

Wollongong Local Planning Panel Assessment Report | 21 November 2023

WLPP No.	Item No. 1
DA No.	DA-2022/858
Proposal	Residential - demolition of existing structures, tree removal, Subdivision - Torrens title - two (2) lots, construction of dual occupancy (detached) on proposed Lot A and single dwelling on proposed Lot B, and Subdivision - Strata title - two (2) lots of dual occupancy on proposed Lot A - phased development
Property	7 Welmont Place, MOUNT KEIRA NSW 2500
Applicant	Mr Issa Sousou
Responsible Team	Development Assessment & Certification – City Wide Planning Team (RT)

ASSESSMENT REPORT AND RECOMMENDATION

Executive Summary

Reason for consideration by Wollongong Local Planning Panel (WLPP)

The proposal has been referred to the WLPP for **determination** pursuant to part 2(b) of Schedule 2 of the Local Planning Panels Direction, as the application is the subject of ten (10) or more unique submissions by way of objection.

Proposal

The application proposes the development in the following three (3) phases:

- i. Demolition of existing structures, tree removal and Subdivision – Torrens title - two (2) residential lots (Lots A and B);
- ii. Construction of a detached dual occupancy on Lot A and single dwelling on Lot B; and
- iii. Subdivision - Strata title – two (2) lots of Units 1 and 2.

Permissibility

The subject site is zoned R2 Low Density Residential pursuant to Wollongong Local Environmental Plan (WLEP) 2009. Dual occupancies and dwelling houses are permissible with consent in the R2 zone. The proposed subdivision is permissible on land to which the Wollongong Local Environmental Plan 2009 (WLEP 2009) applies pursuant to Section 2.6 of WLEP 2009. Demolition and tree removal are ancillary works so as to facilitate the proposal and as such are also permissible.

Consultation

Details of the proposal were publicly exhibited in accordance with Council's adopted Community Participation Plan 2019. Twenty six (26) unique submissions were received. Following the submission of amended plans & additional information, the proposal was renotified, with a total of twenty one (21) unique submissions received. Following the submission of further amended plans & additional information, the proposal was again renotified, with a total of eleven (11) unique submissions received. The issues identified are discussed at section 1.5 of this report.

Internal

Details of the proposal were referred to Council's Development Engineering, Geotechnical, Environment, Landscape and Community Safety Officers for assessment. Satisfactory referral advice, comments and/or recommended conditions were provided in each instance. Assessment considerations of internal groups as relates to relevant Chapters of the WDCP 2009 are presented at section 2.3.1 of this report.

External

Details of the application submission were referred to the NSW Department of Planning and Environment-Water as required under the Water Management Act 2000. Advice received indicates the proposal is considered conditionally satisfactory and General Terms of Approval were issued.

Main Issues

The main issues identified during the course of assessment are:-

- Variation requests regarding the number of storeys (8m rear setback to the first floor) control of Chapter B1 Section 4.1.2(1) and lot width control of Chapter B2 Section 6.3(2) of WDCP2009.
- Flooding;
- Traffic and parking
- Character of the area; and
- Biodiversity and riparian corridor impacts.

RECOMMENDATION

DA-2022/858 be approved subject to the conditions provided in **Attachment 6**.

1.0 APPLICATION OVERVIEW

1.1 PLANNING CONTROLS

The following planning controls apply to the proposal:

State Environmental Planning Policies:

- State Environmental Planning Policy (Resilience & Hazards) 2021
- State Environmental Planning Policy (Biodiversity & Conservation) 2021
- SEPP (Building Sustainability Index: BASIX) 2004

Local Environmental Planning Policies:

- Wollongong Local Environmental Plan (WLEP) 2009

Development Control Plans:

- Wollongong Development Control Plan (WDCP) 2009

Other policies

- Wollongong City Wide Development Contributions Plan
- Wollongong Community Participation Plan

1.2 DETAILED DESCRIPTION OF PROPOSAL

The application proposes the development in the following three (3) phases:

- i. Demolition of existing structures and tree removal and Subdivision – Torrens title - two (2) residential lots to create proposed Lots A and B;
- ii. Construction of a detached dual occupancy on proposed Lot A and single dwelling on proposed Lot B; and
- iii. Subdivision - Strata title – two (2) lots of the detached dual occupancy on proposed Lot A, Units 1 and 2.

1.3 BACKGROUND

The development history of the site is as follows:

Application Number	Description (Application)	Decision	Determined
BC-1992/86	Brick House With Metal Deck Roof	APPROVED	29-Jan-92
DA-1986/399	Pipe Watercourse	APPROVED	07-Jul-86
TMO-2018/483	Remove 2 Trees	APPROVED	18-May-18
PL-2019/40	Multi Dwelling Housing	COMPLETED	12-Apr-19

Application History

The subject development application, DA-2022/858, was lodged on 8 August 2022 and proposed demolition of existing structures, tree removal, construction of four (4) unit multi dwelling housing development and four (4) lot Torrens title development. The application was notified from 30 August 2022 to 30 September 2022.

Council staff raised concerns with regard to flooding impacts from both the watercourse and overland flows. The applicant was requested to provide a flood study to demonstrate that flooding impacts both on the proposed development and on adjoining properties as a result of the proposed

development would not be adverse, amended concept drainage plans and a geotechnical report with regard to bank stability. Additional information including a flood study and geotechnical report, amended concept drainage plans, amended plans and statement of environmental effects were provided by the applicant. The amended plans and documentation increased the finished floor levels of each unit and indicated a change in the development to a phased development consisting of demolition of existing structures, tree removal and a two (2) lot Torren title subdivision, construction of a dual occupancy on each lot and four (4) lot Torrens title subdivision of the dual occupancies constructed were provided. These plans were notified from 3 May 2023 to 2 June 2023.

Further concerns were raised by Council regarding flooding impacts from both the watercourse and overland flows on the proposed development. Amended plans that reduced the yield of the proposed development by one (1) lot and one (1) unit were provided by the applicant so as to minimise the impact of flooding on the proposed development and flood affectation on adjoining property. These plans were notified from 11 September 2023 to 11 October 2023.

A further amendment was made to the phase 3 two (2) lot subdivision to change it from a two (2) lot Torrens title subdivision to a two(2) lot Strata subdivision of the proposed dual occupancy, the development as now proposed.

Customer service actions:

There are no outstanding customer service requests of relevance to the property.

1.4 SITE DESCRIPTION

The site is located at 7 Welmont Place, MOUNT KEIRA and the title reference is Lot 11 DP 239697.

Situated on the land is a single storey brick veneer dwelling with a pitched iron roof. Vehicular access to the site is via driveway off Welmont Place. A riparian corridor traverses the South eastern boundary of the subject site.

The land is an irregular shaped allotment with an overall site area of approximately 1523.9m². The site has a cross fall to the South.

The street scene in the immediate vicinity is characterised by low density residential development of single and double storey construction. Adjoining development consists of a double storey dwelling to the North west, a single storey dwelling to the North east, rear, and Edmund Rice College to the South east.

