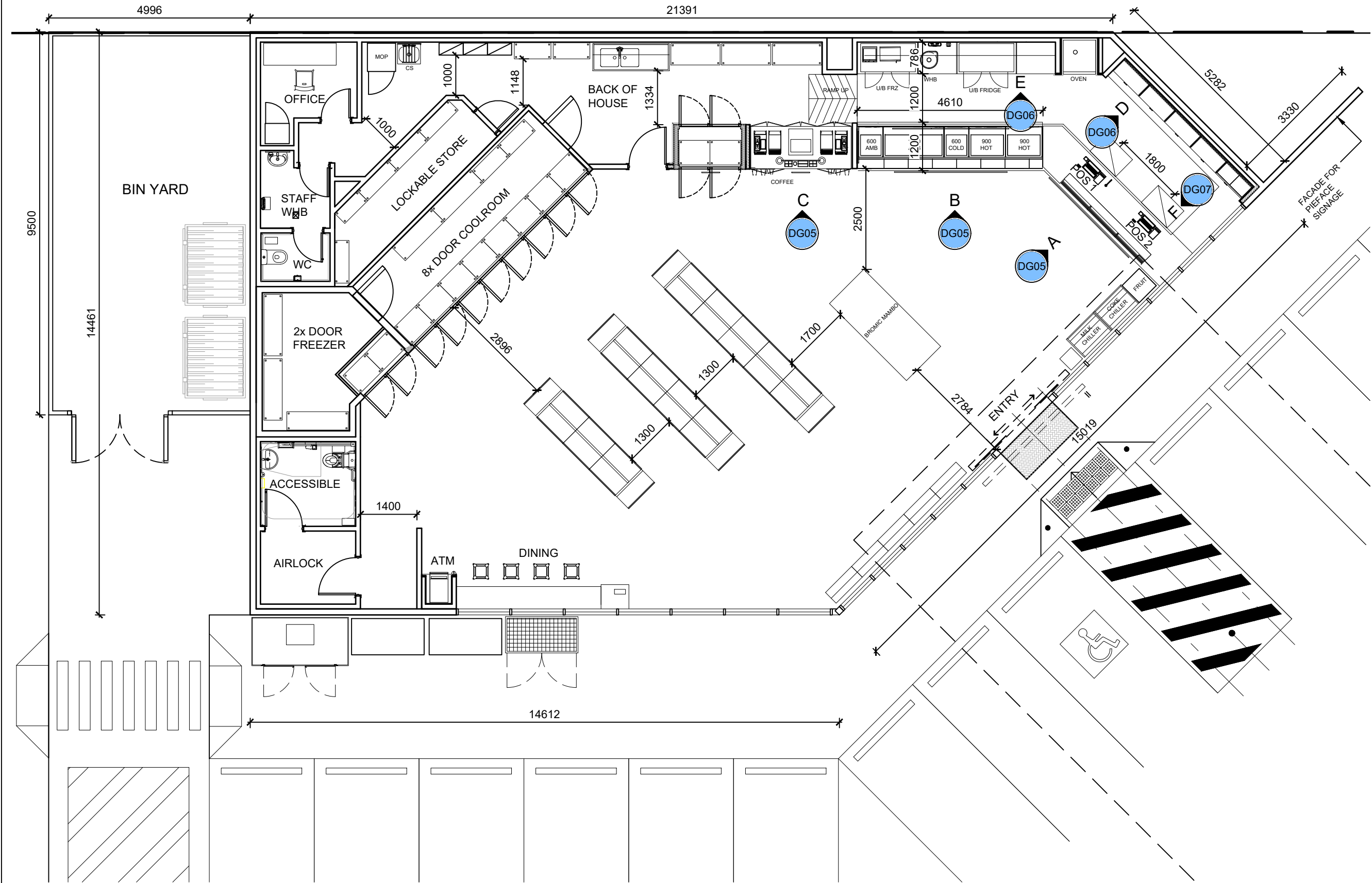


1 EXISTING SHADOW STUDY



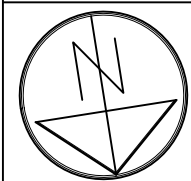
2 PROPOSED SHADOW STUDY

Revisions				General Notes				Drawing Notes				Architect				Client				Project				Scale							
				Do not scale this drawing. The drawing shows design intent only. All dimensions to be checked on site prior to construction or production. Construction details to be confirmed by contractor/manufacturer. This is a computer generated drawing. Do not amend by hand. Figure dimensions are to be used. Contact architect for clarification if dimensions are not clear. All dimensions are in millimeters. All discrepancies and omissions on site must be reported to the architect for their comments or approval prior to commencing work.				<div>PRELIMINARY</div> <div>NOT TO BE USED DURING CONSTRUCTION</div>				<div>Richmond+Ross</div> <div>CONSULTING ENGINEERS AND PROJECT LEADERS</div> <div>38 Willoughby Road Crows Nest NSW 2065</div> <div>TEL: (02) 9490 9600 FAX: (02) 94381224</div>				ISAAC PROPERTY DEVELOPMENTS / UNITED				UNITED WINDANG				@ A3							
																												Drawing			
																												3D SHADOW STUDY - JUNE 21st 3PM			
G DA ISSUE 23.07.2020 PR PK																								Project Number Drawing Number Issue							
E DA ISSUE 23.06.2020 PR PK																								190324 SK03 G							
Issue Description				Date Chk Int																											



ABBREVIATIONS	
CONVENIENCE STORE	
ATM	AUTOMATIC TELLER MACHINE
B	RUBBISH BIN
SERVICE AREA	
AM	AMBIENT DISPLAY UNIT
AFM	ANTI-FATIGUE MAT
CD	COLD DISPLAY UNIT
CZ	COFFEE ZONE
FRR	UNDER BENCH FRIDGE
FRE	UNDER BENCH FREEZER
HT	HOT DISPLAY UNIT
HB	HAND BASIN
MC	MICROWAVE
OV	OVENS
SP	SANDWICH PRESS
BACK OF HOUSE	
CS	CLEANERS SINK
WS	WASH-UP SINK
SH	STORAGE SHELVEING
SW	SWITCH BOARD
PBB	POSTEL / BLUE BOX
CC	COMMS CABINET
BC	BROOM CUPBOARD
FK	FIRST AID KIT
FB	FIRE BLANKET
FE	FIRE EXTINGUISHER
OFFICE	
CH	CHAIR
DS	DESK

NOTE :
1. REFER TO DRAWING A011 FOR INTERNAL FINISHES SCHEDULE
2. REFER TO STANDARD JOINERY DRAWINGS FOR DISTANCES AND SETBACKS.
3. REFER TO UNITED PETROLEUM MASTER EQUIPMENT LIST FOR EQUIPMENT DETAILS



REV.	BY	AMENDMENT	DATE
A	MB	FIRST ISSUE	26.03.20
B	MB	FOOD DISPLAY UNIT ADDED	27.03.20

DRAWING PRODUCED ON CAD SYSTEM.
NOTED DIMENSIONS SHALL BE TAKEN IN PREFERENCE TO SCALING.
DO NOT SCALE OR AMEND BY HAND.
VERIFY ALL DIMENSIONS ON SITE PRIOR TO CONSTRUCTION OR QUOTE.
UPON RECEIPT OF UPDATED PLANS DISCARD PREVIOUS VERSIONS.

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NAME:	MB	DATE:	March 2020
SCALE @A3:	1:100	SHEET:	2 OF 8
ADDRESS:	217 -221 WINDANG ROAD WINDANG, NSW		

DWG No:	DRAWING No:
DG02	WINDANG, NSW -SITE PLAN - 23.03.2020.dwg
TITLE:	STORE LAYOUT PLAN

 S.H.A. PREMIER CONSTRUCTION PTY.LTD 600 GLENFERRIE ROAD HAWTHORN, VICTORIA 3122 TELEPHONE 03 9413 1400 FACSIMILE 03 9413 1401	
DRAWING PATH: c:\users\mbennn_up\desktop\temp\windang\windang, nsw -site plan - 23.03.2020.dwg	
REV:	B

WINDANG SERVICE STATION

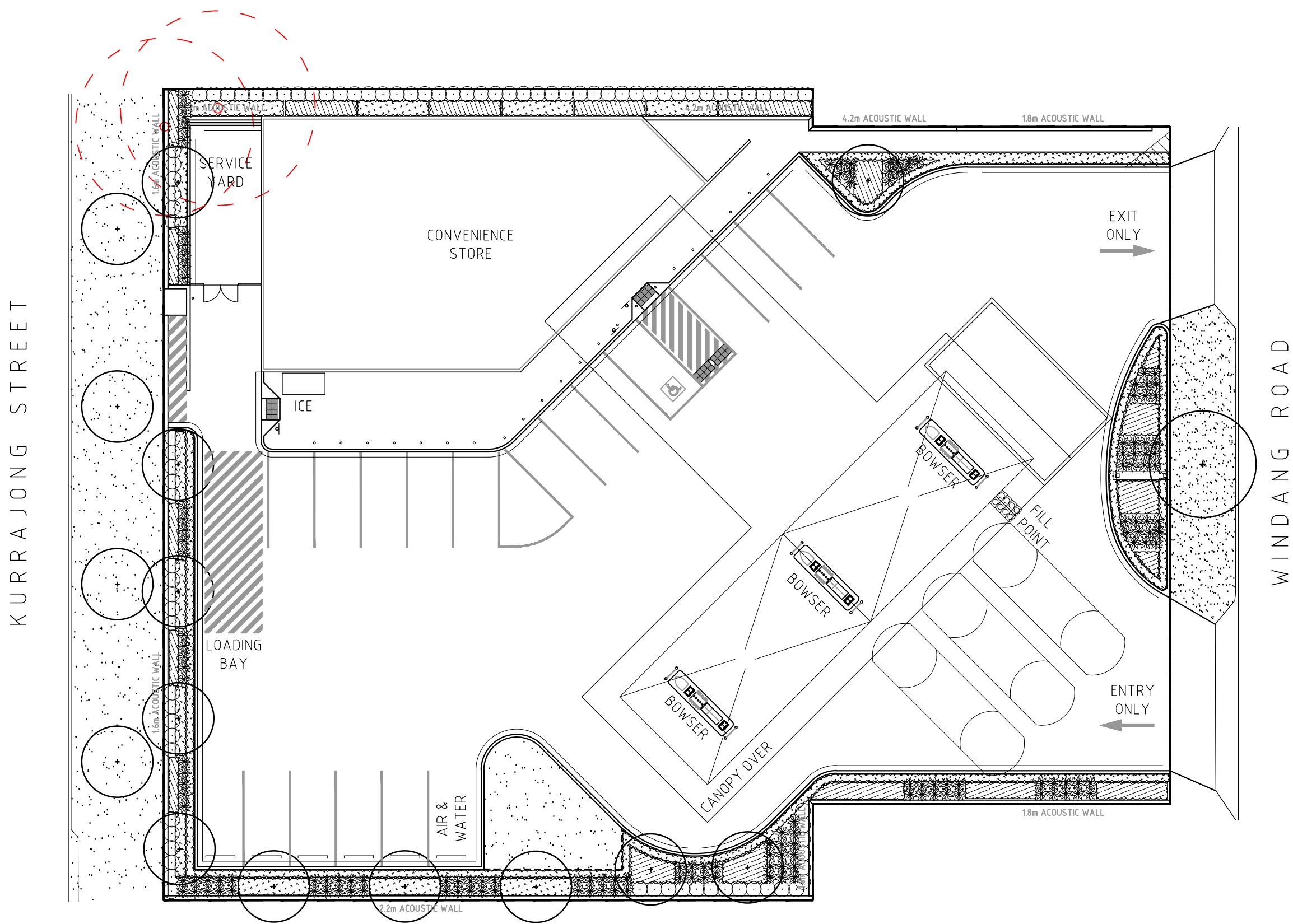
217-221 Windang Road, Windang NSW
Landscape Development Application

Drawing Schedule

Drawing Number	Drawing Title	Scale
000	Landscape Coversheet	N/A
101	Landscape Plan	1:100
501	Landscape Details	As Shown

PLANT SCHEDULE

Symbol	Botanical Name	Common Name	Height Metres	Width	Pot Size	Spacing	Quantity
Street Trees							
Cs	<i>Callistemon salignus</i>	Willow Bottlebrush	8	4	100L	As Shown	4
Lc	<i>Lophostomon confertus</i>	Brush Box	15	7	100L	As Shown	1
Trees							
Ca	<i>Cupaniopsis anacardioides</i>	Tuckeroo	7	5	100L	As Shown	11
Shrubs and Accents							
Pt	<i>Phormium tenax</i> 'Atropurpureum'	Red NZ Flax	2	1.5	300mm	As Shown	162
WBG	<i>Westringia</i> 'Blue Gem'	Blue Gem Coastal Rosemary	1.5	1	300mm	As Shown	80
Groundcovers							
Aa	<i>Agapanthus africanus</i>	Agapantha	0.7	0.7	150mm	5/m2	278
Gt	<i>Gazania tomentosa</i>	Silver Leaf Gazania	0.2	0.6	150mm	5/m2	635
LI	<i>Lomandra longifolia</i>	Mat Rush	0.7	0.7	150mm	5/m2	219



NOT FOR CONSTRUCTION

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The contractor shall check and verify all work on site (including work by others) before commencing the landscape installation. Any discrepancies are to be reported to the Project Manager or Landscape Architect prior to commencing work. Do not scale this drawing. Any required dimensions not shown shall be referred to the Landscape Architect for confirmation.

E	ARCHITECTURAL COORDINATION	SM	NM	29.06.2020
D	UPDATED FOR COORDINATION	SM	NM	06.04.2020
C	ARCHITECTURAL COORDINATION	SM	NM	03.04.2020
B	ARCHITECTURAL COORDINATION	SM	NM	18.03.2020
A	FOR COMMENT	SM	NM	05.12.2019
Issue	Revision Description	Drawn	Check	Date

LEGEND

Key Plan:

SITE IMAGE



Landscape Architects
Level 1, 3-5 Baptist Street
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Client: Isaac Property Deveopments Pty Ltd
Drawing Name: Landscape Coversheet

Project: Windang Service Station
217-221 Windang Road
Windang NSW

PRELIMINARY

Scale: Job Number: Drawing Number: Issue: SS19-4277 000 E

KURRAJONG STREET

WINDANG ROAD

NOT FOR CONSTRUCTION

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The contractor shall check and verify all work on site (including work by others) before commencing the landscape installation. Any discrepancies are to be reported to the Project Manager or Landscape Architect prior to commencing work. Do not scale this drawing. Any required dimensions not shown shall be referred to the Landscape Architect for confirmation.