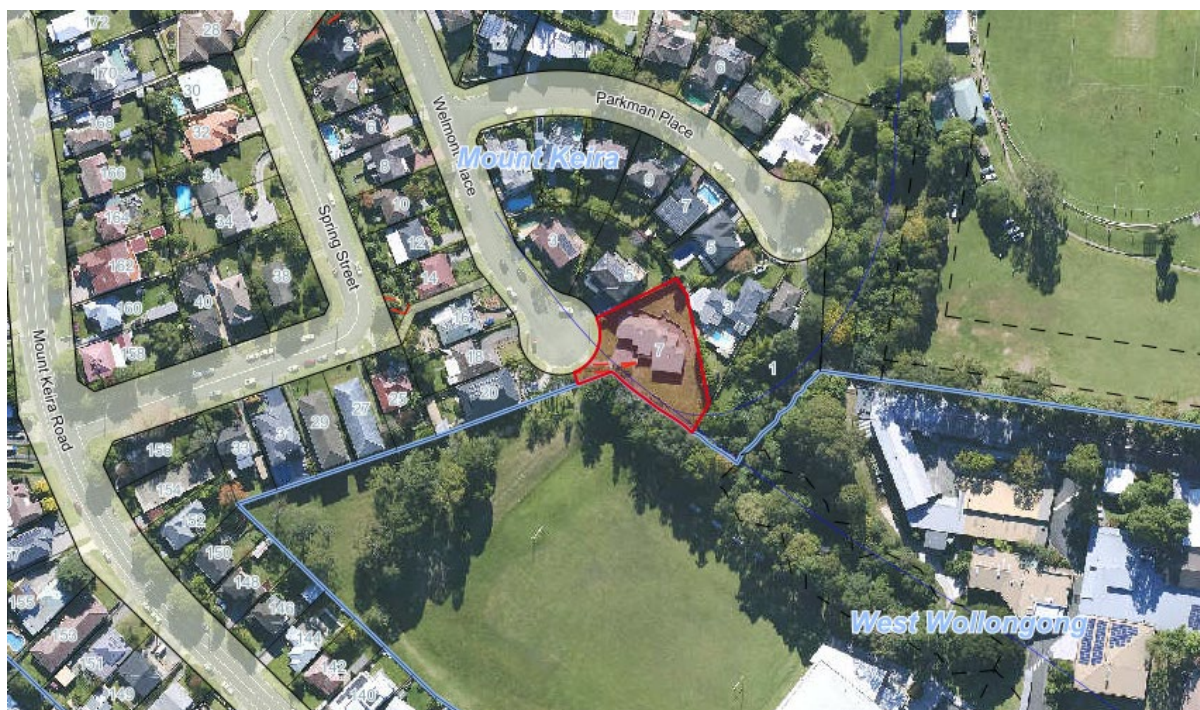


Figure 1: Aerial photograph (2021)

Property constraints

- Flooding: Classification under review.
- Natural Resource Sensitivity – Biodiversity;
- Riparian Land
- Easement:
 - Drain water.

There are no restrictions on the title.

1.5 SUBMISSIONS

Details of the proposal were publicly exhibited in accordance with Council’s adopted Community Participation Plan 2019. Twenty six (26) unique submissions were received. Following the submission of amended plans & additional information, the proposal was renotified, with a total of twenty one (21) unique submissions received. Following the submission of further amended plans & additional information, the proposal was renotified, with a total of eleven (11) unique submissions received. The main issues identified within the submissions are discussed below.

Table 1: Submissions

Concern	Comment
1. Character of the area, precedent, permissibility	Chapter D1 indicates that Mount Keira shall remain a low density residential suburb with predominantly detached dwelling-houses. The replacement of some older dwelling stock with dual occupancy developments may possibly occur on larger sites. Any new residential building should be designed to be relatively sympathetic with the surrounding residential development in terms of housing style and external finishes.

Concern	Comment
	<p>Development within the vicinity of the subject site is characterised by low density residential development of varying architectural styles. Adjoining development consists of a double storey dwelling to the North west, a single storey dwelling to the North east, rear, and Edmund Rice College to the South east. Examples of larger lots having dual occupancy development or development similar to that proposed can be found within close proximity to the site.</p> <p>The proposed dwellings are considered generally consistent with the future desired character of Mount Keira proposing replacement of existing older housing stock with low density residential development dwellings separated by distance and roof form from each other on the relatively large site. This separation of the buildings is consistent with the built environment of the adjacent and surrounding land. As such the proposed development will have minimal impact on the existing streetscape and character of the area.</p> <p>The proposed development satisfies Council's Floor Space Ratio and Building Height development standards as identified in the WLEP 2009, and overall the bulk and scale of the proposed development is considered acceptable in this circumstance.</p> <p>The proposed development is a permissible use in the R2 zone and satisfies controls for dual occupancy and single dwelling development under Wollongong Development Control Plan 2009. The proposal is considered to not detract from the existing character of Mount Keira and is compatible with the desired future character for the locality.</p> <p>The proposed subdivision is permissible on land to which the Wollongong Local Environmental Plan 2009 (WLEP 2009) applies pursuant to Section 2.6 of WLEP 2009.</p>
2. Flooding and stormwater management	<p>Particular consideration was given to flooding impacts both on the proposed development and on adjoining properties as a result of the proposed development.</p> <p>The applicant was requested to provide a flood study to demonstrate that flooding impacts on and as a result of the proposal would not be adverse, amended concept drainage plans and a geotechnical report with regard to bank stability. Additional information including a flood study and geotechnical report, and amended plans that increased the floor level of the proposed dwellings so as to minimise the impact of flooding on the proposed development and flood</p>

Concern	Comment
	<p>affectation on adjoining property were provided by the applicant.</p> <p>Council's Development Engineering team requested additional information regarding flooding impacts from both the watercourse and overland flows on the proposed development. Amended plans that reduced the yield of the proposed development by one lot and one unit as such removing any dwelling within 10m of top of bank were provided by the applicant so as to minimise the impact of flooding on the proposed development and flood affectation on adjoining property. The additional information and amended plans have been reviewed by Council's Development Engineering team and are considered to resolve concerns raised.</p>
<p>3. Biodiversity Land and Riparian corridor</p>	<p>The site is identified as "Natural Resource Sensitivity – Biodiversity" which coincides with the riparian corridor. Concerns were raised by Council regarding the proposed developments proximity to the top of bank of the riparian corridor. Amended plans were provided by the applicant reducing the yield of the development by one lot and one unit as such removing dwellings within 10m of the top of bank and minimising impacts on vegetation within the riparian corridor.</p> <p>Details of the application submission including an arborist report were referred to Council's Environment Officer for comment. Advice received is that the application is considered conditionally satisfactory in this circumstance.</p> <p>Details of the application submission were referred to the NSW Department of Planning and Environment - Water as required under the Water Management Act 2000 due to the proposed developments proximity to the riparian corridor. Advice received indicates the proposal is considered conditionally satisfactory. The NSW Department of Planning and Environment - Water General Terms of Approval are included at Attachment 6 of this report.</p>
<p>4. Traffic and Pedestrian Safety, Parking</p>	<p>Consideration was given to traffic and pedestrian safety and parking in the assessment of the application. Details of the application were referred to Council's Development Engineering Officer for comment.</p> <p>Advice received indicates that the car parking, access and egress arrangements and manoeuvring are acceptable in this circumstance for the following reasons:</p>

Concern	Comment
	<ul style="list-style-type: none"> - Council's DCP requires six (6) parking spaces for the proposed development. The proposal provides six (6) onsite parking spaces. - The proposed development satisfies Council's driveway cross over width controls thus minimising impacts on street parking spaces. - The proposed development will result in a maximum of 1 additional trips in and out in the peak hour based on RMS rates. Therefore it is considered that the traffic generated by the proposed development will not be unreasonable in this circumstance, and is within the capacity of the local road network. - The end of cul-de-sac's are considered low traffic and low speed environment where the risk to pedestrians and cyclists are much lower than other vehicle through routes. - The proposed access arrangement will improve existing egress arrangements for the site by allowing vehicles to leave the site in a forward facing direction.
<p>5. Minimum Site Width</p>	<p>The proposed site widths are considered acceptable in this circumstance for the following reasons:</p> <ul style="list-style-type: none"> - The application submission demonstrates that the proposed lot width and depths can cater for the proposed dwellings having regard for site constraints and environmental qualities of the land. Advice received from the NSW Department Planning and Environment-Water and Council's Geotechnical, Environment and Development Engineering Officers is such that the proposal is satisfactory subject to consent conditions. - The variation to the site width is considered minor due to the location of the site at the end of cul-de-sac and the sites irregular shape. The site width at the development footprints exceeds the 15m minimum site width. - The dwellings have a sufficient area of private open space to the rear of each dwelling that is able achieve reasonable levels of solar access in this circumstance. - The dwellings are able to achieve Council's Floor Space Ratio, Landscaped Area and satisfy the objectives of boundary setback controls with the lot sizes proposed. - The proposal complies with the minimum lot size requirements stipulated under WLEP 2009 Section 4.1. Advice received from Council's Development