D	ARCHITECTURAL COORDINATION	SM	NM	29.06.2020
D	UPDATED FOR COORDINATION	SM	NM	06.04.2020
C	ARCHITECTURAL COORDINATION	SM	NM	03.04.2020
B	ARCHITECTURAL COORDINATION	SM	NM	18.03.2020
A	FOR COMMENT	SM	NM	05.12.2019
Issue	Revision Description	Drawn	Check	Date

SM	NM	29.06.2020
SM	NM	06.04.2020
SM	NM	03.04.2020
SM	NM	18.03.2020
SM	NM	05.12.2019
Drawn	Check	Date

LEGEND

- Boundary
- Tree to be Removed
- Shrubs & Accents
(Refer Plant Schedule & Detail)

- Grasses & Groundcovers
(Refer Plant Schedule & Detail)
- Turf
(Refer Detail)
- Timber Edge
(Refer Detail)

Key Plan:

SITE IMAGE



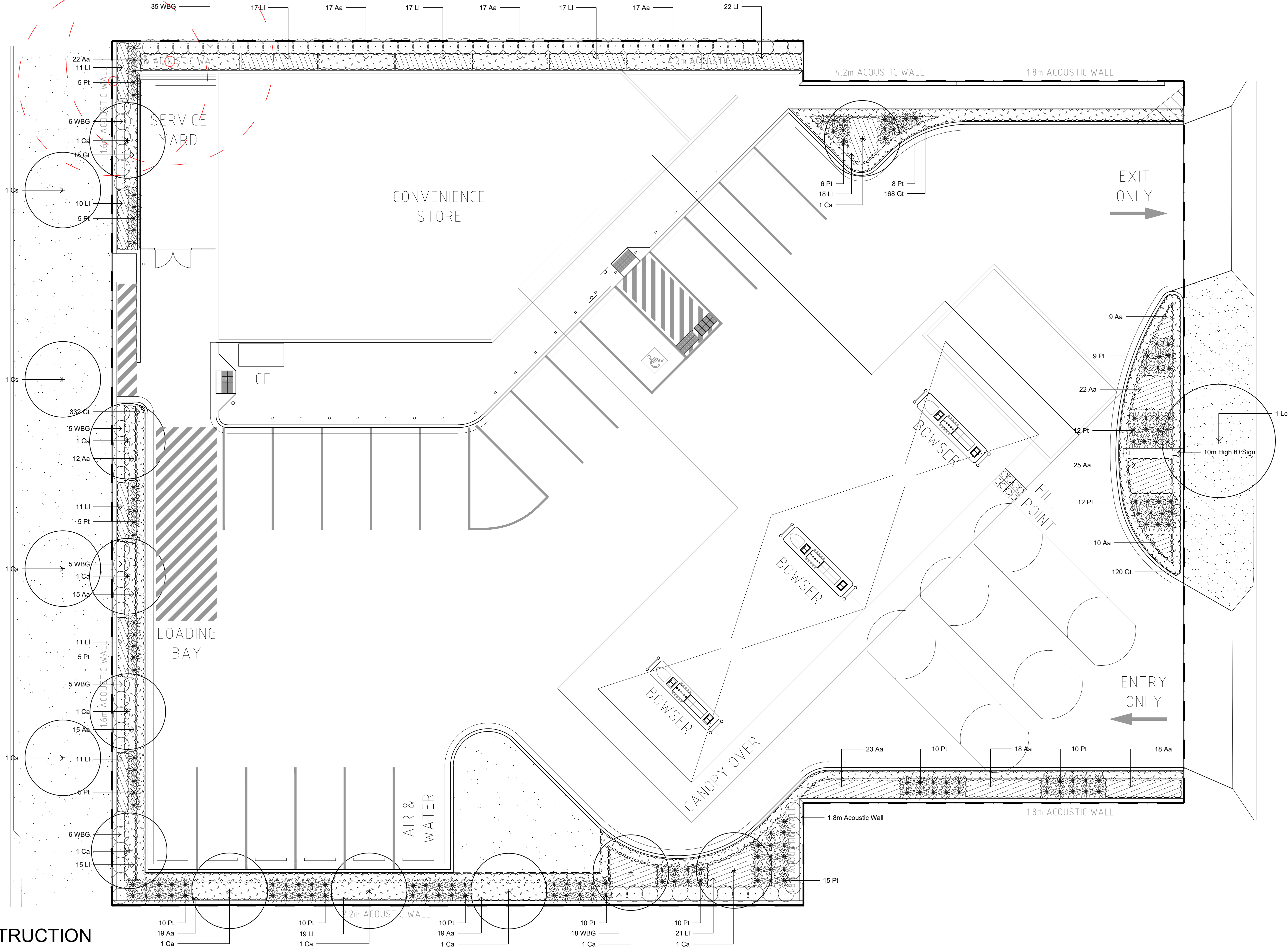
Client: Isaac Property Developments Pty Ltd
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217-221 Windang Road
Windang NSW

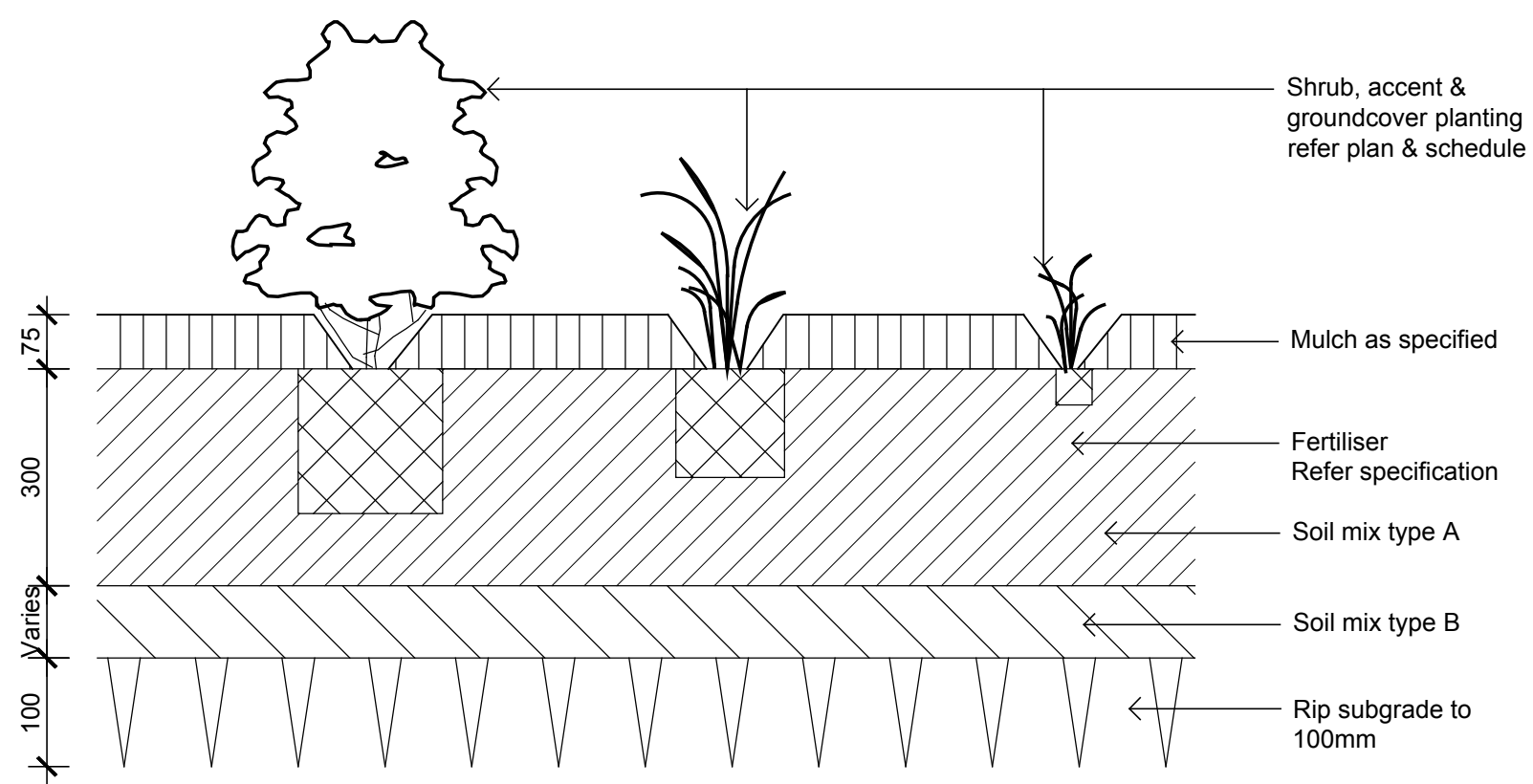
Drawing Name: Landscape Plan

Scale: 1:100 @ A1
Job Number: SS19-4277

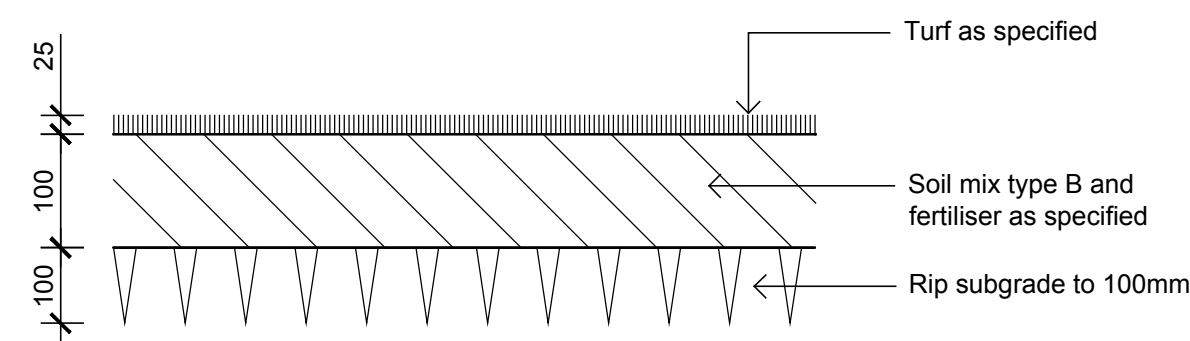
PRELIMINARY

0 1 2 3 4 5m
Drawing Number: 101 E

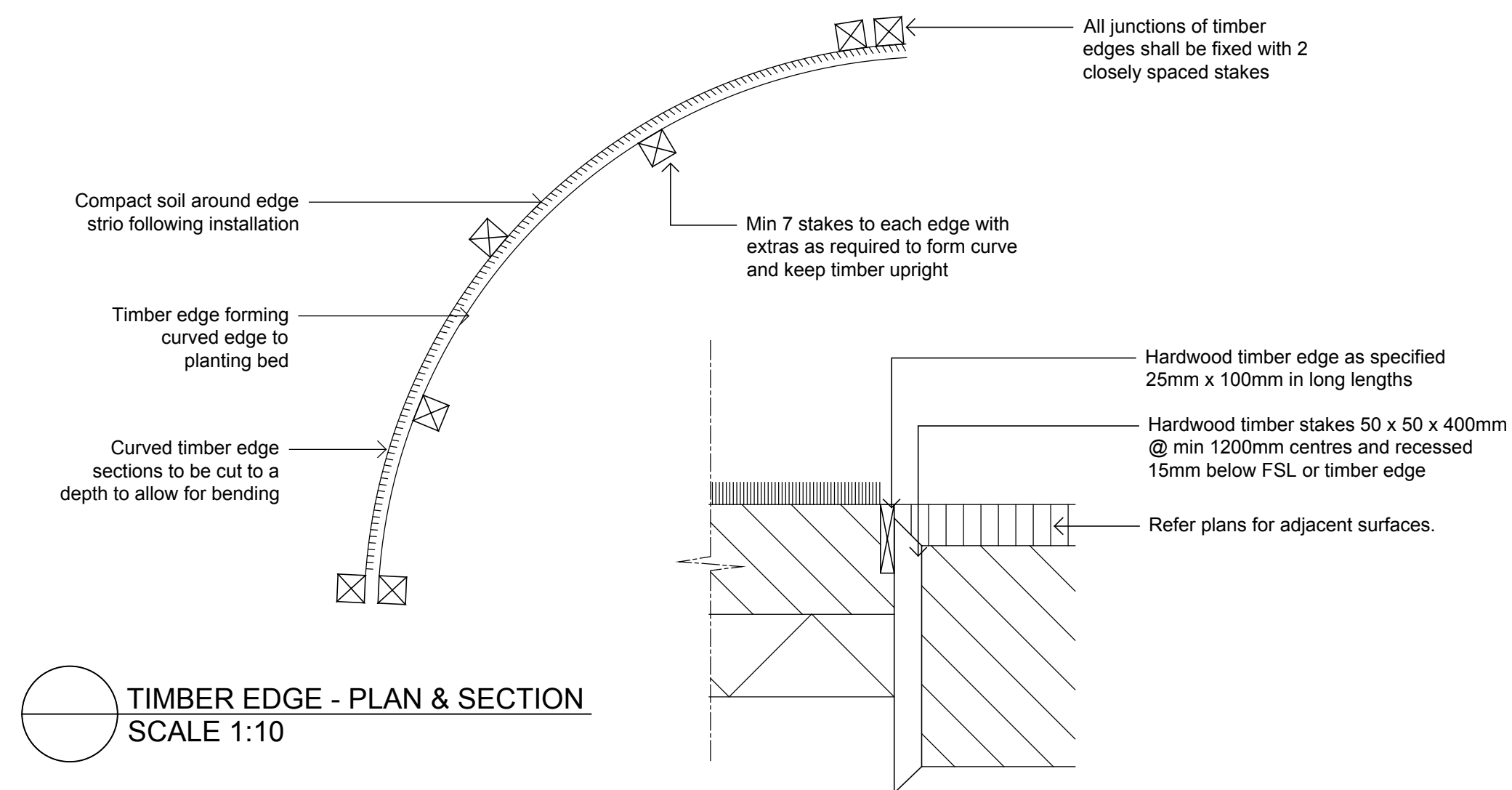




Detail Shrub Accent & Groundcover Planting on Grade
1:10



Detail Turf on Even Grade
1:10



TIMBER EDGE - PLAN & SECTION
SCALE 1:10

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LEGEND

Key Plan:

SITE IMAGE

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Client:

Isaac Property Developments Pty Ltd Landscape Details

Project:

Windang Service Station
217-221 Windang Road
Windang NSW

Drawing Name:

PRELIMINARY

Scale:

AS SHOWN

Job Number:

SS19-4277

Drawing Number:

Issue:

501 A

**PLAN OF MANAGEMENT
SERVICE STATION AT
217-221 WINDANG ROAD
AND 70-74 KURRAJONG
STREET, WINDANG**

August 2020

Introduction

This Plan of Management Plan (POM) has been prepared for the service station at 217-221 Windang Road and 70-74 Kurrajong Street, Windang NSW 2528. The proposed service station operator recognises the need to ensure the safety and security of customers, staff, workers, residents and the greater community in which the proposed development will reside.

This POM will be complied with by the service station operator on the site and should be read in conjunction with the DA issued for the site.

Objectives of the POM:

- To demonstrate the developments commitment to the ongoing amenity of staff and adjoining and nearby properties;
- To set out specific actions and procedures to manage patrons and the operation;
- To establish a process to receive and remedy complaints; and
- To promote communication between the proposed service station and the local community and residents.

Operation

This POM is to apply to the service station located at 217-221 Windang Road and 70-74 Kurrajong Street, Windang.

The POM is a dynamic document which can be updated to respond to changing procedures and practices.

All staff and management will be provided with a copy of the POM and be briefed on the requirements as part of the employment induction process. A copy of the POM will be held on site at all times.

Trading Hours

Service Station (fuel filling and convenience store):

- 24 Hours, 7 days a week

Delivery/ Servicing Hours

The delivery and waste collection hours are detailed in the table below. Both fuel deliveries and waste collection and will not occur during the sensitive night-time period. This reflects the requirements of Table 2- *Noise Generating Activities* located within the Noise Assessment prepared by Muller Acoustic Consultants.

Fuel Deliveries	Monday – Friday; 7am - 10pm Sundays and public holidays, 8am- 10pm
Waste Collection	Monday – Friday; 7am - 10pm Sundays and public holidays, 8am- 10pm
General Deliveries (fresh/dry goods etc)	24 hours, 7 days

Antisocial Behaviour

The proposed service station and will take a zero tolerance to antisocial behaviour at the premises.

Below are the safety measures which are to be put into place at the site.

- Having a well illuminated store and car park area;
- External lighting – all must be lit, functioning and an effort must be made to replace within 24 hours if not operating;
- Deterrent signage alerting patrons that the area is under constant video surveillance;
- The requirement of security providers will be reviewed upon the opening of the store and assessment of the subsequent requirement of a security provider to act as a deterrent against antisocial behaviour; and
- All staff to be made aware of the risks associated with patrons loitering within the car park area. Suspicious behaviours will be reported to the Manager, who will be responsible for requesting patrons move on quietly and peacefully. Should this be met with unruly or threatening behaviour the Police will be notified.

Surveillance System (Mandatory for all 24hr stores)

The proposed building will have a surveillance system installed so that the car park and internal areas of the premises can be viewed as required.

Minimum requirements –

- Camera CCTV system where possible, 30 days recording memory.
- Panic Alarms (Mandatory Requirement for 24hrs stores).

Additionally, the manager of the service station has the authority to refuse service to any customer not behaving in an acceptable manner. If situations escalate, the policy is to call the Police.

Dealing with Graffiti

The premises will comply with common policy in relation to all graffiti. Any damage to property by way of graffiti will be promptly removed from the site.

COMPLAINTS HANDLING

Only Managers should handle complaints

Team Members are trained to know how and when to turn over complaints to Managers.

If a Guest becomes irate and threatens someone:

1. Ask the Guest to leave the premises;
2. If the Guest refuses, consider calling the police;
3. It is recommended that a permanent file record is kept of these situations.

Be Prepared to Resolve Complaints

Team Members will be trained to handle complaints by teaching them the LAST process – Listen, Apologise, Solve and Thank.

COMPLAINTS / ISSUES FROM EXTERNAL PARTIES.

The following procedure is used to manage any complaints or issues that are raised by external parties.

Public

Any issues that are raised by members of the Public are:

- Recorded in the premises diary noting the day time and address of the complainant and dealt with by the Shift manager/Premises Manager;
- The complaint is then entered via an internal tracking system into a database where it is logged and it is required to be addressed within the 72 hour period;
- If the complaint cannot be resolved at this level, the District Manager and/or State Manager will then be consulted; and
- All complaints are reviewed with all managers at the Weekly Managers meeting.

Issues are raised as an Incident Report or "Complaints Form" and are addressed by premises management through the Incident Reporting procedure and a copy of the Incident report with corrective action sent to the District Manager and OHS Manager.

State Health & Safety Regulatory Authority

Any Notice / document / request that are raised by a State Health & Safety Regulatory Authority Inspector must be immediately communicated to the OHS Manager who will then ensure that all other appropriate personnel are informed. The OHS Manager will then develop an Action Plan / Actions with responsibilities to address the issue raised.

LITTER MANAGEMENT

Rubbish

Rubbish from the site shall be picked up or disposed of daily by store staff and put into the rubbish bins.

The enclosure and/or gates to the service yard must not have significant damage or disrepair and will be kept free of any accumulation of equipment, materials, or food/grease residue that contribute to pest harbourage.

Waste receptacles at the site will be kept clean, in good repair, covered and odour free.

The site will be kept clean and free of grease/food accumulation.

All car park bins are to be checked regularly and have the refuse removed to the waste area which is hidden from public view.

The frequency of collection of rubbish is based on an as needs basis to be confirmed upon commencement of operation.

Property Cleanliness

Throughout the day, litter and trash will be disposed of on a regular and frequent basis as needed but not less than once per hour during daylight hours (after nightfall, safety considerations may dictate a different litter pickup schedule).

All paved areas will be kept free of a significant accumulation of grease, oil, chewing gum, stains, straw wrappers and cigarette butts.

All rubbish, waste, grease and water used to rinse outside, cleaning chemicals will be disposed of in a manner that is environmentally safe and in compliance with regulatory requirements.

Conclusion

Compliance with the POM aims to ensure the site remains a safe and welcoming place to visit.

Attachment 2: Site Photos



Figure 1: Aerial image of the site and the surrounding area (2018)



Figure 2: Aerial imager of the site and surrounding area (1993 – showing previous service station)



Figure 3: Site looking towards the south



Figure 4: Rear (east) portion of site adjacent to existing residential boundary fence (north)



Figure 5: Site viewed from existing Windang Road footpath, facing north-east



Figure 6: Neighbouring multi dwelling housing located to the south of the development site



Figure 7: Site viewed from Kurrajong Street frontage



Figure 8: Development site adjacent to rear yards of neighbouring multi dwelling housing units

Attachment 3

PRE-LODGEMENT NOTES – PL-2019/95

24-July-2019

Property:	70-74 Kurrajong Street, WINDANG NSW 2528, 217-221 Windang Road, WINDANG NSW 2528 Lot 4 Sec G DP 19008, Lot 5 Sec G DP 19008, Lot 6 Sec G DP 19008, Lot 24 DP 17906, Lot 25 DP 17906, Lot 26 DP 17906	
Proposal:	Service Station	
Attendees:	Council:	Nigel Lamb – City Centre and Major Projects Manager (Acting) Rebecca Welsh - Senior Development Project Officer Andrew Heaven – Manager Development Engineering Charlie Bevan – Traffic Engineer Suri Mora – Senior Environmental Officer Nyrie Ryss-Davis – Landscape Officer
	Proponent:	Eliza Potter and Jessica Thomas – Isaac Property Developments Kate Young - KDC (Planner) – via tele-conference

Proposal/Project Overview:	Construction of service station and convenience store proposed for 24 hour operation. It was noted that the proponents specialise in service station developments around the state.
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Main Issues:

- Preferred vehicle access is from Windang Road rather than Kurrajong Street due to the potential amenity impacts on surrounding residential properties from vehicle access to/from Kurrajong Street (eg late night noise, traffic, headlight glare and light spillage).
- Interface with surrounding residential area and potential noise/amenity impacts, particularly due to 24 hours operation.
- How site constraints will be managed including flood affected land and contamination issues (previous service station use/underground storage tanks).
- The built form and setbacks of proposed convenience store needs to consider and appropriately respond to adjoining residential development.

The proposal

The proposal is for a new service station on a vacant site with a convenience store. It is proposed to operate 24 hours a day/7 days a week.

It is noted that the site has previously been used as a service station and demolition was approved in 1998 (RE-14/98).

Site description and constraints

- The land is identified as being located within a medium flood risk precinct. Considerations in this regard are discussed under Stormwater and flooding comments below.
- The site is identified as being contaminated land.
- The land is located on a classified road. Generally, additional access off a classified road is not supported however Council's preference is for vehicle access to be provided from Windang Road only with Kurrajong Road to be provided with pedestrian access only. Consultation with RMS will be required given Windang Road is a classified road.
- Class 3 acid sulfate soils

A Section 10.7 Certificate should be obtained to clarify details on any constraints affecting the proposed development site. All relevant site constraint reports should be included within the Statement of Environmental Effects.

- **10.7 (2) Certificate** - Provides information about the zoning of the property, the relevant state, regional and local planning controls and other planning affectations such as heritage, land contamination and road widening; and
- **10.7 (2) and (5) Certificate** - Provides additional advice regarding demolition, foreshore building lines, other heritage considerations and general advice.

General planning issues:

- Compliance tables for both instruments (WLEP 2009 & WDCP 2009) should be detailed within the documentation and submitted for assessment with any application lodged. Any variation to a control contained within the WDCP 2009 should be accompanied by a variation statement.
- A comprehensive Site and Context Analysis Plan prepared in accordance with the minimum standards outlined within Chapter A1, Section 9 of Wollongong Development Control Plan 2009 is to be submitted with the development application.
- The applicant must adequately address all site constraints and submit all relevant constraint reports with the development application.
- A comprehensive set of architectural plans must be prepared in accordance with the minimum standards outlined within Part A, Chapter A1 of WDCP 2009. These should include plans illustrating all existing structures onsite, site plans, floor plans, elevations, sections, shadow diagrams, demolition plans, subdivision and concept strata subdivision plans.
- A schedule of external finishes is to be provided and should include samples of proposed colours and materials.
- The proposal when lodged will be notified in accordance with Wollongong Development Control Plan 2009 – Appendix 1: Notification and Advertising Procedures.
- It is noted that operation of the service station and associated convenience store is proposed for 24 hour/7 days a week operation. Information addressing how the potential impacts of the operation will be mitigated on surrounding residential areas through the design, site layout and operational management must be provided within the Statement of Environmental Effects.
- An acoustic report will need to accompany the application.

Applicable planning controls

State Environmental Planning Policy No 33—Hazardous and Offensive Development

The development application should be accompanied by a Preliminary Hazard Analysis in accordance with the current circulars or guidelines published by the Department of Planning.

State Environmental Planning Policy (Infrastructure) 2007

Under clause 101 of this policy, generally vehicular access is to be provided by a road other than the classified road. It is noted that the site has previously been used for a service station and there are two (2) existing vehicle access points. Given that the site encompasses lots fronting Kurrajong Street, which is predominantly a residential street, Council's preference would be to utilise the existing access points from Windang Road and not allow any vehicle access to/from Kurrajong Street to minimise amenity and traffic impacts to the surrounding residential properties.

This would rely on the RMS supporting the access arrangements. It is recommended that contact be made with RMS regarding access from Windang Road prior to progressing the design. In this instance, Council does not object to the access from Windang Road.

State Environmental Planning Policy No 64—Advertising and Signage

Signage should satisfy the assessment criteria in Schedule 1 of this policy.

State Environmental Planning Policy No 55—Remediation of Land

Council records indicate the site is potentially contaminated. In this regard, in determining the any application, Council will need to be satisfied that the land is suitable in its contaminated state (or will be suitable, after remediation) for the purpose for which the development is proposed to be carried out.

State Environmental Planning Policy (Coastal Management) 2018

The site is identified under the SEPP as being within the Coastal Environment area. The DA must address the relevant provisions of the SEPP, including (but not limited to) Division 4 and Division 5.

Protection of the Environment Operations (Underground Petroleum Storage Systems) Regulation 2014

Installation or decommissioning of tanks will be required to be undertaken in accordance with this Regulation.

Wollongong Local Environmental Plan (WLEP) 2009

- Clause 2.3 Zone objectives and Land Use Table: Zoned: B2 Local Centre: Service stations are permitted with consent in the zone.
- Clause 4.3 Height of buildings: A maximum building height of 11m is permitted. It is noted that no elevation/section plans were provided as part of the pre-lodgement plans.
- Clause 4.4 Floor space ratio: A maximum floor space ratio of 0.75:1 is permitted.
- Clause 7.1 Public Utility Infrastructure
- Clause 7.3 Flood planning: See comments at Chapter E13 and E14 below.
- Clause 7.5 Acid Sulfate Soils (Class 3)
- Clause 7.6 Earthworks

- Clause 7.13 Certain land within business zones – it is noted that subclause 3(b) requires one entrance and one other door or window to be provided on the front of the building facing the street other than a service land. Given that the proposed convenience store is likely to be oriented towards Windang Rd, no door or window facing Kurrajong St would be necessary (i.e. it is not the front of the building).

Wollongong Development Control Plan 2009

There is no specific DCP chapter for Service Station developments. However relevant chapters that need to be addressed include:

- Chapter A2 Ecologically Sustainable Development
- Chapter B4 Development in Business Zones
- Chapter C1 Advertising and Signage
- Chapter D1 – Character Statements
- Chapter E1 Access for People with a Disability
- Chapter E2 Crime Prevention Through Environmental Design
- Chapter E3 Car Parking, Access, Servicing/Loading Facilities and traffic Management
- Chapter E6 Landscaping
- Chapter E7 Waste Management
- Chapter E13 Floodplain Management
- Chapter E14 Stormwater Management
- Chapter E19 Earthworks
- Chapter E20 Contaminated Land Management
- Chapter E22 Soil Erosion and Sediment Control

Chapter B4: Development in Business Zones

Controls of relevance to the proposal are as follows:

- *7.7 Windang Town Centre*
 6. A maximum 2 storey height limit applies.
 7. A zero front setback is required, however given the nature of the use, a variation to the front setback could be considered where a variation statement is submitted with the DA.
 8. A zero-lot line side setback is permitted. The convenience store is proposed for the convenience store on the southern boundary. Consideration must be given to the overshadowing and amenity impacts of this setback on the adjoining townhouses. A zero-lot line side setback may not be appropriate based on the potential impacts on the adjoining site. An appropriate site layout and built form will need to be informed by the overall site context and surrounding development.

This part requires a minimum 5 metre set back from the front boundary is to be provided for landscaping along the full length of the property with frontage to an arterial or sub-arterial road. A 3 metre minimum deep dense landscaped area is required along the full length of the property frontage to a collector or local road.

Any variation to applicable DCP controls must be supported by a variation statement in accordance with Chapter A1 of the DCP.