Concern	Comment
	<p>Engineering Officer indicates there are no issues with the proposed lot sizes.</p> <ul style="list-style-type: none"> - Although the numerical requirements have not been strictly met in this circumstance it is considered that the objectives of the Section have been met ensuring minimal impact on the street scene and on the amenity of the adjoining dwellings.
6. Access to creek and school	<p>Council staff sought amended plans regarding the proposed developments proximity to the riparian corridor, top of bank of the water course. Amended plans were provided by the applicant that reduced the number of units on proposed Lot B to one unit and provided no part of a dwelling within 10m of the top of bank of the water course. The development as now proposed is not envisaged to change existing public access to the water course.</p> <p>With respect to concerns raised regarding access to the school via Welmont Place, existing access to the school over the privately owned lot has not been physically altered by the proposed development.</p>
7. Tree removal	<p>Consideration was given to the proposed tree removal and impacts of the proposed development on trees to be retained.</p> <p>Details of the application submission including an arborist report were referred to Council's Environment Officer for comment. Advice received is that the application is considered conditionally satisfactory in this circumstance.</p> <p>The one (1) tree to be removed was considered not a significant site constraint as it is not a native species and has the potential to cause significant damage to the driveway and as such not worthy of retention.</p> <p>Landscaping conditions are included at Attachment 6 specifying trees to be removed, trees to be retained, compensatory plantings, tree protection and management.</p> <p>With respect to the removal of trees prior to the lodgement of the application this matter has been discussed with Council's Tree Management Officer. Advice received was that the trees in question were not considered significant trees and no further action is required.</p>
8. Waste collection	<p>Details of the application were referred to Council's Development Engineering Officer for comment.</p> <p>Advice received indicates that the cul-de-sac has been designed to enable manoeuvring of a Council garbage</p>

Concern	Comment
	<p>pick up vehicle, satisfies Council's onsite parking requirements and has sufficient frontage for waste collection. As such the proposal complies with Council's waste management controls.</p>
<p>9. Access to Hydrants</p>	<p>The proposal complies with Council's onsite parking controls and complies with Council's driveway crossover controls so as to minimise impacts on street parking.</p> <p>A condition at Attachment 6 requires hydrant servicing provision should a hydrant be required under the NSW Fire & Rescue guidelines.</p>
<p>10. Privacy</p>	<p>The proposed development is considered acceptable with respect to privacy in this circumstance for the following reasons:</p> <ul style="list-style-type: none"> - The upper level window on the North eastern elevation of Unit 2 is a bedroom window. Windows on the upper level of the North western elevation consist of bathroom windows and a stair well window. - The upper level window on the North eastern elevation of Unit 3 is a bathroom window. Bathrooms are not considered high usage rooms. Condition 34 at Attachment 6 requires bathroom windows to the development to be opaque minimising overlooking impacts from the first of Unit 3. - Reasonable setbacks to the first floor have been maintained to the side boundaries for Units 2 and 3 providing separation by distance and roof form from adjoining properties. - The mature bamboo hedge along the rear boundary of the adjoining property to the rear will soften the visual impacts of Unit 3 and minimise overlooking from the first floor.
<p>11. Proposal description confusing</p>	<p>The subject development application, DA-2022/858, was lodged on 8 August 2022 and proposed demolition of existing structures, tree removal, construction of four (4) unit multi housing development and four (4) lot Torrens title development.</p> <p>The applicant was requested to provide a flood study to demonstrate that flooding impacts both on the proposed development and on adjoining properties as a result of the proposed development would not be adverse, amended concept drainage plans and a geotechnical report with regard to bank stability. Additional information including a flood study and geotechnical report, amended concept drainage plans and amended plans and statement of environmental</p>

Concern	Comment
	<p>effects were provided by the applicant. The amended plans and documentation increased the finished floor levels of each unit and indicated a change in the development to a phased development consisting of demolition of existing structures, tree removal and a two (2) lot Torren title subdivision, construction of a dual occupancy on each lot and four (4) lot Torrens title subdivision of the dual occupancies constructed were provided.</p> <p>Further issues were raised by Council regarding potential flooding impacts from both the watercourse and overland flows on the proposed development. Amended plans that reduced the yield of the proposed development by one lot and one unit were provided by the applicant so as to minimise the impact of flooding on the proposed development and flood affectation on adjoining property.</p> <p>A further amendment was made to the phase 3 two (2) lot subdivision to change it from a two (2) lot Torrens title subdivision to a two(2) lot Strata subdivision of the proposed dual occupancy, the development as now proposed and described in this report.</p>
12. Overshadowing in summer	<p>The proposed development will have minimal impact on the adjoining dwellings in terms of overshadowing for the following reasons:</p> <ul style="list-style-type: none"> - The subject site is situated to the South and South west of the adjoining properties as such the majority of shadow cast by the proposed dwelling falls on the subject site. - Reasonable setbacks have been proposed to the site boundaries. - Reasonable separation distances have been maintained between the proposed dwelling and the adjoining dwellings to the North east and North west. - Reasonable building heights have been proposed. Unit 2 is 1.697m and Unit 3 1.696m below the 9m maximum building height. - The proposal complies with bulk and scale controls. - Submitted shadow diagrams are considered satisfactory and detail reasonable solar access between 9am and 3pm on 21 June as required by WDCP 2009 Chapter B1, which in turn would indicate reasonable solar access could be achieved in the summer months when the sun is at a higher angle.

Table 2: Number of concerns raised in submissions

Concern	1	2	3	4	5	6	7	8	9	10	11	12
Frequency	20	25	19	26	4	9	9	18	1	12	8	1

1.6 CONSULTATION**1.6.1 INTERNAL CONSULTATION****Development Engineering Officer**

Council's Development Engineering Officer has assessed the application submission in regard to subdivision, traffic, flooding and stormwater matters and provided conditionally satisfactory advice.

It is noted that the particular consideration was given to flooding impacts both on the proposed development and on adjoining properties as a result of the proposed development.

Council's Development Engineering Officer raised concerns with regard to flooding impacts from both the watercourse and overland flows. The applicant was requested to provide a flood study to demonstrate that flooding impacts on and as a result of the proposal would not be adverse, amended concept drainage plans and a geotechnical report with regard to bank stability. Additional information including a flood study and geotechnical report, and amended plans that increased the floor level of the proposed dwellings so as to minimise the impact of flooding on the proposed development and flood affectation on adjoining property were provided by the applicant.

Further issues were raised by Council's Development Engineering Officer regarding flooding impacts from both the watercourse and overland flows on the proposed development. Amended plans that reduced the yield of the proposed development by one lot and one unit as such removing any dwelling within 10m of top of bank were provided by the applicant so as to minimise the impact of flooding on the proposed development and flood affectation on adjoining property. The additional information and amended plans have been reviewed by Council's Development Engineering Officer and are considered to resolve concerns raised.

Geotechnical Officer

Council's Geotechnical Officer has assessed the application submission and provided conditionally satisfactory advice.

Landscape Officer

Council's Landscape Officer has assessed the application submission and provided conditionally satisfactory advice.

Environment Officer

Council's Environment Officer has assessed the application submission and provided conditionally satisfactory advice.

Safer Community Action Team (SCAT) Officer

Council's SCAT officer has assessed the application submission and considered it conditionally satisfactory.

1.6.1 EXTERNAL CONSULTATION**NSW Department of Planning and Environment - Water**

Details of the application submission were referred to the NSW Department of Planning and Environment - Water as required under the Water Management Act 2000. Advice received indicates the proposal is considered conditionally satisfactory. The NSW Department of Planning and Environment - Water General Terms of Approval are included at **Attachment 6** of this report.

1.7 Application of Part 7 of Biodiversity Conservation Act 2016 and Part 7A of Fisheries Management Act 1994

This Act has effect subject to the provisions of Part 7 of the Biodiversity Conservation Act 2016 and Part 7A of the Fisheries Management Act 1994 that relate to the operation of this Act in connection with the terrestrial and aquatic environment.

NSW BIODIVERSITY CONSERVATION ACT 2016

Section 1.7 of the Environmental Planning and Assessment Act 1979 (EP&A Act) provides that Act has effect subject to the provisions of Part 7 of the Biodiversity Conservation Act 2016 (BC Act).

Part 7 of the BC Act relates to Biodiversity assessment and approvals under the EP&A Act where it contains additional requirements with respect to assessments, consents and approvals under this Act.

Section 7.2 of the Biodiversity Conservation Regulation 2017 provides the minimum lot size and area threshold criteria for when the clearing of native vegetation triggers entry of a proposed development into the NSW Biodiversity offsets scheme. For the subject site, entry into the offset scheme would be triggered by clearing of an area greater than 0.25 hectares based upon the minimum lot size of the WLEP 2009 R2 zoned land (i.e. less than 1 hectare minimum lot size).

The area of vegetation clearing proposed of 0.001 hectares would not exceed the BOS area threshold (0.25 hectares for the lot size). Therefore the proposal does not trigger the requirement for a biodiversity offset scheme.

Council's Environment Officer has indicated that the site is not identified as being of high biodiversity value on the Biodiversity Values Map.

The proposed development is not likely to significantly affect threatened species or ecological communities, or their habitats.