Chapter C1: Advertising Signage and Structures

The plans provided at the pre-lodgement meeting identified one (1) two pylon sign which satisfies the requirements under section 9.5 which permits a *maximum of one (1) pole or pylon sign per site*. Any other signage must be clearly identified in the application having regard to the provisions of this chapter.

Wollongong City-Wide Development Contributions Plan 2018:

A development contributions levy will apply to the proposed development if approved. A detailed cost estimate report is required to be provided in conjunction with the Development Application. (Please note: Council uses the Cordell's Ecosting Guide to confirm the accuracy of construction cost estimates).

Stormwater/Flooding:

- The development is subject to the controls and requirements in Chapters E13 (Floodplain Management) and E14 (Stormwater Management) of the Wollongong Development Control Plan (WDCP) 2009, the adopted Lake Illawarra Floodplain Risk Management Study and Plan (FRMS&P), the NSW Government Floodplain Development Manual (2005), and Clause 7.3 of the Wollongong Local Environment Plan (LEP) 2009.
- Council's records indicate the property is Flood Affected. Flood information can be obtained via Council's Flood Level Information Request Form found on Council's website www.wollongong.nsw.gov.au or via Council's online services. Flood level information is also available in the adopted Lake Illawarra FRMS&P (available on Council's website).
- An independent detailed survey plan of the site prepared by a registered surveyor to Australian Height Datum (AHD), including lot boundaries, contours/spot levels, easements, services, roads, etc. will need to be submitted with the development application.
- A report from a suitably qualified civil engineer will need to be provided with the development application delineating the flood risk precincts for the site and addressing how the proposal will satisfy the requirements Chapter E13 of the WDCP2009 and adopted Lake Illawarra FRMS&P, including controls, objectives, performance criteria, and allowance for climate change.
- The flood risk precincts for the site will need to be delineated based on flood levels and detailed site survey.
- The development site is located within the Windang Peninsula (as shown in Figure E1 of the Lake Illawarra FRMS&P) and is therefore subject to the controls in 'WINDANG PENINSULA FLOODPLAIN DCP MATRIX' in Appendix E of the adopted of the adopted Lake Illawarra FRMS&P.
- The proposed land use will need to be categorised in accordance with Appendix A: Land Use Categories of Chapter E13.
- The design will need to ensure no reduction in flood storage capacity on the site. In this regard it is recommended that the report from the engineer considers previous uses that have existed on the site.

- A stormwater concept plan will need to be prepared by a suitably qualified civil engineer in accordance with Chapter E14 of the Wollongong DCP2009 and submitted with the development application.
- Stormwater disposal from the development will need to be in accordance with Section 11.3 of Chapter E14 of the Wollongong DCP2009.
- The landscape and stormwater plan for the development will need to be compatible.

Contact Details: The applicant's Consulting Engineer may contact Council's Stormwater Engineer through Council's Customer Service Centre on the telephone number (02) 4227 7111 if any issues arise through the design phase prior to the lodgement of the development application.

Traffic:

General

- The applicant should refer to Chapter E3 – Car Parking, Access, Servicing/ Loading Facilities and Traffic Management of the Wollongong Development Control Plan 2009.
- The applicant must provide all internal access dimensions on the site plan, including grades, access widths, parking aisle widths which comply with AS2890.1.
- A Traffic Impact Assessment (TIA) will need to be prepared by a suitably qualified consultant. The TIA must demonstrate that the access arrangements meet the required standards and will not impact on any adjacent intersections.

Access and Manoeuvring

- The proposed access design must comply with the AS2890 series and be designed for the largest anticipated vehicle to enter the site with adequate clearances adjacent to obstruction such as high walls.
- The proposed development needs to provide access and turning for an articulated vehicle (demonstrated with swept paths) as per Schedule 1 of Chapter E3 of the DCP.
- The access design should ensure that adequate pedestrian and vehicle sight distance is provided as per AS2890.1.

Parking

- Car parking, bicycle parking and motorcycle parking must be provided in accordance with Schedule 1 of Chapter E3 of the DCP.
- The applicant is able to reduce the car parking requirements by 10% based on the proximity of bus stops (within 400 metres) as per Clause 7.4 of Chapter E3 of the DCP.

Disabled Car Parking

- Disabled car parking must be provided. The specification must be in accordance with AS2890.6.

Employee Bicycle Security

- The applicant must show the location of required bicycle parking in an accessible area within the site. These spaces must have adequate weather protection and the appropriate level of security as required by AS2890.3.

Waste Servicing and Deliveries

- Waste collection details are to be provided, such as the location of the bins for storage and collection, method of collection, and size of collection vehicle.
- Waste must be collected from within the site, turning for waste collection vehicles (no more than 3 turning movements) should be demonstrated using swept paths. Overhead clearances must also be observed.

Contact Details: The applicant's Traffic Engineer may contact Council's Traffic Engineer through Council's Customer Service Centre on the telephone number (02) 4227 7111 if any issues arise through the design phase prior to the lodgement of the development application.

Landscape:

- The developer is required to submit a Landscape Plan (scale 1:100 or 1:200) as part of the Development Application in accordance with the requirement of Chapters E6 – Landscape, B3 Mixed Use Development, B4 – Development in Business Zones and E17 – Preservation and Management of Trees and Vegetation of Wollongong Development Control Plan 2009. The landscape plan must identify all proposed retaining walls, driveways, fences existing/proposed and existing vegetation to be removed/or retained and any proposed car parking area.
- The Landscape Plan is to be prepared by a registered Landscape Architect.
- Site and Context Analysis plan to be provided in accordance with the requirement of Chapter E6 – Landscape of Wollongong Development Control Plan 2009 and Chapter A1 Clause 9 Site and Context Analysis.
- The landscape plan and drainage plan must show all existing trees and vegetation on site and on adjacent properties in proximity to proposed development accurately plotted, species identified and numbered corresponding with any arborist report submitted. Clearly show which trees are to be retained or removed.
- An Arborist Report is required in relation to any tree on the subject site (other than an exempt tree) and trees on neighboring properties that will be affected by the development, if it is 3 metres or more in height, or has a trunk diameter of 200mm or more at a height of 1 metre from the ground, or has a branch spread of 3 metres or more. The Arborist report must be prepared in accordance with the requirements of Chapter E17.
- Where the car park adjoins the boundary a minimum 1.5m landscape planting bed is required.
- Pedestrian and vehicular movements in the car park area are to be clearly separated using devices such as paving, kerb, bollards and line marking.
- Regarding the public domain to Windang Road, the applicant is responsible for providing a full width paved footpath, extending from the building alignment to the back of kerb, and for the full frontage of the subject site. Maximum cross-fall for the footpath is 2.5%. The landscape plans are to be amended to include the following public domain design features;
 - Footpath paving: Austral Bricks London paver (or approved equivalent); colour: Chestnut; Size: 230x114x65mm; Pattern: 90° herringbone.
 - Footpath header course and feature banding: Urbanstone 'Spinifex'; size: 600x400x60mm; finish: milled (or approved equivalent). Banding to be at approximately 8-10m centres.
 - Driveway: Austral Bricks London paver (or approved equivalent); colour: Chestnut; Size: 230x114x65mm; Pattern: 90° herringbone. Driveway detail to be designed by a suitably qualified engineer to withstand industrial trafficable loads.

- Adjusted service pits as required to achieve a level footpath with maximum 2.5% cross-fall.
- Regarding the Public Domain to Kurrajong Street frontage, a 1.5m wide footpath is to be provided. Overhead power lines along this street will only allow for low level street tree planting.
- Fencing, planting and material selection to be sympathetic with adjoining areas. Details are to be provided with the development application.
- Integration with the stormwater management and overall development is required: Site landscaping must be integrated with the stormwater management (drainage) controls. In particular, the location and nature of on-site stormwater detention should not conflict with landscaping areas and objectives.
- Safer By Design (CPTED) principles to be adhered to.

Contact Details: The applicant's Landscape Architect may contact Council's Landscape Architect/Design Officer, through Council's Customer Service Centre on the telephone number (02) 4227 7111 if any issues arise through the design phase prior to the lodgement of the development application.

Environment:

- Council's records indicate a contaminated land constraint for the site. Service station (Caltex) was approved in the 1970's.
- Though Caltex (previous site owners) have removed the underground storage tanks, associated structures and remediated the land, Council has not received a validation report for the site stating that the site has been remediated and will not have adverse impact on soil and groundwater.
- The Statement of Environmental Effects Report shall address the previous use, site contamination and include all remediation reports and site validation report.
- Acid Sulphate Soils: The site is identified as being affected by class 3. Details of the depths on any excavations are to be provided and the applicant must address Clause 7.5 - Acid Sulphate Soils of Wollongong Local Environmental Plan 2009 within the Statement of Environmental Effects.


Installation and commissioning of a new UPSS

- All the requirements of the The Protection of the Environment Operations (Underground Petroleum Storage Systems) Regulation 2014 must be followed when a new UPSS site is planned, installed and commissioned.

Please note: If construction cost estimate is known you may obtain a lodgement fee quote by contacting Council's Customer Service Centre on the telephone number (02) 4227 7111

WHAT INFORMATION IS NEEDED WITH A DEVELOPMENT APPLICATION?

In order for Council to conduct a proper and informed assessment of your application, the following information must be submitted.

( Required information)

- | | |
|-----------------------------------|--|
| * Owner's Consent | * Traffic Generation Impact Assessment |
| * Survey Plan | * Plan of On-Site Traffic Movement/Parking/Loading |
| * Site Context Analysis Plan | * Stormwater Concept Plan |
| * Demolition Plan and Photographs | * Landscape Concept Plan |

- | | |
|---|---|
| <ul style="list-style-type: none"> * Statement of Environmental Effects * Site Plan * Floor Plans Building Elevations Plans * Building Sections Plan(s) * Shadow Profiles and Plans * Schedule of External Finishes * Photo Montages/Perspectives * Streetscape Sketch * Design Method/Approach * Geotechnical Report * Flood Impact Report/Study * Contamination Report * Acid Sulphate Soils Report | <ul style="list-style-type: none"> * Arborist Report (if tree removal proposed that is not exempt) * Acoustic Report * Disabled Access Design Provisions * Site Management Plan/Staging Plan * Waste Management Plan * Consultation with State Agencies Consultation with Surrounding Resident |
|---|---|

OUR AGREEMENT:

This pre-lodgement information does not constitute an approval.

This meeting note represents an agreement for the submission of information considered necessary for the timely determination of an application.

The notes are provided in good faith to assist applicants in the preparation of a development application. Relevant legislation and Council's requirements can vary from the time of this meeting to lodgement of the application. Public exhibition of the application can also raise unexpected relevant issues requiring lodgement of new or amended information.

Accordingly Council's final position on the proposal can only be made once a development application has been lodged and assessed.

Senior Development Project Officer: Rebecca Welsh

Attachment 4: Development Control Plan 2009 Assessment

CHAPTER A1 – INTRODUCTION

8 Variations to development controls in the DCP

Variations can be considered when the proposal meets the requirements specified in this section as follows:

(a) The control being varied

Control	Requirement	Proposal
Chapter C1: Advertising and Signage Section 9.1 – Fascia Signs	(1) Maximum of one fascia sign per building awning	2 fascia signs on the building frontage, including 1 above the entrance and 1 above the shopfront glazing
Chapter C1: Advertising and Signage Section 9.5 – Pole and Pylon Sign	(4) The maximum height of a pole or pylon sign is 8m	The fuel price sign has a maximum height of 9m.

(b) The extent of the proposed variation and the unique circumstances as to why the variation is requested

The applicant has submitted the 2 awning fascia signs are typical for a service station, particularly as fuel outlets typically represent at least 2 different businesses, relating to the retail outlet and the fuel brand available. The building has a large frontage, and the signs do not occupy a substantial portion of the elevation.

The applicant has submitted the 9m high fuel sign is typical for a service station, and is required to ensure all necessary details are included on the fuel sign as required by NSW Fair Trading. The proposed sign will not have a significant impact on the surrounding area compared to a compliant proposal.

(c) Demonstrate how the objectives are met with the proposed variations

(a) To ensure all advertising signage achieves a high level of design quality in terms of its relationship to the architectural design of buildings and streetscape character of a particular locality

The proposed signage is considered acceptable with regard to the design of the building, the proposed land use and the character of the surrounding area.

(b) To encourage advertising signs which complement the architectural style of the buildings

The proposed signage is considered typical for a service station and is considered acceptable, and consistent with the architectural style of the building

(c) To promote advertising signage which complement the use of the building

The proposed signage is considered to be consistent with the proposed use of the building.

(d) To encourage suitably located signs that provide a legible and clear message through the use of high-quality materials and design

The signage is considered to provide legible and clear messaging. The pylon sign provides the legally required details as per Fair Trading requirements. The awning signs includes details of two separate brands operating through the retail outlet, which is typical for a retail outlet.

(e) To ensure that advertising signs and structures do not cause any adverse traffic hazards to motorists, cyclists and pedestrians

The proposed sign is not considered likely to have a significant impact on traffic, or cause a hazard to motorists, cyclists or pedestrians.

(f) To reduce the proliferation of advertising signs and structures through the rationalisation of advertising signs by the use of common directory pylon signs for multi-occupancy developments and by limiting the number of signs that may be erected on any one building or site

The number of signs proposed is typical for a service station, and is not considered to result in excessive signage on the site. All windows remain clear of signage, and the signage is consistent with the architectural elements of the building.

(g) To ensure that advertising signs do not affect the amenity of any surrounding residential locality from light spillage impacts associated with illuminated signs

The signage on the site is not expected to impact the amenity of the surrounding residential land uses. The proposed signs are suitably separated from the residential uses and are not likely to result in light spillage impacts. A condition will be included on the consent to ensure any illumination is consistent with the relevant Australian Standard.

(g) To prohibit third party advertising

Third party advertising is not proposed. A condition is recommended to ensure third party advertising is not included unless separately approved.

(h) To ensure that the use of corporate logos, colours and illumination schemes in advertising signs is compatible with the architectural style of the host building and does not cause any significant adverse visual impact upon the surrounding streetscape character of the locality.

The proposed signage is considered to be compatible with the proposed use, the architectural style and the surrounding area. The visual impact of the signage is not considered to be excessive.

(d) Demonstrate that the development will not have additional adverse impacts as a result of the variation

The proposed non-compliance is not considered likely to have an adverse impact on the surrounding area. The building design and signage is typical of a service station use, and is considered acceptable given the direct frontage of the site to a main road and the Local Centre zoning of the site.

The proposed signage is therefore considered acceptable in the circumstances.

CHAPTER B4 – DEVELOPMENT IN BUSINESS ZONES

The development is located in a business zone and as such this chapter is applicable to the development. An assessment against the relevant sections is outlined below.

2 Objectives

The development is considered consistent with the objectives of development in business zones. The relevant objectives to this development are outlined below.

- (a) *Facilitate retail and business developments in a manner that is consistent with Wollongong's retail and business centre hierarchy strategy*

The proposed development is not inconsistent with the expected development within the Windang Town Centre, particularly considering the location of the site, with a direct frontage to a main road.

- (b) *Ensure large retail and business development does not detrimentally affect existing or business zones or the range of services offered by existing retail shopping centres in existing business zones*

There is no other southbound service station within vicinity of the proposed development site. The proposed development is not expected to have a detrimental effect on existing services and retail tenancies within the Windang Town Centre.

- (c) *Ensure that buildings for retail and business development are of a high urban design standard and made a positive contribution to the streetscape and street activity*

The proposal is generally consistent with the design of other similar service stations, and it not expected to have a significant impact on the streetscape. Suitable pedestrian access is provided from both frontages, and landscaping proposed may provide a positive contribution to the streetscape.

- (e) *Provide transitions in built form between retail and business centres and surrounding residential areas*

The site shares a boundary with a dwelling house and recreational area to the north and a multi dwelling housing building consisting of 3 dwellings and commercial development to the south. To the east, across Kurrajong Street consists of dwelling houses.

The proposed development proposes a 1.5m setback to the southern boundary, which was increased from the originally proposed zero setback following feedback from Council. The proposed setback, and the height of the proposed built form is not expected to have a significant amenity impact on the neighbouring residential land uses. The scale of the development is generally consistent with other surrounding commercial development.

- (g) *Facilitate the construction of development with efficient environmental performance over its lifecycle*

The application was referred to Council's Environmental Officer who has recommended conditions to ensure adequate environmental performance.

- (k) *Ensure that there is adequate car parking, servicing areas and loading/unloading facilities to satisfactorily cater for retail and business development*

The proposal has suitable car parking, loading facilities and servicing areas.

3 Retail and business centre hierarchy strategy

The site is within the Windang Town Centre.

The proposed service station is considered to be generally consistent with the expected development within town centres and does not detract from existing retail premises in the vicinity.

The proposed development provides for the regular needs of local residents as it provides essential services including fuel and convenience/food items. Due to the location of the site accessible directly from the classified road, the development will also provide for visitors to the area, and passers-by.

4 Economic impact assessment – retail hierarchy

Not applicable.

7 Planning requirements for development in the town centres

7.7 Windang Town Centre

Requirements	Compliance	Comment
4. Any new retail development shall be restricted to land within the business zone and provide for the needs of surrounding residents and tourists	Yes	The provision of a service station is consistent with this requirement.
5. Maximum FSR: 0.75:1	Yes	The proposed FSR is 0.14:1
6. Maximum number of storeys: 2	Yes	The proposed building is single storey and of a similar scale and height as surrounding development.
7. The ground and first floor levels of any new building shall incorporate a zero front building line setback	No but considered acceptable	The design of the proposed development is considered acceptable for the site. Pedestrian access to the site is enhanced, and the development is considered to activate the street. Appropriate landscaping conditions for the public domain are recommended.
8. Buildings may have a zero lot line side setback and must have a minimum 6m rear setback	Yes	Although a zero side setback is permissible, the side setback adjacent to the neighbouring multi-dwelling housing was increased to 1.5m to reduce the overshadowing and amenity impact on the neighbouring site.

9 General design requirements for retail and business premises developments

9.2 Development Controls

9.2.1 Floor Configuration

The development provides for level access from the footpath to the site.

9.2.2 Building Appearance

The proposed building is typical for a service station and not considered inconsistent with the surrounding development.

9.2.4 Active Street Frontages

The development is considered to create an active frontage. Site lines into the retail premises are maintained through windows facing the street and parking area.

Window signage previously proposed has been removed from the proposal following concerns raised by Council. The current solution is considered acceptable.

9.2.5 Urban Design / Streetscape Appearance

The proposed design is generally consistent with the surrounding development, and not inconsistent with the type of structure generally expected for the type of development. Additional cladding details has been including on the north and west elevations to break up the building design.

9.2.6 Pedestrian Access

The development proposed 24/7 opening hours, and will be illuminated and provide suitable levels of safety to workers and patrons. Level pedestrian access to the site is maintained through the provision of footpaths.

9.2.8 Public Domain – Footpath Paving

Footpath paving, consistent with neighbouring sites already exists on the Windang Road frontage. Suitable conditions relating to works in the public domain are recommended by Council's Landscape Architect.

9.2.9 Solar access and overshadowing

The proposed buildings are not expected to result in any significant overshadowing on neighbouring sites. The 1.5m setback to the southern residential development is considered acceptable considering the height of the proposed building, being 4m. The overshadowing to the southern neighbour is not expected to have a significant increase on the neighbouring site compared to the existing scenario.

9.2.11 Advertising Signage

Refer to assessment under SEPP 64 and Chapter C1.

9.2.12 Wind Impact Assessment

The proposed building is not expected to affect wind speeds or directions in public spaces.

9.2.13 Access, Car parking and Servicing

Refer to assessment under Chapter E3

9.2.14 Access for People with a Disability

Refer to Chapter E1 for discussion.

9.2.15 Land Consolidation

A condition will be included to ensure the lots making up the development site are consolidated.

13 Works in the public domain

This application was referred to Council's Landscape Architect. Suitable public domain conditions are recommended.

CHAPTER C1 – ADVERTISING AND SIGNAGE

8 business identification signs are proposed as follows:

- Illuminated pylon fuel price sign – 9m by 3.45m by 0.4m
- 2 x Illuminated signage on canopy (United 24) – 7m by 0.9m
- Illuminated fascia sign above retail outlet entrance (Quickstop) – 3.5m by 0.9m
- Illuminated fascia sign (Pie Face) – 5.4m by 0.5m
- 2 x Flush wall signs (Pie Face) – 1.5m by 1.5m
- Window sill graphic

8 General requirements for advertising signs and structures

8.1 Advertising Signage must relate directly to lawful use of the land

All proposed signage relates to the proposed use.

8.2 Design and Location

The design of the proposed signage is generally compatible with the built form and the locality. The height of the fuel pylon sign is consistent with the LEP requirements and appropriate with regard to relevant Fair Trading requirements for required fuel price information.

8.3 Proportion

Signage proportions are considered acceptable. Signage has been reduced in height and size following concerns raised. The signage on the eastern elevation has been deleted, and window signage has been deleted to ensure sightlines into and out of the premises are maintained.

8.4 Colour

The proposed retail outlet is primarily painted red. Following concerns raised regarding the corporate colour scheme, increased design elements including timber look cladding on the north and east elevation is proposed. The building design and colour scheme is considered acceptable.

8.5 Illumination

Illuminated signage is proposed. The east facing wall sign has been deleted to reduce the potential impact on neighbouring residential uses. The illumination of signage is not considered likely to have an impact on the surrounding area. A suitable condition can be included to control the obtrusive effects of outdoor lighting.

8.6 Rationalisation of Advertising Signage

The number of signs proposed is typical of the type of land use and is considered acceptable. Signage facing residential land uses is limited and unlikely to have a significant amenity impact.

8.7 Advertising Signs and Structures maintained in good repair and in a clean and tidy condition

Condition recommended.

8.8 Advertising Signs must be displayed in English Language

Satisfactory.

8.9 Advertising Signs or Structures – Public Safety

The signage does not pose any public safety risk.

9 Specific controls for advertising signs and structures

9.1 Fascia Signs

A maximum of 1 fascia sign per elevation.



Figure 1: 2 Fascia signs

2 illuminated fascia signs are proposed, 1 being above the building entrance, and 1 on the fascia above the shopfront windows. The proposed fascia signs are typical for a service station, and similar signage can be seen at multiple service stations in the vicinity of the site and in the LGA.

See further discussion under Chapter A1 above.

9.2 Flush Wall Signs

1 flush wall sign per elevation is permitted and are not to occupy more than 20% of the elevation.



Figure 2: West elevation wall sign

2 flush wall signs are proposed, including 1 on the north elevation and 1 on the east. Neither sign occupies more than 20% of the elevation.

9.5 Pole or Pylon Signs

1 pylon sign is permitted with a maximum height of 8m above ground level.

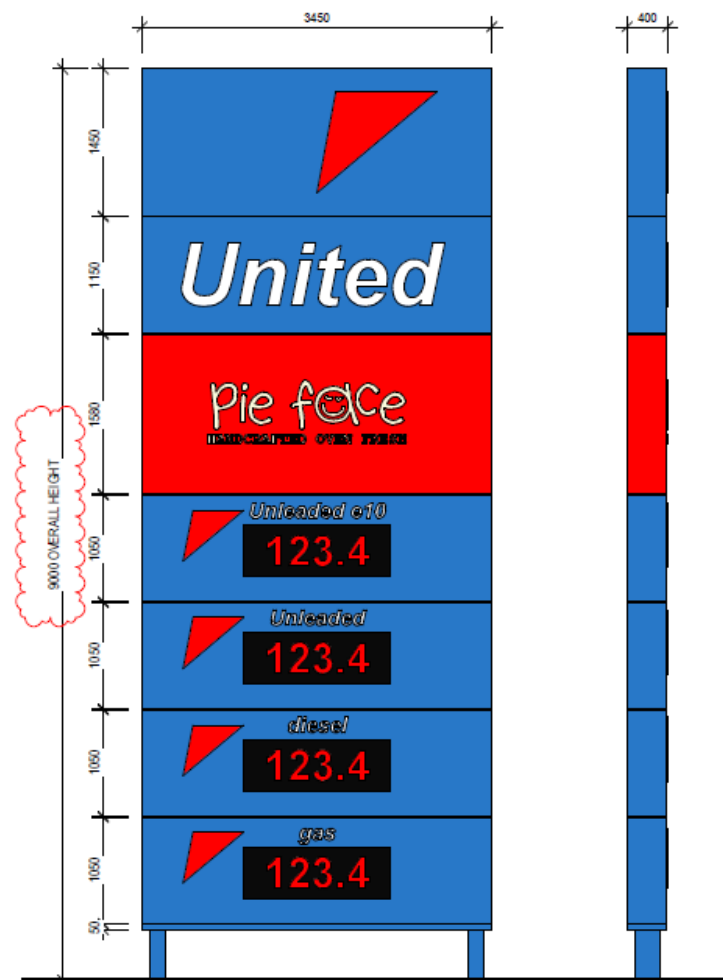


Figure 3: pylon sign

1 proposed pylon sign is proposed. The height of the proposed sign is 9m, which exceeds the requirements of the DCP, but is consistent with the LEP maximum height of 9m.

Suitable justification has been provided for the height non-compliance and is considered acceptable. Refer to Chapter A1 for further discussion.

9.7 Window Shopfront Signs

Window signs must not occupy more than 25% of the shopfront.

Signage/branding has been removed from the shopfront glazing and been relocated to the sill. Views into and out of the shop are maintained. A condition is recommended to ensure the shopfront glazing remains free of signage.

12 Business identification signage for service stations

The proposed signage is generally consistent with the type of signage expected at a service station.

CHAPTER E1: ACCESS FOR PEOPLE WITH A DISABILITY

Suitable levels of accessibility must be provided in accordance with various Australian Standards and legislation, that is unaffected by this application. Conditions relating to access provisions are recommended. The development appears capable of providing suitable accessible access.

CHAPTER E2: CRIME PREVENTION THROUGH ENVIRONMENTAL DESIGN

<i>Control/objective</i>	<i>Comment</i>	<i>Compliance</i>
<u>3.1 Lighting</u>	The service station is able to be appropriately lit at night. A suitable condition is recommended to ensure the outdoor lighting does not have an obtrusive effect on neighbours.	Yes
<u>3.2 Natural surveillance and sightlines</u>	All public parts of the site can be clearly seen and are not obscured, allowing casual surveillance.	Yes
<u>3.3 Signage</u>	Signage is considered acceptable.	Yes
<u>3.4 Building design</u>	Building entrance is clearly defined and visible from public areas. Blank walls are not proposed along the primary street frontage. Clear glazing will enable passive surveillance of the premises to be maintained. A condition will be included to ensure employee reserved parking is provided near the front doors.	Yes
<u>3.5 Landscaping</u>	Council's Landscape Officer has reviewed the application, and recommended conditions of	Yes

	consent. The proposed landscaping is considered to meet the CPTED requirements.	
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CHAPTER E3: CAR PARKING, ACCESS, SERVICING/LOADING FACILITIES AND TRAFFIC MANAGEMENT

7 Parking demand and servicing requirements

Parking requirements for Service Stations are not included within the Parking Requirements table located at Schedule 1 of this Chapter, however similar parking requirements to retail land uses is expected, which is 1 parking space per 25m² of retail floor space.

The proposed building has a Gross Floor Area of 299.7m², requiring 12 parking space.

18 parking spaces are provided in total, which exceeds the expected demand for parking.

8 Vehicular access

All vehicles can enter and exit the site in a forward direction. Adequate diagrams have been submitted to indicate all parking spaces, loading docks, fuel bowser points and fuel delivery points are able to be effectively maneuvered.

Council's Traffic Engineer is supportive of the proposal subject to the recommended conditions of consent. RMS has raised no concerns regarding the proposal and has provided concurrence subject to conditions.

9 Loading / unloading facilities and service vehicle maneuvering

Suitable loading facilities are provided at the rear of the site, adjacent to the storage areas. A suitable delivery schedule has been proposed, and suitable conditions relating to noise and management of the loading facilities has been recommended by Council's Environment Officer.

10 Pedestrian access

Pedestrian access to the site was enhanced as a result of concerns originally raised by Council. Designated and separate pedestrian access has been provided from both Windang Road and Kurrajong Street.

11 Safety & security (Crime Prevention through Environmental Design) measures for car parking areas

The proposal is considered acceptable regarding the relevant CPTED principles. The parking area is open, and visible from all parts of the site. Accessible parking spaces has been proposed adjacent to the building entrance. A condition is recommended to ensure staff parking is provided close to the site entrance.

A Plan of Management has been submitted for the proposal which is considered acceptable to ensure ongoing safety of the premises.

CHAPTER E6: LANDSCAPING

Council's Landscape Officer has reviewed the application, including the submitted Landscape Plan and Arborist Report. The proposed landscaping is considered acceptable subject to the recommended conditions, including requirements for the public domain to be upgraded to meet Council's Public Domain policy.