The development would therefore not be considered to result in adverse impacts on biodiversity and is consistent with the provisions of the Biodiversity Conservation Act 2016.

2.1 SECTION 4.15(1)(A)(1) ANY ENVIRONMENTAL PLANNING INSTRUMENT

2.1.1 STATE ENVIRONMENTAL PLANNING POLICY (RESILIENCE & HAZARDS) 2021

4.6 Contamination and remediation to be considered in determining development application

- (1) A consent authority must not consent to the carrying out of any development on land unless:*
- (a) it has considered whether the land is contaminated, and*
 - (b) if the land is contaminated, it is satisfied that the land is suitable in its contaminated state (or will be suitable, after remediation) for the purpose for which the development is proposed to be carried out, and*
 - (c) if the land requires remediation to be made suitable for the purpose for which the development is proposed to be carried out, it is satisfied that the land will be remediated before the land is used for that purpose.*

A desktop audit of previous land uses does not indicate any historic use that would contribute to the contamination of the site. Council's Environmental Officer has reviewed the history of the site in conjunction with details of the application submission. Satisfactory referral advice was received indicating no concerns are raised in regard to contamination as relates to the intended use of the land and the requirements of Section 4.6.

The site is therefore considered suitable for the proposed development and consistent with the assessment considerations of SEPP (Resilience and Hazards) 2021.

2.1.2 STATE ENVIRONMENTAL PLANNING POLICY (BIODIVERSITY & CONSERVATION) 2021

The State Environmental Planning Policy (Biodiversity & Conservation) 2021 applies to the Wollongong Local Government Area, identified as being in the South Coast koala management area.

4.9 Development assessment process—no approved koala plan of management for land

There is no approved koala plan of management applying to the land, and the land does not have an area of at least 1 hectare (including adjoining land within the same ownership). As such, Section 4.9 does not apply to the land.

2.1.3 STATE ENVIRONMENTAL PLANNING POLICY (BUILDING SUSTAINABILITY INDEX: BASIX) 2004

The proposed development is BASIX affected development to which this policy applies. In accordance with Section 27 Division 1 Part 3 of the Environmental Planning and Assessment Regulation 2021, a BASIX Certificate has been submitted in support of the application demonstrating that the proposed scheme achieves the BASIX targets.

2.1.4 WOLLONGONG LOCAL ENVIRONMENTAL PLAN 2009

Part 1 Preliminary

Section 1.4 Definitions

Demolition: In relation to a building means wholly or partly destroy, dismantle or deface the building.

Dwelling house means a building containing only one dwelling.

Note—

Dwelling houses are a type of **residential accommodation**—see the definition of that term in this Dictionary.

Dual occupancy (detached) means 2 detached dwellings on one lot of land, but does not include a secondary dwelling.

Note. Dual occupancies (detached) are a type of **dual occupancy**—see the definition of that term in this Dictionary.

Subdivision of land for the purposes of the Environmental Planning & Assessment Act 1979, means the division of land into two or more parts that, after the division, would be obviously adapted for separate occupation, use or disposition. The division may (but need not) be effected:

(a) by conveyance, transfer or partition, or

(b) by any agreement, dealing, plan or instrument rendering different parts of the land available for separate occupation, use or disposition.

Strata title subdivision is essentially the subdivision of space in three dimensions defined by or with reference to walls, floors and ceilings as well as courtyards. It allows for the horizontal subdivision of land and / or airspace into separate titles for separate “strata” lots or units. Each lot or unit represents a separate apartment. An owner of a strata title unit has title to the air bounded by the inner skin of the boundary walls of the unit and by the ceiling height above and the floor level below horizontally.

Torrens Title is a system of title, based on registration. The property owner is referred to as the ‘registered proprietor’ who holds the land subject to interests and other rights recorded in the register but is free from all other interests. The registered proprietor is issued with a Certificate of Title (CT) that is a duplicate copy of the folio entry in the central Torrens Lands Title register, held by the NSW Department of Lands (Land & Property Information).

Part 2 Permitted or prohibited development

Section 2.2 – zoning of land to which Plan applies

The zoning map identifies the land as being zoned **R2 Low Density Residential**.

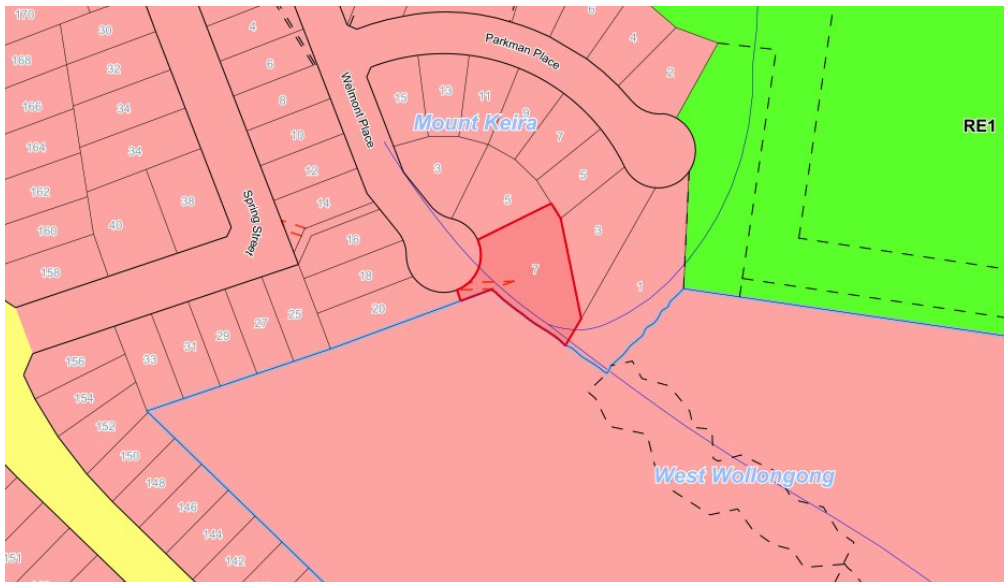


Figure 2: WLEP 2009 zoning map

Section 2.3 – Zone objectives and land use table

The objectives of the zone are as follows:

- *To provide for the housing needs of the community within a low density residential environment.*
- *To enable other land uses that provide facilities or services to meet the day to day needs of residents.*

The proposal is considered satisfactory with regard to the above objectives as it would provide for additional housing opportunities.

The land use table permits the following uses in the zone.

*Attached dwellings; Bed and breakfast accommodation; Boarding houses; Boat launching ramps; Centre-based child care facilities; Community facilities; **Dual occupancies; Dwelling houses;** Environmental facilities; Exhibition homes; Exhibition villages; Group homes; Health consulting rooms; Home-based child care; Hospitals; Hostels; Information and education facilities; Jetties; Multi dwelling housing; Neighbourhood shops; Places of public worship; Recreation areas; Recreation facilities (indoor); Recreation facilities (outdoor); Residential flat buildings; Respite day care centres; Roads; Semi-detached dwellings; Seniors housing; Shop top housing; Signage; Veterinary hospitals*

The proposal is categorised as a dwelling house and dual occupancy as defined above and is permissible in the R2 Low Density Residential zone with development consent. The proposed subdivision is permissible on land to which the Wollongong Local Environmental Plan 2009 (WLEP 2009) applies pursuant to Section 2.6 of WLEP 2009. Demolition and tree removal are ancillary works to facilitate the proposal and as such are also permissible.

Section 2.6 Subdivision—consent requirements

Subdivision is permissible with consent as the subject site is on land to which the Wollongong Local Environmental Plan 2009 applies.

Section 2.7 Demolition requires development consent

Demolition of a building or work may be carried out only with development consent. Demolition works on the existing structures on the site are proposed to facilitate the development.

Part 4 Principal development standards

Section 4.1 Minimum subdivision lot size

The minimum allotment size for the subdivision of land under Part 4.1 of WLEP2009 is 449m². The proposed phase 1 two (2) lot Torrens title subdivision will result in Lot sizes of 746.3m² and 777.7m² which are both compliant with the section.

Phase 3 of the proposal involves strata subdivision of the proposed dual occupancy, units 1 and 2. Subsection 4.1(4) identifies that Section 4.1 does not apply in relation to the subdivision of individual lots in a strata plan.

Section 4.3 Height of buildings

The following proposed building heights do not exceed the maximum building height of 9m permitted for the site:

- Unit 1: 7.48m
- Unit 2: 7.303m
- Unit 3: 7.304m

Section 4.4 Floor space ratio

Maximum FSR permitted for the site:	0.5:1
FSR provided for Lot A:	$343.73\text{m}^2/746.3\text{m}^2 = 0.46:1$
FSR provided for Lot B:	$179.68\text{m}^2/777.7\text{m}^2 = 0.23:1$

The floor space ratio does not exceed the maximum permissible for the site.

Part 5 Miscellaneous provisions

Section 5.21 Flood planning

The subject land is identified as being flood hazard affected. Details of the application submission were referred to Council's Development Engineering Officer for comment.

The applicant was requested to provide a flood study to demonstrate that flooding impacts on and as a result of the proposal would not be adverse, amended concept drainage plans and a geotechnical report with regard to bank stability. Additional information including a flood study and geotechnical report, and amended plans that increased the floor level of the proposed dwellings so as to minimise the impact of flooding on the proposed development and flood affectation on adjoining property were provided by the applicant.

However, further issues were raised by Council's Development Engineering team regarding flooding impacts from both the watercourse and overland flows on the proposed development. Amended plans that reduced the yield of the proposed development by one lot and one unit as such removing any dwelling within 10m of top of bank were provided by the applicant so as to minimise the impact of flooding on the proposed development and flood affectation on adjoining property. The additional information and amended plans have been reviewed by Council's Development Engineering Officer and are considered to resolve concerns raised.

Part 7 Local provisions – general

Section 7.1 Public utility infrastructure

The proposal has been assessed against Section 7.1 of WLEP2009 and it is considered that the subject site is already serviced by public utilities.

Section 7.2 Natural resource sensitivity – biodiversity

The site is identified as "Natural Resource Sensitivity – Biodiversity" which coincides with the riparian corridor. Details of the application submission including a were referred to Council's Environment

Officer for comment. Advice received is that the application is considered conditionally satisfactory in this circumstance.

Section 7.4 Riparian lands

The Riparian Land Map indicates that the subject site contains riparian land. The application submission was referred to Council's Environment Officer for comment. Advice received indicates there are no issues with the proposal subject to conditions of consent.

Details of the application submission were referred to the NSW Department of Planning and Environment - Water as required under the Water Management Act 2000. Advice received indicates the proposal is considered conditionally satisfactory. The NSW Department of Planning and Environment - Water General Terms of Approval are included at **Attachment 6** of this report.

Section 7.6 Earthworks

Earthworks associated with the proposal are considered minor, reflective of normal residential construction and thus acceptable in this circumstance. A geotechnical report and flood study accounting for the earthworks associated with the proposal were submitted with the application.

The application was referred to Council's Geotechnical, Development Engineering and Environment Officers for comment and no objections were raised in relation to this matter subject to conditions of consent. Therefore, it is considered that the earthworks will not have a detrimental impact on environmental functions and processes, neighbouring uses and features of the surrounding land. Conditions within the consent account for appropriate soil and water management during construction.

2.2 SECTION 4.15(1)(A)(II) ANY PROPOSED INSTRUMENT

Not applicable.

2.3 SECTION 4.15(1)(A)(III) ANY DEVELOPMENT CONTROL PLAN

2.3.1 WOLLONGONG DEVELOPMENT CONTROL PLAN 2009

The development has been assessed against the relevant chapters of WDCP 2009. Compliance tables can be found at **Attachment 3** to this report.

The proposal does involve variations to number of storeys (8m rear setback to the first floor) control of Chapter B1 Section 4.1.2(1) and lot width control of Chapter B2 Section 6.3(2) of WDCP2009. Variation request statements with justification have been provided by the applicant in accordance with Section 8 of Chapter A1 of WDCP 2009 and are included at **Attachment 4**. The variations have been considered and are worthy of support in this instance as discussed within **Attachment 3** of this report.

2.3.2 WOLLONGONG CITY WIDE DEVELOPMENT CONTRIBUTIONS PLAN 2022

The estimated cost of works is \$1,320,000 and a levy of 1% is applicable under this plan as the threshold value is \$100,000.

2.4 SECTION 4.15(1)(A)(IIIA) ANY PLANNING AGREEMENT THAT HAS BEEN ENTERED INTO UNDER SECTION 7.4, OR ANY DRAFT PLANNING AGREEMENT THAT A DEVELOPER HAS OFFERED TO ENTER INTO UNDER SECTION 7.4

There are no planning agreements entered into or any draft agreement offered to enter into under S7.4 which affect the development.

2.5 SECTION 4.15(A)(IV) THE REGULATIONS (TO THE EXTENT THAT THEY PRESCRIBE MATTERS FOR THE PURPOSES OF THIS PARAGRAPH)

Environmental Planning and Assessment Regulation 2021

2 Savings

Any act, matter or thing that, immediately before the repeal of the 2000 Regulation, had effect under the 2000 Regulation continues to have effect under this Regulation.

2000 Regulation means the Environmental Planning and Assessment Regulation 2000 as in force immediately before its repeal on 1 March 2022.

6 Determination of BASIX development

Not Applicable.

61 Additional matters that consent authority must consider

A condition at **Attachment 6** requires compliance with AS 2601 for demolition works.

62 Consideration of fire safety

Not Applicable

63 Considerations for erection of temporary structures

Not Applicable

2.6 SECTION 4.15(1)(B) THE LIKELY IMPACTS OF DEVELOPMENT

Context and Setting:

In regard to the matter of context, the planning principle in Project Venture Developments v Pittwater Council [2005] NSWLEC 191 is relevant in that it provides guidance in the assessment of compatibility. The two major aspects of compatibility are physical impact and visual impact. In assessing each of these the following questions should be asked:

Are the proposals physical impacts on surrounding development acceptable? The physical impacts include constraints on the development potential of surrounding sites.

Is the proposals appearance in harmony with the buildings around it and the character of the street?

In response to the first question, matters such as overshadowing, privacy concerns, bulk scale and setbacks are relevant. The proposed development is for a development involving demolition of existing structures, subdivision and construction of a dual occupancy and single dwelling. The proposed lots allow for reasonable siting of the proposed dwellings to satisfy the objectives of Council's boundary setback requirements so as to have minimal impact on the adjoining properties in terms of privacy and overshadowing and to allow reasonable solar access to the proposed dwellings.

In regard to the visual impact, the development is considered to be largely in harmony with the surrounding character the area. The immediate area surrounding the site is characterised by low density residential development of varying architectural styles. The proposed development satisfies Council's Floor Space Ratio and Building Height development standards as identified in the WLEP 2009, and overall the bulk and scale of the proposed development is considered acceptable in this circumstance.

The scale of the development as viewed from the street is considered comparable to other developments in the locality.

In summary, the proposal has been assessed with regard to the amenity impacts from the development, the zoning, permissible lot size and existing and future character of the area, and is considered to be compatible with the local area.

Access, Transport and Traffic:

Access to the site will be via an approved driveway to Council's formed roadway which adjoins Council's Local Road. The development is considered not to result in an adverse impact on the traffic movement and access to the site. Council's Development Engineering Officer has no objections to the proposed access arrangements subject to conditions included at **Attachment 6**.

Public Domain:

The development is considered to be consistent with the amenity of the locality, the development is not considered to result in significant impact on the public domain.

Utilities:

The proposal is not envisaged to place an unreasonable demand on utilities supply. Existing utilities can be augmented to service the proposal.

Heritage:

No heritage items will be impacted by the proposal.

Other land resources:

The proposal is considered to contribute to orderly development of the site and is not envisaged to impact upon valuable land resources.

Water:

The site is presently serviced by Sydney Water, which can be readily extended to meet the requirements of the proposed development. A BASIX certificate has been provided for the proposal.

The proposal is not envisaged to have unreasonable water consumption.

Soils:

It is expected that, with the use of appropriate erosion and sedimentation controls during construction, soil impacts will not be unreasonably adverse.

The soil profile is considered to be acceptable for the construction of the proposed development. Council's Geotechnical, Development Engineering and Environment Officers have assessed the application submission and considered it satisfactory subject to conditions.

Air and Microclimate:

The proposal is not expected to have a negative impact on air or microclimate.

Flora and Fauna:

One (1) tree is proposed to be removed with this application. The proposal is not expected to adversely impact fauna. Council's Landscape and Environment Officers has reviewed the application submission including the landscape plan and arborist report. Advice received is that the application is considered conditionally satisfactory.

For Council's Landscape and Environment Officers response please see Section 1.6.1 of the report.

Waste:

Waste management during works can be managed through proper arrangements. A condition is proposed requiring the use of an appropriate receptacle for any waste generated during the

construction and compliance with the Site Waste Management and Minimisation Plan provided with the DA.