CHAPTER E7: WASTE MANAGEMENT

Council's Environment Officer has reviewed the proposal and recommended appropriate conditions of consent regarding waste management.

Suitable storage areas for waste has been provided. Collection of the waste will be by private contractor on an as needs basis, which is considered acceptable for the proposed land use. Suitable

conditions have been recommended relating to noise to ensure any site servicing is carried out in a manner which minimises the amenity impact on neighbours.

CHAPTER E12 GEOTECHNICAL ASSESSMENT

The application was referred to Council's Geotechnical Officer, who reviewed the proposal. A geotechnical report dated 2 January was submitted to support the development.

There is no slope instability and the geotechnical risk on the site is considered low by Council's Geotechnical engineer. Council's Geotechnical Engineer considers the consultant advice in the report to be adequate to ensure any site preparation works and foundation system design is completed adequately.

CHAPTER E13 FLOODPLAIN MANAGEMENT

The proposal was reviewed by Council's Stormwater Engineer who raised no concern subject to suitable conditions of consent. Suitable conditions relating to flood proofing, finished floor levels and maintenance of flood storage have been recommended.

Council's Environment Officer has recommended suitable conditions of consent to ensure pollutants do not enter to drainage system during rain or flood events.

CHAPTER E14 STORMWATER MANAGEMENT

Suitable conditions have been recommended by Council's Stormwater Engineer. The stormwater plans submitted were considered adequate, and the site is able to drain to Council's existing stormwater drainage infrastructure.

CHAPTER E17 PRESERVATION AND MANAGEMENT OF TREES AND VEGETATION

Removal of vegetation on the site is proposed. An arborist report was submitted with the application. No significant vegetation is located on the site, and no removal of significant vegetation is required or proposed. It is noted historical aerial imagery of the site indicates the site to have been cleared of all vegetation in 2016 to 2018.

The arborist report confirms the proposal is unlikely to have a significant impact on vegetation located on neighbouring sites.

Council's Landscape Officer has provided recommended conditions of consent.

CHAPTER E19 EARTHWORKS (LAND RESHAPING WORKS)

General earthworks associated with the construction and the burying of 3 fuel storage containers is proposed. No concerns have been raised by Council's Geotechnical Engineer.

CHAPTER E20 CONTAMINATED LAND MANAGEMENT

This is contaminated due to past uses as a service station. Suitable conditions have been recommended by Council's Environment Officer. Refer to SEPP 55 for detailed discussion on contaminated land management.

CHAPTER E22 SOIL EROSION AND SEDIMENT CONTROL

Conditions of consent are recommended regarding appropriate sediment and erosion control measures to be in place during works.



Our ref: STH17/00086/04
Contact: Rachel Carocci
Your ref: DA-2020/291 (CNR-6853)

12 May 2020

Nadir Mian
Wollongong City Council
BY EMAIL: nmian@wollongong.nsw.gov.au
CC: records@wollongong.nsw.gov.au

**DEVELOPMENT APPLICATION 2020/291 – LOT 4-6 SEC G DP19008 & LOT 25 DP17906,
70-74 KURRAJONG ST, WINDANG – SERVICE STATION (CNR-6853)**

Dear Nadir

Transport for NSW (TfNSW, formerly Roads and Maritime Services) refers to your correspondence dated 20 April 2020 regarding the subject development application.

TfNSW has completed an assessment of the development, based on the information provided and focussing on the impact to the State road network. TfNSW notes for this DA:

- The key state road is Windang Road;
- Council's preferred vehicle access is from Windang Road rather than Kurrajong Street due to the nature and trading hours of the development; and
- The applicant proposes to utilise the existing access driveways from Windang Road for the development.

Having regard for the above, TfNSW will not object to the DA subject to the conditions outlined in Attachment 1 being included in the conditions of development consent.

TfNSW highlights that in determining the DA under Part 4 of the *Environmental Planning and Assessment Act, 1979*, it is the consent authority's responsibility to consider the environmental impacts of any road works which are ancillary to the development. This includes any works which form part of the proposal and/or any works which are deemed necessary to include as requirements in the conditions of development consent. Depending on the level of environmental assessment undertaken to date and nature of the works, the consent authority may require the developer to undertake further environmental assessment for any ancillary road works.

Upon determination of this matter, it would be appreciated if Council could send a copy of the Notice of Determination to development.southern@rms.nsw.gov.au.

Yours faithfully

A handwritten signature in blue ink, appearing to read 'Chris Millet'.

Chris Millet
Manager Land Use
Southern Region

Prior to the issuing of the Construction Certificate, the developer must:

- Demonstrate to the satisfaction of Council the post development storm water discharge from the subject site, if going into the Windang Road drainage system, does not exceed the pre-development application discharge.
- Amend the submitted plans for the internal access arrangements, to the satisfaction of Council, to demonstrate a service vehicle can manoeuvre to the loading dock if all bowzers are occupied.

Prior to commencing works within the road reserve, the developer must:

- If any works for this development are likely to impact on a travel lane of the state road network or impact on the operation of traffic signals on any road, the developer must apply for, and obtain a Road Occupancy Licence (ROL) from the TfNSW Traffic Operations Unit (TOU) prior to commencing roadworks.

Notes:

- For information on the ROL process and to lodge an ROL application, please visit <https://myrta.com/oplinc2/pages/security/oplincLogin.jsf>
- The applicant will need to create an account (this may take a few days to register), prior to submitting the ROL application. The applicant must submit the ROL application 10 business days prior to commencing work. It should be noted that receiving an approval for the ROL within this 10 business day period is dependent upon TfNSW receiving an accurate and compliant TMP.
- The application will require a Traffic Management Plan (TMP) to be prepared by a person who is certified to prepare Traffic Control Plans. Should the TMP require a reduction of the speed limit, a Speed Zone Authorisation will also be required from the TOU.
- An approved ROL does not constitute an approval to commence works until an authorisation letter for the works has been issued by TfNSW Project Manager.

Attachment 6: Recommended Conditions of Consent

Approved Plans and Specifications

- 1 The development shall be implemented substantially in accordance with the details and specifications set out on Project No 190324 Drawing A015-G, A020-G, A100-G, A202-G, A300-G and A700-G dated 23 July 2020 and A200-H, A201-H and A701-H dated 31 July 2020 prepared by Richmond + Ross and Drawing DG02-B dated 27 March 2020 prepared by SHA Premier Construction Pty Ltd and any details on the application form, and with any supporting information received, except as amended by the conditions specified and imposed hereunder.

General Matters

- 2 **Building Work - Compliance with the Building Code of Australia**
All building work must be carried out in compliance with the provisions of the Building Code of Australia.
- 3 **Construction Certificate**
A Construction Certificate must be obtained from Council or a Registered Certifier prior to work commencing.

A Construction Certificate certifies that the provisions of Clauses 139-147 of the Environmental Planning and Assessment Regulation 2000 have been satisfied, including compliance with all relevant conditions of Development Consent and the Building Code of Australia.

Note: The Certifier must cause notice of its determination to be given to the consent authority, and to the Council, by forwarding to it, within two (2) days after the date of the determination, the plans and documentation referred to in clause 142 (2) of the Environmental Planning and Assessment Regulation 2000.
- 4 **Occupation Certificate**
An Occupation Certificate must be issued by the Principal Certifier prior to occupation or use of the development. In issuing an Occupation Certificate, the Principal Certifier must be satisfied that the requirements of section 6.9 of the Environmental Planning and Assessment Act 1979, have been complied with as well as all of the conditions of the Development Consent.
- 5 **Transport for NSW (TfNSW)**
Requirements issued by TfNSW dated 12 May 2020 as attached shall form part of this Notice of Determination.
- 6 **Geotechnical**
All work is to be in accordance with the geotechnical recommendations contained in the report dated 2 January 2020 by Fortify Geotech and any subsequent geotechnical report required to address unanticipated conditions encountered during construction.
- 7 **Disability Discrimination Act 1992**
This consent does not imply or confer compliance with the requirements of the Disability Discrimination Act 1992.

It is the responsibility of the applicant to guarantee compliance with the requirements of the Disability Discrimination Act 1992. The current Australian Standard AS1428.1 (2009) – Design for Access and Mobility is recommended to be referred for specific design and construction requirements, in order to provide appropriate access to all persons within the building.
- 8 **Advertising Signage**
This consent authorises the erection of signage only as shown on the approved plans. Any additional advertising signage which is not exempt development under an Environmental Planning Instrument will require separate Council approval.
- 9 **Content of Signage**
Any advertising on the signage must relate directly to the approved use of the site. No third party advertising is permitted.

10 **Tree Retention/Removal**

The developer shall retain the existing trees indicated in the Arborist Report by Abacus Tree Services dated 31 July 2020 consisting of trees numbered T1, T4, T5, T6, T7, T8, T9 and T11.

Any branch pruning, which has been given approval, must be carried out by a qualified arborist in accordance with Australian Standard AS4373-2007.

All tree protection measures are to be installed in accordance with Australian standard AS4970-2009 Protection of Trees on development Sites.

All recommendations in the Aboricultural Impact Assessment by Abacus Tree Services dated 31 July 2020 are to be implemented including and not restricted to: construction recommendations for walls and fences, remedial tree pruning, dead wood removal, fencing and signage, sediment buffer, stem protection, establishing tree protection zones and watering and root hormone application if required.

This consent permits the removal of trees numbered T2, T3 and T10 as indicated in the Arborist Report by Abacus Tree Services dated 31 July 2020. No other trees shall be removed without prior written approval of Council.

Prior to the Issue of the Construction Certificate

11 **Present Plans to Sydney Water**

Approved plans must be submitted online using Sydney Water Tap, available through www.sydneywater.com.au to determine whether the development will affect Sydney Water's sewer and water mains, stormwater drains and/or easements, and if further requirements need to be met.

The Principal Certifier must ensure that Sydney Water has issued an approval receipt prior to the issue of a Construction Certificate.

Visit www.sydneywater.com.au or telephone 13 20 92 for further information.

12 **Car Parking and Access**

The development shall make provision for a total of 17 car parking spaces (including 1 parking space for people with disabilities), 2 motorcycle parking spaces and 2 bicycle spaces (Class C). This requirement shall be reflected on the Construction Certificate plans. Any change in above parking numbers shown on the approved DA plans shall be dealt with via a section 4.55 modification to the development. The approved car parking spaces shall be maintained to the satisfaction of Council, at all times.

13 The parking dimensions, internal circulation, aisle widths, kerb splay corners, head clearance heights, ramp widths and grades of the car parking areas are to be in conformity with the current relevant Australian Standard AS2890.1, except where amended by other conditions of this consent. Details of such compliance are to be reflected on the Construction Certificate plans.

14 Bicycle parking facilities must have adequate weather protection and provide the appropriate level of security as required by the current relevant Australian Standard AS2890.3 - Bicycle Parking Facilities. This requirement shall be reflected on the Construction Certificate plans.

15 **Water/Wastewater Entering Road Reserve**

Provision shall be made for a minimum 200mm wide grated box drain along the boundary of the property at the vehicular crossing/s to prevent surface water entering the road reserve. This requirement shall be reflected on the Construction Certificate plans.

16 **Stormwater Drainage Design**

A detailed drainage design for the development must be submitted to and approved by the Principal Certifier prior to the release of the Construction Certificate. The detailed drainage design must satisfy the following requirements:

- a Be prepared by a suitably qualified civil engineer in accordance with Chapter E14 of Wollongong City Council's Development Control Plan 2009, Subdivision Policy, conditions listed under this consent, and generally in accordance with the concept

- drainage plan lodged for development approval, prepared by Richmond + Ross, Project No. 190324, Drawing No. C101, issue A, dated 3 April 2020.
- b Include details of the method of stormwater disposal. Stormwater from the development must be piped to Council's existing stormwater drainage system.
 - c Engineering plans and supporting calculations for the stormwater drainage system are to be prepared by a suitably qualified engineer and be designed to ensure that stormwater runoff from upstream properties is conveyed through the site without adverse impact on the development or adjoining properties. The plan must indicate the method of disposal of all stormwater and must include rainwater tanks, existing ground levels, finished surface levels on all paved areas, estimated flow rates, invert levels and sizes of all pipelines.
 - d Overflow paths shall be provided to allow for flows of water in excess of the capacity of the pipe/drainage system draining the land, as well as from any detention storage on the land. Blocked pipe situations with 1 in 100 year ARI events shall be incorporated in the design. Overflow paths shall also be provided in low points and depressions. Each overflow path shall be designed to ensure no entry of surface water flows into any building and no concentration of surface water flows onto any adjoining property. Details of each overflow path shall be shown on the detailed drainage design.
- 17 The depth and location of all services (ie gas, water, sewer, electricity, telephone, traffic lights, etc) must be ascertained and reflected on the Construction Certificate plans and supporting documentation.
- 18 The submission of certification from a suitably qualified and experienced landscape designer and drainage consultant to the Principal Certifier prior to the release of the Construction Certificate, confirming that the landscape plan and the drainage plan are compatible.
- 19 **Flood Level Requirements**
The following requirements shall be reflected on the Construction Certificate plans, prior to the release of the Construction Certificate:
- a The finished floor level of the proposed service station building shall be constructed at a minimum of RL 2.75 metres AHD.
 - b Any portion of the building or structure below RL 3.54 metres AHD should be built from flood compatible materials. Where materials are proposed and not listed in Appendix B of Chapter E13 of the Wollongong DCP2009, relevant documentation from the manufacturer shall be provided demonstrating that the materials satisfy the definition of 'flood compatible materials' as stated in Chapter E13 of the Wollongong DCP2009.
 - c The proposed building and structures shall be designed to withstand the forces of floodwater, debris and buoyancy up to and including RL 3.54 metres AHD.
- 20 **On-Site Stormwater Detention (OSD) Design**
The developer must provide on-site stormwater detention (OSD) storage for stormwater runoff from the development. The design and details of the OSD system must be provided in conjunction with the detailed drainage design and approved by the Principal Certifier prior to the release of the Construction Certificate. The OSD design and details must satisfy the following requirements:
- a Must be prepared by a suitable qualified engineer in accordance with Chapter E14 of the Wollongong DCP 2009.
 - b Must include details of the Site Storage Requirement (SSR) and Permissible Site Discharge (PSD) values for the site in accordance with Section 10.2.4 of Chapter E14 of the Wollongong DCP2009.
 - c The OSD facility must be designed to withstand the maximum loadings occurring from any combination of traffic (with consideration to residential and heavy vehicles), hydrostatic, earth, and buoyancy forces. Details must be provided demonstrating these requirements have been achieved.