Energy:

The proposal is not envisaged to have unreasonable energy consumption. A BASIX certificate has been provided for the proposal.

Noise and vibration:

Noise and vibration impacts during excavation and construction are unavoidable. If the development is approved, a suite of conditions are recommended for imposition (see **Attachment 6**) to minimise nuisance during and construction.

Natural hazards:

There are no natural hazards affecting the site that would prevent the proposal.

Council records list the site as being flood affected. Council's Development Engineering Officer has assessed the application submission in this regard and has not raised any objections subject to conditions.

Technological hazards:

There are no technological hazards affecting the site that would prevent the proposal.

Safety, Security and Crime Prevention:

This application is not expected to result in greater opportunities for criminal or antisocial behaviour.

Social Impact:

The proposal is not expected to create negative social impacts.

Economic Impact:

The proposal is not expected to create negative economic impacts.

Site Design and Internal Design:

The proposal does not involve an exception to WLEP 2009 development standard.

The application identifies variations to the number of storeys (8m rear setback to the first floor) control in Chapter B1 Section 4.1.2(4) and lot width control in Chapter B2 Section 6.3(2) of WDCP 2009.

This variations have been considered in section 2.3.1 as being adequately justified and thus capable of support.

Construction:

Conditions of consent are recommended in relation to construction impacts such as hours of work, erosion and sedimentation controls, works in the road reserve, excavation, and use of any crane, hoist, plant or scaffolding.

A condition will be attached to any consent granted that all works are to be in compliance with the Building Code of Australia.

Cumulative Impacts:

The development is considered consistent with the amenity of the neighbourhood and the surrounding development.

2.8 SECTION 4.15(1)(C) THE SUITABILITY OF THE SITE FOR DEVELOPMENT

Does the proposal fit in the locality?

The proposal is considered appropriate with regard to the zoning of the site and is not expected to result in negative impacts on the amenity of the locality or adjoining developments.

Are the site attributes conducive to development?

There are no site constraints that would prevent the proposal.

2.9 SECTION 4.15(1)(D) ANY SUBMISSIONS MADE IN ACCORDANCE WITH THIS ACT OR THE REGULATIONS

See section 1.5 of this report.

2.10 SECTION 4.15(1)(E) THE PUBLIC INTEREST

The proposal is not expected to result in unreasonable impacts on the environment or the amenity of the locality. It is considered appropriate with consideration to the zoning and the character of the area and is therefore considered to be in the public interest.

3 CONCLUSION

The proposed development has been assessed with regard to the relevant prescribed matters for consideration outlined in Section 4.15 of the Environmental Planning & Assessment Act 1979, the provisions of Wollongong Local Environmental Plan 2009 and all relevant Council DCPs, Codes and Policies.

Both subdivision, dwelling houses and dual occupancies are permitted in the R2 land use zone with development consent pursuant to the WLEP 2009. The proposal does not result in exceptions to development standards.

The development is consistent with most of the applicable provisions of the relevant planning instruments including Wollongong LEP 2009.

The proposal does involve Development Control Plan variations to the rear setback to the first floor and lot width controls. Variation request statements with justification have been provided by the applicant in accordance with Section 8 of Chapter A1 of WDCP 2009. These variations have been considered and are capable of support in this instance as discussed within section 2.3.1 of this report.

All internal and external referrals are satisfactory and there are no outstanding issues.

It is considered that the proposed development is unlikely to result in adverse impacts on the character or amenity of the surrounding area, environment and adjoining development.

4 RECOMMENDATION

DA-2022/858 be approved pursuant to Section 4.16(1) of the Environmental Planning & Assessment Act 1979 subject to the conditions provided at **Attachment 6**.

5 ATTACHMENTS

- 1 Plans
- 2 Site Inspection Photos
- 3 Compliance table for Wollongong Development Control Plan 2009
- 4 Section 8 Variation to Development Control Statements
- 5 Advice from Department of Planning and Environment-Water
- 6 Conditions

PROPOSED UNIT DEVELOPMENT & SUBDIVISION

7 WELMONT PLACE, MOUNT KEIRA, LOT 11 IN DP 239697

Window Schedule					
Mark	Location	Window Style	Height	Width	Remarks
1	Unit 1	Fixed	1800	730	
2	Unit 1	Fixed	1800	730	
3	Unit 1	Sliding	1030	1810	
4	Unit 1	Fixed	600	1210	
5	Unit 1	Sliding	944	1450	
6	Unit 1	Awning	1800	1500	
7	Unit 1	Awning	1800	610	
8	Unit 1	Awning	1800	610	
9	Unit 1	Awning	1800	610	
10	Unit 1	Awning	1800	610	
11	Unit 1	Awning	1800	610	
12	Unit 1	Awning	1800	610	
13	Unit 1	Sliding	600	2410	
14	Unit 1	Sliding	900	970	Obscured
15	Unit 1	Sliding	1030	1450	Obscured
16	Unit 1	Fixed	1800	730	
17	Unit 1	Fixed	1800	730	
18	Unit 1	Fixed	1800	730	
19	Unit 1	Sliding	900	970	Obscured
20	Unit 1	Awning	1800	2250	

Window Schedule					
Mark	Location	Window Style	Height	Width	Remarks
1	Unit 2	Awning	1800	1210	
2	Unit 2	Awning	1800	1210	
3	Unit 2	Sliding	944	1450	
4	Unit 2	Sliding	600	970	Obscured
5	Unit 2	Awning	1200	610	
6	Unit 2	Sliding	1030	1810	
7	Unit 2	Sliding	1200	2410	
8	Unit 2	Awning	2400	1810	
9	Unit 2	Awning	1800	610	
10	Unit 2	Awning	1800	610	
11	Unit 2	Awning	1800	610	
12	Unit 2	Awning	1800	1800	
13	Unit 2	Awning	1800	1800	
14	Unit 2	Sliding	900	730	Obscured
15	Unit 2	Sliding	1030	1450	Obscured
16	Unit 2	Fixed	1500	1570	
17	Unit 2	Sliding	900	970	Obscured
18	Unit 2	Sliding	1030	1810	

Window Schedule					
Mark	Location	Window Style	Height	Width	Remarks
1	Unit 3	Fixed	1800	730	
2	Unit 3	Fixed	1800	730	
3	Unit 3	Fixed	1800	730	
4	Unit 3	Sliding	1200	2050	
5	Unit 3	Sliding	1030	1810	
6	Unit 3	Fixed	600	1210	
7	Unit 3	Sliding	944	1450	
8	Unit 3	Awning	1800	1500	
9	Unit 3	Awning	1800	2170	
10	Unit 3	Awning	1800	2170	
11	Unit 3	Sliding	600	2410	
12	Unit 3	Sliding	900	970	Obscured
13	Unit 3	Sliding	1030	1450	Obscured
14	Unit 3	Fixed	1800	730	
15	Unit 3	Fixed	1800	730	
16	Unit 3	Fixed	1800	730	
17	Unit 3	Awning	1800	730	Obscured
18	Unit 3	Awning	1800	2250	

Sheet Number	Sheet Name
SH-01	Cover Page
SH-02	Demolition Plan
SH-03	Torrens Title Subdivision Plan
SH-04	Combined Site Plan for LOT A & B
SH-05	Torrens title subdivision of dual occupancy on Lot A to create Lot 1 & 2
SH-06	Lot B Converted to Lot 3 with Location of Easement
SH-07	U1 Ground Floor Plan
SH-08	U1 First Floor Plan
SH-09	U2 Ground Floor Plan
SH-10	U2 First Floor Plan
SH-11	U3 Ground Floor Plan
SH-12	U3 First Floor Plan
SH-13	Sections
SH-14	Sections
SH-15	U1 Elevations
SH-16	U1 Elevations
SH-17	U2 Elevations
SH-18	U2 Elevations
SH-19	U3 Elevations
SH-20	U3 Elevations
SH-21	Shadow Diagrams
SH-22	U1 & U2 Roof Plan
SH-23	U3 Roof Plan
SH-24	Site Waste Management Plan
SH-25	BASIX Requirements
SH-26	U3 BASIX Requirements
SH-27	3D Perspectives
SH-28	Landscape Plan
SH-29	Car Manoeuvring Plan

Door Schedule				
Mark	Location	Height	Width	Comments
D1	Unit 1	2400	2410	
D2	Unit 1	2400	3610	
D1	Unit 2	2400	3610	
D1	Unit 3	2400	2410	
D2	Unit 3	2400	3610	

Cover Page

Note: Use figured dimensions only. DO NOT SCALE.
The builder shall verify all dimensions prior to actual commencement of any earthworks of building construction. These drawings shall be read in conjunction with any relevant Engineer's details and drawings. Illawarra Drafting accepts no responsibility for errors in construction or misinterpretation of drawings. All timber framing sizes shall comply with AS 1684 "Nation Timber Framing Code". All construction works shall comply with provisions of the Building Code of Australia. The roof style is diagrammatic only and need to be designed by roof manufacturer prior to construction, all roof framing and any required beams are to be specified by roof manufacturer.

MOBILE: 0403 716 339
EMAIL:
issasousou_@hotmail.com
ABN: 75 828 056 040

Illawarra
Drafting
A division of SF Business Group

DEMOLITION OF EXISTING STRUCTURES, PROPOSED
UNIT DEVELOPMENT & SUBDIVISION


Project number:	IS2201-18	Scale:		Sheet Number: SH-01
Date:	06/09/23	For:	I.SOUSOU	
Drawn by:	I.SOUSOU	Address:	7 WELMONT PLACE, MOUNT KEIRA, LOT 11 IN DP 239697	
Designed by:	I.SOUSOU			

DEVELOPMENT APPLICATION

Demolish & Remove all Structures Shown Shaded

WELMONT
PLACE

Tree to be
Removed

[illegible]

SCALE
BAR

(A) EASEMENT TO DRAIN WATER 3.05 WIDE
(DP220897)

LOT 11
DP 239687

DEMOLITION OF EXISTING STRUCTURES, PROPOSED UNIT DEVELOPMENT & SUBDIVISION

Project number:	IS2201-18	Scale:	1 : 300
Date:	06/09/23	For:	I.SOUSOU
Drawn by:	I.SOUSOU	Address: 7 WELMONT PLACE, MOUNT KEIRA, LOT 11 IN DP 239697	
Designed by:	I.SOUSOU		

Sheet Number:

SH-02

MOBILE: 0403 716 339
EMAIL: issasousou_@hotmail.com
ABN: 75 828 056 040

Illawarra Drafting

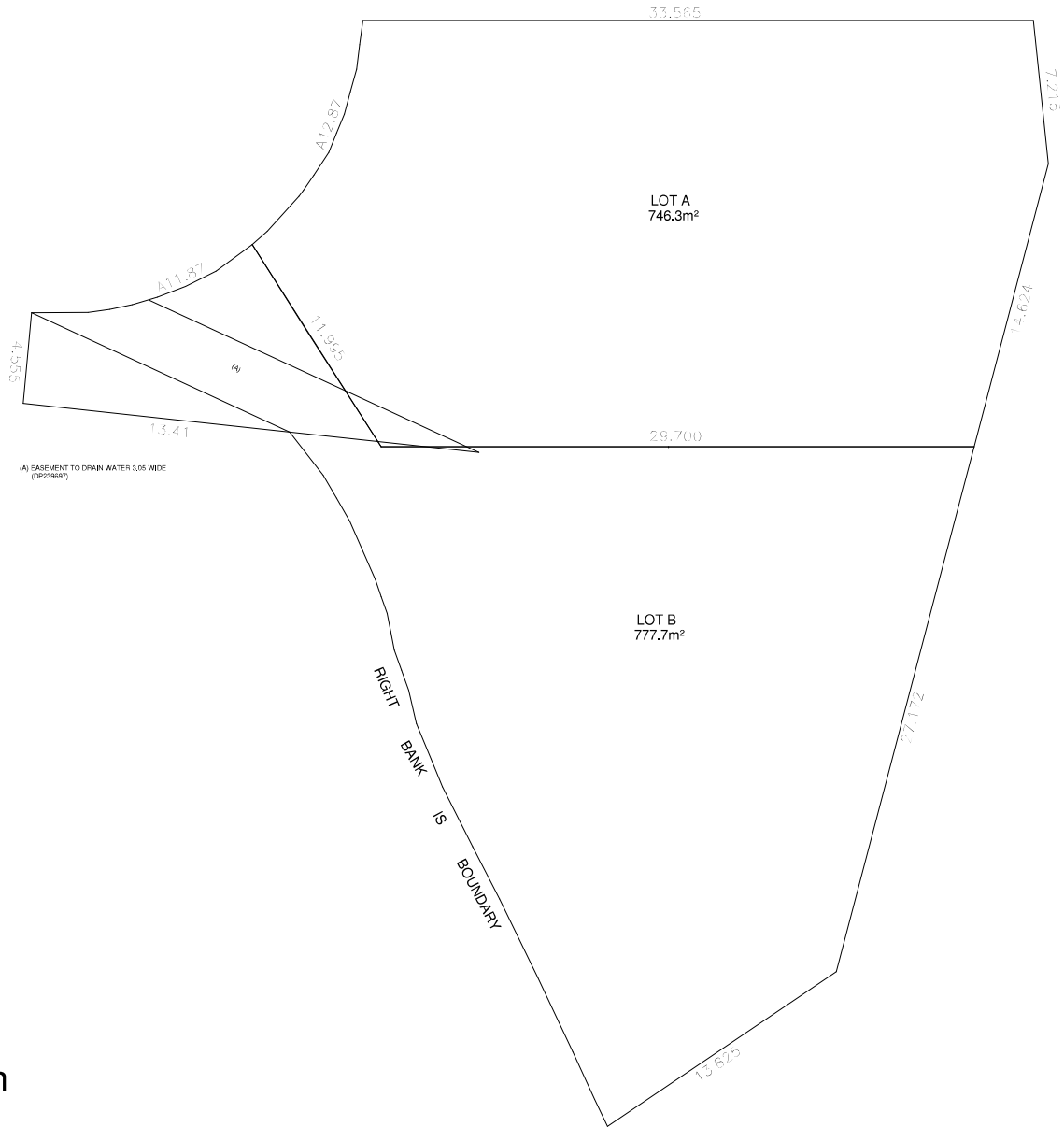
A division of SF Business Group

Note: Use figured dimensions only. DO NOT SCALE. The builder shall verify all dimensions prior to actual commencement of any earthworks of building construction. These drawings shall be read in conjunction with any relevant Engineer's details and drawings. Illawarra Drafting accepts no responsibility for errors in construction or misinterpretation of drawings. All timber framing sizes shall comply with AS 1684 "Nation Timber Framing Code". All construction works shall comply with provisions of the Building Code of Australia. The roof style is diagrammatic only and need to be designed by roof manufacturer prior to construction, all roof framing and any required beams are to be specified by roof manufacturer.

Existing Site/Demolition Plan

Demolition Plan

DEVELOPMENT APPLICATION



Torrens Title Subdivision Plan

Note: Use figured dimensions only. DO NOT SCALE.
The builder shall verify all dimensions prior to actual commencement of any earthworks of building construction. These drawings shall be read in conjunction with any relevant Engineer's details and drawings. Illawarra Drafting accepts no responsibility for errors in construction or misinterpretation of drawings. All timber framing sizes shall comply with AS 1684 "Nation Timber Framing Code". All construction works shall comply with provisions of the Building Code of Australia. The roof style is diagrammatic only and need to be designed by roof manufacturer prior to construction, all roof framing and any required beams are to be specified by roof manufacturer.