- d The OSD facility shall incorporate a minimum 900mm x 900mm square lockable grate for access and maintenance purposes, provision for safety, debris control screen, and a suitably graded invert to the outlet to prevent ponding.
 - e Must include discharge control calculations (i.e. orifice/weir calculations) generally in accordance with Section 10.2.6 and 10.4.4 of Chapter E14 of the Wollongong DCP2009.
 - f Details of the orifice plate including diameter of orifice and method of fixing shall be provided.
 - g Must include details of a corrosion resistant identification plaque for location on or close to the OSD facility. The plaque shall include the following information and shall be installed prior to the issue of the Occupation Certificate:
 - The structure is an OSD facility, being part of the stormwater drainage network, and is not to be tampered with.
 - Identification number [DA-2020/291];
 - Any specialist maintenance requirements.
 - h Must include a maintenance schedule for the OSD system, generally in accordance with Chapter E14 of the Wollongong DCP2009.
- 21 **No Adverse Run-off Impacts on Adjoining Properties**
The design of the development shall ensure there are no adverse effects to adjoining properties or upon the land as a result of flood or stormwater run-off.
- 22 **Flood Proofing**
The detailed design of the proposed service station building shall include flood proofing up to a level of RL 3.54 metres AHD. For the purposes of this consent, the term ‘flood proofing’ means a combination of measures incorporated in the design and construction of the building that will ensure floodwater cannot physically enter the building either via doors, windows, walls, access/ventilation points, or via any other means. The flood proofing must be integrated into the building design and construction and must not rely on human intervention for activation. Temporary flood gates requiring manual activation/installation by site personnel are not acceptable. Details of the flood proofing shall be prepared by a suitably qualified civil engineer and reflected on the Construction Certificate plans and supporting documentation prior to the release of the Construction Certificate.
- 23 **Maintenance of Flood Storage**
The detailed design of the development shall ensure no net increase in fill in the floodplain. Compensatory excavation may be used to offset fill. These requirements shall be reflected on the earthworks design plans submitted with the Construction Certificate application. Evidence that these requirements have been satisfied, including cut/fill calculations and certification from a suitably qualified civil engineer, shall be submitted to the Principal Certifying Authority prior to the release of the Construction Certificate.
- 24 **Fire Safety Schedule**
When issuing a Construction Certificate, a Principal Certifier must attach a Fire Safety Schedule specifying all of the fire safety measures required for the building to ensure the safety of persons in the building in the event of fire.
- 25 **Landscaping**
The submission of a final Landscape Plan will be required in accordance with the requirements of Wollongong City Council DCP 2009 Chapter E6 and the approved Landscape Plan (ie as part of this consent) for the approval by the Principal Certifier, prior to the release of the Construction Certificate.
- 26 The implementation of a landscape maintenance program in accordance with the approved Landscape Plan for a minimum period of 12 months to ensure that all landscape work becomes well established by regular maintenance. Details of the program must be submitted with the Landscape Plan to the Principal Certifier prior to release of the Construction Certificate.

Tree Protection and Management

The existing trees are to be retained upon the subject property and any trees on adjoining properties shall not be impacted upon during the excavation or construction phases of the development. This will require the installation and maintenance of appropriate tree protection measures, including (but not necessarily limited to) the following:

- a Installation of Tree Protection Fencing - Protective fencing shall be 1.8 metre cyclone chainmesh fence, with posts and portable concrete footings. Details and location of protective fencing must be indicated on the architectural and engineering plans to be submitted to the Principal Certifier prior to release of the Construction Certificate.
- b Mulch Tree Protection Zone: Areas within a Tree Protection Zone are to be mulched with minimum 75 mm thick 100% recycled hardwood chip/leaf litter mulch.
- c Irrigate: Areas within the Tree Protection Zone are to be regularly watered in accordance with the arborist's recommendations.

Footpath Paving

The developer is responsible for the construction of footpath paving for the entire Kurrajong Street frontage of the development. The type of paving for this development is a 1500mm wide, 100mm thick, reinforced, broom finished concrete. A nominal two percent (2%) minimum one percent (1%), maximum two and a half percent (2.5%) cross fall to be provided from property line to back of kerb. Any changes of level, ramps or stairs and associated tactile markers and handrails are to be contained within the property boundary.

The driveway entry threshold from the property boundary line to the face of kerb is to be broom finished concrete to match the footpath and be designed to withstand predicted traffic loadings.

The driveway threshold finish within property boundary line is to contrast with driveway entry.

The footpath and driveway entry on the council property must be installed to the satisfaction of WCC Manager of Works.

A Landscape Plan is to be submitted to Council for approval prior to the issue of the Construction Certificate showing proposed paving, footpath design levels, street tree details and location of all services.

Footpath Paving in Commercial Village Centres

The developer is responsible for the construction of footpath paving for the entire Windang Road frontage of the development. In keeping with the surrounding commercial precinct and the Business Centres Public Domain Technical Manual the type of paving for this development is Austral Bricks London paver (or approved equivalent); colour: Chestnut; Size: 230x114x65mm; Pattern: 90° herringbone. Header course and feature banding to be Urbanstone 'Spinifex'; size: 600x400x60mm; finish: milled (or approved equivalent). Banding to be at approximately 8-10m centres.

A nominal two percent (2%) minimum one percent (1%), maximum two and a half percent (2.5%) cross fall to be provided from property line to back of kerb. Adjust service pits as required to achieve these cross-falls. Any changes of level, ramps or stairs and associated tactile markers and handrails are to be contained within the property boundary.

The driveway paving is to be engineer designed concrete that will withstand predicted traffic loadings. Concrete to have an oxide colour added to match the colour of the Austral brick London paver, colour Chestnut.

The footpath and driveway entry on the council property must be installed to the satisfaction of WCC Manager of Works.

A Landscape Plan is to be submitted to Council for approval prior to the issue of the Construction Certificate showing proposed paving, footpath design levels, street tree details and location of all services.

30 **Street Trees – Kurrajong Street**

The developer must address the street frontage by installing street tree planting. The number and species for this development is four *Callistemon saligna* 200 litre container size, in accordance with AS 2303:2018 Tree stock for landscape use. Street trees are to be installed in accordance with Wollongong Development Control Plan 2009 – Chapter E6: Landscaping. ‘Dial Before You Dig’ must be consulted prior to any excavation on site. Pot holing must be carried out to determine service location. Tree pits must be adequately mulched, plants installed and staking installed to the satisfaction of WCC Manager of Works. Staking is to consist of min. 3 x 2400 x 50 x 50mm hardwood stakes driven min 600mm into firm ground. Hessian webbing is to be utilised to secure plant stock to industry standard.

These requirements shall be reflected on the Construction Certificate plans and any supporting documentation.

31 **Street Trees Commercial Village Centres**

The developer must address the street frontage by installing street tree planting with edging/tree grate and stakes. In keeping with the surrounding commercial precinct and the Business Centres Public Domain Technical Manual the type of the number and species for this development is one *Lophostomon confertus* 200 litre container size in accordance with AS 2303:2018 Tree stock for landscape use.

Trees are to be installed in accordance with Wollongong Development Control Plan 2009 – Chapter E6: Landscaping. ‘Dial Before You Dig’ must be consulted prior to any excavation on site. Pot holing must be carried out to determine service location. Location of street tree plantings to be sited to ensure no conflict occurs with street light poles.

Tree pits must be adequately mulched, plants installed and three 50 x 50mm stakes and edging installed to the satisfaction of WCC Manager of Works.

These requirements shall be reflected on the Construction Certificate plans and any supporting documentation.

32 **Council Footpath Reserve Works – Driveways and Crossings**

All redundant vehicular crossings and laybacks rendered unnecessary by this development must be reconstructed to normal kerb and gutter or existing edge of carriageway treatment to match the existing. The verge from the back of kerb to the boundary must be removed and the area appropriately graded, topsoiled and turfed in a manner that conforms with adjoining road reserve. The area forward of the front boundary must be kept smooth, even and free from any trip hazards. All alterations of public infrastructure where necessary are at the developer’s expense.

All new driveway laybacks and driveway crossings must be designed in accordance with Wollongong City Council Standards. Details and locations are to be shown on the Construction Certificate Plans.

33 **Development Contributions**

Pursuant to Section 4.17 of the Environmental Planning and Assessment Act 1979 and the Wollongong City-Wide Development Contributions Plan (2018), a monetary contribution of \$18,750.00 (subject to indexation) must be paid to Council towards the provision of public amenities and services, prior to the release of any associated Construction Certificate.

This amount has been calculated based on the estimated cost of development and the applicable percentage rate.

The contribution amount will be subject to indexation until the date of payment. The formula for indexing the contribution is:

$$\text{Contribution at time of payment} = \$C \times (CP2/CP1)$$

Where:

\$C is the original contribution as set out in the Consent

CP1 is the Consumer Price Index; All Groups CPI; Sydney at the time the consent was issued

CP2 is the Consumer Price Index; All Groups CPI; Sydney at the time of payment

Details of CP1 and CP2 can be found in the Australian Bureau of Statistics website – Catalogue No. 6401.0 - Consumer Price Index, Australia.

The following payment methods are available:

METHOD	HOW	PAYMENT TYPE
Online	http://www.wollongong.nsw.gov.au/applicationpayments Your Payment Reference: 1215963	<ul style="list-style-type: none">• Credit Card
In Person	Wollongong City Council Administration Building - Customer Service Centre Ground Floor 41 Burelli Street, WOLLONGONG	<ul style="list-style-type: none">• Cash• Credit Card• Bank Cheque
PLEASE MAKE BANK CHEQUE PAYABLE TO: Wollongong City Council (Personal or company cheques are not accepted)		

A copy of the Wollongong City-Wide Development Contributions Plan (2018) and accompanying Fact Sheet may be inspected or obtained from the Wollongong City Council Administration Building, 41 Burelli Street, Wollongong during business hours or on Council's web site at www.wollongong.nsw.gov.au

Prior to the Commencement of Works

34 Appointment of Principal Certifier

Prior to commencement of work, the person having the benefit of the Development Consent and a Construction Certificate must:

- Appoint a Principal Certifier (PC) and notify Council in writing of the appointment irrespective of whether Council or an accredited private certifier is appointed; and
- notify Council in writing of their intention to commence work (at least two days notice is required).

The Principal Certifier must determine when inspections and compliance certificates are required.

35 Sign – Supervisor Contact Details

Before commencement of any work, a sign must be erected in a prominent, visible position:

- stating that unauthorised entry to the work site is not permitted;
- showing the name, address and telephone number of the Principal Certifier for the work; and
- showing the name and address of the principal contractor in charge of the work site and a telephone number at which that person can be contacted at any time for business purposes.

This sign shall be maintained while the work is being carried out and removed upon the completion of the construction works.

36 Temporary Toilet/Closet Facilities

Toilet facilities are to be provided at or in the vicinity of the work site on which work involved in the erection or demolition of a building is being carried out at the rate of one toilet for every 20 persons or part of 20 persons employed at the site.

Each toilet provided must be:

- a standard flushing toilet; and
- connected to either:
 - the Sydney Water Corporation Ltd sewerage system or
 - an accredited sewage management facility or

- iii an approved chemical closet.

The toilet facilities shall be provided on-site, prior to the commencement of any works.

37 **Enclosure of the Site**

The site must be enclosed with a suitable security fence to prohibit unauthorised access, to be approved by the Principal Certifier. No building work is to commence until the fence is erected.

38 **Works in Road Reserve - Minor Works**

Approval, under Section 138 of the Roads Act must be obtained from Wollongong City Council's Development Engineering Team prior to any works commencing or any proposed interruption to pedestrian and/or vehicular traffic within the road reserve caused by the construction of this development.

The application form for Works within the Road Reserve – Section 138 Roads Act can be found on Council's website. The form outlines the requirements to be submitted with the application, to give approval to commence works under the roads act. It is advised that all applications are submitted and fees paid, five (5) days prior to the works within the road reserve are intended to commence. The Applicant is responsible for the restoration of all Council assets within the road reserve which are impacted by the works/occupation. Restoration must be in accordance with the following requirements:

- a All restorations are at the cost of the Applicant and must be undertaken in accordance with Council's standard document, "Specification for work within Council's Road reserve".
- b Any existing damage within the immediate work area or caused as a result of the work/occupation, must also be restored with the final works.

39 **Tree Protection**

Prior to commencement of any work on the site, including any demolition, all trees not approved for removal as part of this consent that may be subjected to impacts of this approved development must be protected in accordance with Section 4 of the Australian Standard Protection of Trees on Development Sites (AS 4970-2009).

Tree protection zones must be established prior to the commencement of any work associated with this approved development.

No excavation, construction activity, grade changes, storage of materials stockpiling, siting of works sheds, preparation of mixes or cleaning of tools is permitted within Tree Protection Zones.

40 **Supervising Arborist – Tree Inspection and Installation of Tree Protection Measures**

Prior to the commencement of any demolition, excavation or construction works, the supervising arborist must certify in writing that tree protection measures have been inspected and installed in accordance with the arborist's recommendations and relevant conditions of this consent.

41 **Certification from Arborist - Adequate Protection of Trees to be Retained**

A qualified arborist is required to be engaged for the supervision of all on-site excavation or land clearing works. The submission of appropriate certification from the appointed arborist to the Principal Certifier is required which confirms that all trees and other vegetation to be retained are protected by fencing and other measures, prior to the commencement of any such excavation or land clearing works.

During Demolition, Excavation or Construction

42 **Survey Report for Floor Levels**

A Survey Report must be submitted to the Principal Certifier verifying that each floor level accords with the floor levels as per the approved plans under this consent. The survey shall be undertaken after the formwork has been completed and prior to the pouring of concrete for each

respective level of the building (if the building involves more than one level). All levels shall relate to Australian Height Datum.

43 **Supervision of Engineering Works**

All engineering works associated with the development are to be carried out under the supervision of a practicing engineer.

44 **Piping of Stormwater to Existing Stormwater Drainage System**

Stormwater for the land must be piped to Council's existing stormwater drainage system.

45 **No Adverse Run-off Impacts on Adjoining Properties**

The design and construction of the development shall ensure there are no adverse effects to adjoining properties, as a result of flood or stormwater run-off. Attention must be paid to ensure adequate protection for buildings against the ingress of surface run-off.

Allowance must be made for surface run-off from adjoining properties. Any redirection or treatment of that run-off must not adversely affect any other property.

46 **Pipe Connections**

All pipe connections to existing stormwater drainage systems within the road reserve shall be constructed flush with the pit wall in accordance with good engineering practice. The developer shall ensure that the condition of the existing stormwater drainage system is not compromised and that the service life of the existing stormwater drainage system is not reduced as a result of the connection.

47 **Flood Compatible Materials – Electrical**

All power service (metering) equipment, power outlets, switches etc. shall be located above RL 3.54 metres AHD. All electrical wiring installed below this level should be suitable for continuous underwater immersion and should contain no fibrous components. Earth leakage circuit breakers shall also be installed. Any equipment installed below or partially below RL 3.54 metres AHD should be capable of disconnection by a single plug and socket assembly.

48 **Installation and Commissioning of a New UPSS - Regulation Requirement**

All the requirements of the NSW UPSS Regulation must be followed when a new UPSS site is planned, installed and commissioned.

The applicant must ensure that duly qualified persons have undertaken the design, installation and associated testing on all UPSS-related infrastructure before it is commissioned.

A new UPSS must:

- be appropriately designed, installed and commissioned by duly qualified persons in accordance with the UPSS Regulation.
- have minimum mandatory pollution protection equipment installed, consistent with the Regulation, comprising non-corrodible secondary containment tanks and associated pipework and overflow protection devices.
- have groundwater monitoring wells installed and tested in accordance with the Regulation.
- have a certificate showing that an equipment integrity test (EIT) has been carried out in line with the written directions of duly qualified persons.

A new UPSS can only be commissioned once all these requirements have been met.

49 **Installation of Stage 1 Vapour Recovery (VR1)**

- The proponent must install VR1 control equipment in accordance with Part 6 of the Protection of the Environment Operations (Clean Air) Regulation 2010 and the Standards and Best Practice Guidelines for VR at Petrol Service Stations, as published from time to time.
- The proponent must comply with c1.69 of the POEO (Clean Air) Regulation 2010 prior to the petrol service station being operational.
- The proponent must ensure that all design, installation and testing of new or modified petrol service stations is performed by a duly qualified person, which is defined in the Regulation

as, in relation to any activity, a person who has such competence and experience in relation to that activity as is recognised in the relevant industry as appropriate to carry out that activity.

50 **Installation of Groundwater Monitoring Wells on UPSS Site**

Groundwater monitoring wells must be designed and installed in accordance with the relevant specifications by duly qualified persons. Wells must be tested for the presence of hydrocarbons according to the written instructions of a duly qualified person at least every six months. The person responsible for a UPSS must ensure that documentation is provided by the duly qualified persons, indicating that all UPSS Regulation requirements have been met.

Groundwater monitoring wells must be:

- sealed to exclude surface water.
- constructed to prevent cross-contamination with other groundwater monitoring wells.
- clearly marked to indicate their presence and properly secured.
- tested for hydrocarbon contamination at minimum intervals of six months.

51 **Acoustic Barriers**

The acoustic barriers recommended in acoustic report prepared by Muller Acoustic Consultants date June 2020 must be implemented and also all the noise controls during construction must be followed to minimise the construction noise.

52 **Excess Excavated Material – Disposal**

Excess excavated material shall be classified according to the NSW Environment Protection Authority's Waste Classification Guidelines – Part 1: Classifying Waste (2014) prior to being transported from the site and shall be disposed of only at a location that may lawfully receive that waste.

53 **Acid Sulfate Soils**

The Wollongong Local Environmental Plan 2009 Acid Sulfate Soils Map has identified that this property may be affected by classes 3, 4 or 5 Acid Sulfate Soils. Acid Sulfate Soils contain iron sulfides which, when exposed to air due to drainage or disturbance, may produce sulfuric acid and release toxic quantities of iron, aluminium and heavy metals. The Acid Sulfate Soils Map is an indication only and you are advised that you may encounter acid sulfate soils during the excavation for the proposed development.

Any spoil material extracted or excavated from the foundations must be neutralised with commercial lime (calcium bicarbonate) by the addition of 10 kilograms of lime per 1 cubic metre of spoil material before it is disposed of or re-used on-site. Lime is to be added by evenly distributing over all exposed surface areas, drilled piers and footing trenches on the site, prior to pouring concrete.

Council suggests the applicant refer to the Acid Sulfate Soils Assessment Guidelines contained in the Acid Sulfate Soils Manual, prepared by NSW Acid Sulfate Management Advisory Committee, August 1998 for further information.

54 **Copy of Consent to be in Possession of Person carrying out Tree Removal**

The Developer must ensure that any person carrying out tree removal is in possession of this development consent and/or the approved landscape plan, in respect to the tree(s) which have been given approval to be removed in accordance with this consent.

55 **Provision of Taps/Irrigation System**

The provision of common taps and/or an irrigation system is required to guarantee that all landscape works are adequately watered. The location of common taps and/or irrigation system must be implemented in accordance with the approved Landscape Plan.

Prior to the Issue of the Occupation Certificate

56 **Drainage**

The developer must obtain a certificate of Hydraulic Compliance (using Council's M19 form)

from a suitably qualified civil engineer, to confirm that all stormwater drainage and on-site detention works have been constructed in accordance with the approved plans. In addition, full works-as-executed plans, prepared and signed by a Registered Surveyor must be submitted. These plans and certification must satisfy all the stormwater requirements stated in Chapter E14 of the Wollongong DCP2009. This information must be submitted to the Principal Certifier prior to the issue of the final Occupation Certificate.

57 **Restriction on Use – On-site Detention System**

The applicant must create a restriction on use under the Conveyancing Act 1919 over the on-site detention system. The following terms must be included in an appropriate instrument created under the Conveyancing Act 1919 for approval of Council:

“The registered proprietor of the lot burdened must not make or permit or suffer the making of any alterations to any on-site stormwater detention system on the lot(s) burdened without the prior consent in writing of the authority benefited. The expression ‘on-site stormwater detention system’ shall include all ancillary gutters, pipes, drains, walls, kerbs, pits, grates, tanks, chambers, basins and surfaces designed to temporarily detain stormwater as well as all surfaces graded to direct stormwater to those structures.

Name of the authority having the power to release, vary or modify the restriction referred to is Wollongong City Council.”

The instrument, showing the restriction, must be submitted to the Principal Certifier for endorsement prior to the issue of the Occupation Certificate and the use of the development.

58 **Positive Covenant – On-Site Detention Maintenance Schedule**

A positive covenant shall be created under the Conveyancing Act 1919, requiring the property owner(s) to undertake maintenance in accordance with the Construction Certificate approved On-Site Stormwater Detention System and Maintenance Schedule (application number to be referenced).

The instrument, showing the positive covenant must be submitted to the Principal Certifier for endorsement prior to the issue of the Occupation Certificate and the use of the development.

59 **On-Site Detention – Structural Certification**

The submission of a certificate from a suitably qualified practising civil and/or structural engineer to the Principal Certifier is required prior to the issue of the Occupation Certificate. This certification is required to verify the structural adequacy of the on-site detention facility and that the facility has been constructed in accordance with the approved Construction Certificate plans.

60 **Structural Soundness Certification**

The submission of a report from a suitably qualified and experienced structural engineer to the Principal Certifier is required, prior to the issue of the final Occupation Certificate and commencement of use. This report is required to verify that the building and structures can withstand the forces of floodwater, debris and buoyancy up to and including RL 3.54 metres AHD.

61 **Flood Emergency Response Plan**

An effective Flood Emergency Response Plan (FERP) and procedure shall be prepared by an appropriate consulting engineer. The report shall be submitted to the Principal Certifier prior to the issue of the Occupation Certificate. A copy of the report shall be provided to Council for record keeping purposes. The report shall incorporate an effective flood emergency response process and procedure for evacuation from the site in the early stages of storm events up to and including the Probable Maximum Flood being RL 3.24 metres AHD.

Notification of the presence of the FERP and procedure will be placed on the section 10.7 certificate for the property to ensure future property owners are made aware of the procedure in the case of flood.

62 **Equipment Integrity Test (EIT) Certificate**

Prior to issue of occupation certificate, the PCA should check the EIT certificate showing that an equipment integrity test (EIT) has been carried out in line with the written directions of duly

qualified persons.

63 **Fire Safety Certificate**

A Fire Safety Certificate must be issued for the building prior to the issue of an Occupation Certificate. As soon as practicable after a Fire Safety Certificate is issued, the owner of the building to which it relates:

- a Must cause a copy of the certificate (together with a copy of the current fire safety schedule) to be given to the Commissioner of New South Wales Fire Brigades, and
- b must cause a further copy of the certificate (together with a copy of the current fire safety schedule) to be prominently displayed in the building.

64 **Completion of Landscape Works**

The completion of the landscaping works as per the final approved Landscape Plan is required prior to the issue of Occupation Certificate.

Operational Phases of the Development/Use of the Site

65 **Restricted Hours of Operation**

The hours of operation for the development shall be 24 hours 7 days a week.

Note: if council receives regular noise complaints due service station operation, council may restrict the hours of operation as follows:

- The hours of operation for the service station and convenience store shall be restricted to 6.00 am to 10.00 pm 7 days a week.
- The hours of operation for the fuel delivery 6.00am to 11.00 pm 7 days a week.
- Delivery and waste services will be limited to between 7.00 am and 8.00 pm all 7 days of the week.

Any alteration to the approved hours of operation will require separate Council approval.

66 **Noise Restrictions on Service Station Development**

The noise ($L_{Aeq\ (15min)}$) emanating from service station developments must not exceed 5dB(A) above the background noise level ($L_{A90\ (15min)}$) of the area at any boundary of the land i.e $36\ dBA + 5\ dBA = 41\ dBA$.

Between 10.00 pm and 7.00 am, the Sleep Disturbance Noise Limits apply, being $L_{A1, (1\ minute)}$ not exceeding the $L_{A90, (15\ minute)}$ by more than 10 dBA when measured at 1 metre from the façade of the most affected neighbouring residential premises.

67 **Operational Management Plan**

During the service station operation implement the Plan of Management dated August 2020 to minimise the risk and prevent pollution (air, stormwater, noise and waste).

68 **Waste Management**

An adequate number of waste receptacles for both general rubbish and recyclable materials shall be placed strategically around the site and collected on the regular basis. Waste shall not be allowed to accumulate on the site.

69 **Fire Safety Measures**

All new and existing fire safety measures shall be maintained in working condition, at all times.

70 **Display of Fire Safety Signage**

At all times within the building the current fire safety schedule and fire safety certificate/statement is to be prominently displayed.

71 **Maintenance of Signage**

- a All signage and structures are to be maintained in good working order and in a clean and tidy condition at all times.
- b Any sign or structure which becomes dilapidated or unsightly will be required to be repaired, upgraded or removed in a reasonable period, except in emergency situations in

which there is a risk to either property or life, in which case Council may require the immediate removal of the sign or structure.

72 **Signage – Public Safety**

Signage or structures must not endanger public safety or cause nuisance or a hazard by reason of its location, construction or design by:

- a Emitting excessive glare or reflection from illumination or surface materials.
- b obscuring the view of motorists or pedestrians.
- c Screening potentially hazardous road features.
- d Containing designs or messages which may either confuse or distract motorists.

73 **Sign Illumination**

Illumination of the signage must not cause nuisance to the owners or occupiers of adjoining premises or to motorists on adjoining or nearby roads.

74 **Landscaping along Southern Boundary**

The landscaping between the proposed development and southern boundary is required to be maintained at all times and is not permitted to become overgrown or unsightly.

Reasons

The reasons for the imposition of the conditions are:

- 1 To minimise any likely adverse environmental impact of the proposed development.
- 2 To ensure the protection of the amenity and character of land adjoining and in the locality.
- 3 To ensure the proposed development complies with the provisions of Environmental Planning Instruments and Council's Codes and Policies.
- 4 To ensure the development does not conflict with the public interest.



Transport
for NSW

Our ref: STH17/00086/04
Contact: Rachel Carocci
Your ref: DA-2020/291 (CNR-6853)

12 May 2020

Nadir Mian
Wollongong City Council
BY EMAIL: nmian@wollongong.nsw.gov.au
CC: records@wollongong.nsw.gov.au

**DEVELOPMENT APPLICATION 2020/291 – LOT 4-6 SEC G DP19008 & LOT 25 DP17906,
70-74 KURRAJONG ST, WINDANG – SERVICE STATION (CNR-6853)**

Dear Nadir

Transport for NSW (TfNSW, formerly Roads and Maritime Services) refers to your correspondence dated 20 April 2020 regarding the subject development application.

TfNSW has completed an assessment of the development, based on the information provided and focussing on the impact to the State road network. TfNSW notes for this DA:

- The key state road is Windang Road;
- Council's preferred vehicle access is from Windang Road rather than Kurrajong Street due to the nature and trading hours of the development; and
- The applicant proposes to utilise the existing access driveways from Windang Road for the development.

Having regard for the above, TfNSW will not object to the DA subject to the conditions outlined in Attachment 1 being included in the conditions of development consent.

TfNSW highlights that in determining the DA under Part 4 of the *Environmental Planning and Assessment Act, 1979*, it is the consent authority's responsibility to consider the environmental impacts of any road works which are ancillary to the development. This includes any works which form part of the proposal and/or any works which are deemed necessary to include as requirements in the conditions of development consent. Depending on the level of environmental assessment undertaken to date and nature of the works, the consent authority may require the developer to undertake further environmental assessment for any ancillary road works.

Upon determination of this matter, it would be appreciated if Council could send a copy of the Notice of Determination to development.southern@rms.nsw.gov.au.

Yours faithfully

Chris Millet
Manager Land Use
Southern Region

Prior to the issuing of the Construction Certificate, the developer must:

- Demonstrate to the satisfaction of Council the post development storm water discharge from the subject site, if going into the Windang Road drainage system, does not exceed the pre-development application discharge.
- Amend the submitted plans for the internal access arrangements, to the satisfaction of Council, to demonstrate a service vehicle can manoeuvre to the loading dock if all bowlers are occupied.

Prior to commencing works within the road reserve, the developer must:

- If any works for this development are likely to impact on a travel lane of the state road network or impact on the operation of traffic signals on any road, the developer must apply for, and obtain a Road Occupancy Licence (ROL) from the TfNSW Traffic Operations Unit (TOU) prior to commencing roadworks.

Notes:

- For information on the ROL process and to lodge an ROL application, please visit <https://myrta.com/oplinc2/pages/security/oplincLogin.jsf>
- The applicant will need to create an account (this may take a few days to register), prior to submitting the ROL application. The applicant must submit the ROL application 10 business days prior to commencing work. It should be noted that receiving an approval for the ROL within this 10 business day period is dependent upon TfNSW receiving an accurate and compliant TMP.
- The application will require a Traffic Management Plan (TMP) to be prepared by a person who is certified to prepare Traffic Control Plans. Should the TMP require a reduction of the speed limit, a Speed Zone Authorisation will also be required from the TOU.
- An approved ROL does not constitute an approval to commence works until an authorisation letter for the works has been issued by TfNSW Project Manager.