MOBILE: 0403 716 339
EMAIL:
issasousou_@hotmail.com
ABN: 75 828 056 040

Illawarra
Drafting
A division of SF Business Group

DEMOLITION OF EXISTING STRUCTURES,PROPOSED FOUR UNIT DEVELOPMENT & TORRENS TITLE SUBDIVISION

Project number:	IS2201-18	Scale:	1 : 250	Sheet Number: SH-03
Date:	06/09/23	For:	I.SOUSOU	
Drawn by:	I.SOUSOU	Address:7 WELMONT PLACE, MOUNT KEIRA, LOT 11 IN DP 239697		
Designed by:	I.SOUSOU			

Combined Site Plan for LOT A & B

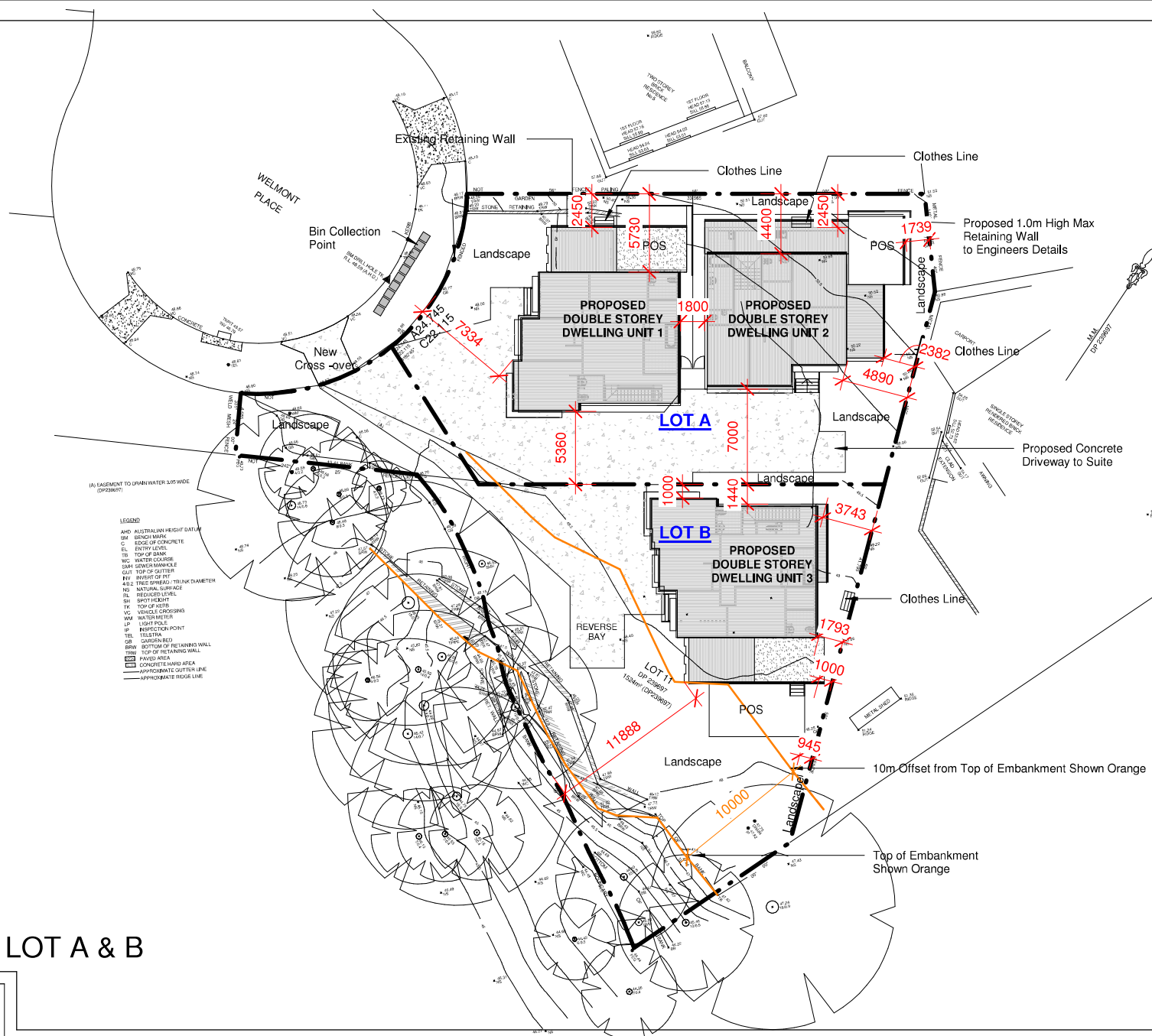
Note: Use figured dimensions only. DO NOT SCALE.
The builder shall verify all dimensions prior to actual commencement of any earthworks of building construction. These drawings shall be read in conjunction with any relevant Engineer's details and drawings. Illawarra Drafting accepts no responsibility for errors in construction or misinterpretation of drawings. All timber framing sizes shall comply with AS 1684 "Nation Timber Framing Code". All construction works shall comply with provisions of the Building Code of Australia. The roof style is diagrammatic only and need to be designed by roof manufacturer prior to construction, all roof framing and any required beams are to be specified by roof manufacturer.

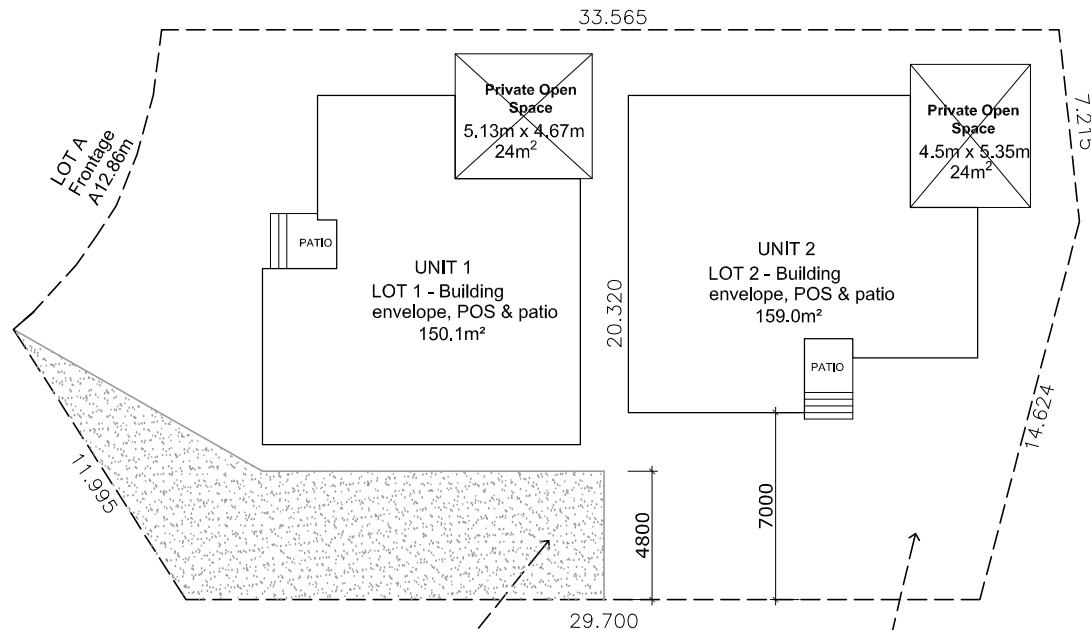
MOBILE: 0403 716 339
EMAIL:
issasousou@hotmail.com
ABN: 75 828 056 040

Illawarra
Drafting
A division of SF Business Group

DEMOLITION OF EXISTING STRUCTURES, PROPOSED UNIT DEVELOPMENT & SUBDIVISION

Project number:	IS2201-18	Scale:	1 : 300	Sheet Number:
Date:	06/09/23	For:	I.SOUSOU	SH-04
Drawn by:	I.SOUSOU	Address:	7 WELMONT PLACE, MOUNT KEIRA, LOT 11 IN DP 239697	
Designed by:	I.SOUSOU			





UNIT 1
 Ground Floor Area: 76m²
 First Floor Area: 101m²
 Garage Area: 37m²
 Total Area: 214m²
 Garage Allowed Concession: 36m²
 Floor Area FSR: 178m²

UNIT 2
 Ground Floor Area: 80m²
 First Floor Area: 85m²
 Garage Area: 37m²
 Total Area: 202m²
 Garage Allowed Concession: 36m²
 Floor Area FSR: 166m²

Total Floor Area FSR: 344m²
 Site Area: 746.3m²
 FSR: 0.46 : 1

Dotted pattern represents carriage way benefiting lot A & B
 carriage way area (shown in dotted pattern) will have a change of concrete colour/ pattern to individual units concrete/ path areas to identify common from private

Unshaded area of Lot A is common property, other than the unit envelope, POS & patio areas.

Strata title subdivision of dual occupancy on Lot A

Note: Use figured dimensions only. DO NOT SCALE. The builder shall verify all dimensions prior to actual commencement of any earthworks of building construction. These drawings shall be read in conjunction with any relevant

Engineer's details and drawings. Illawarra Drafting accepts no responsibility for errors in construction or misinterpretation of drawings. All timber framing sizes shall comply with AS 1684 "Nation Timber Framing Code". All construction works shall comply with provisions of the Building Code of Australia. The roof style is diagrammatic only and need to be designed by roof manufacturer prior to construction, all roof framing and any required beams are to be specified by roof manufacturer.

MOBILE: 0403 716 339
 EMAIL: issasousou_@hotmail.com
 ABN: 75 828 056 040

Illawarra
Drafting

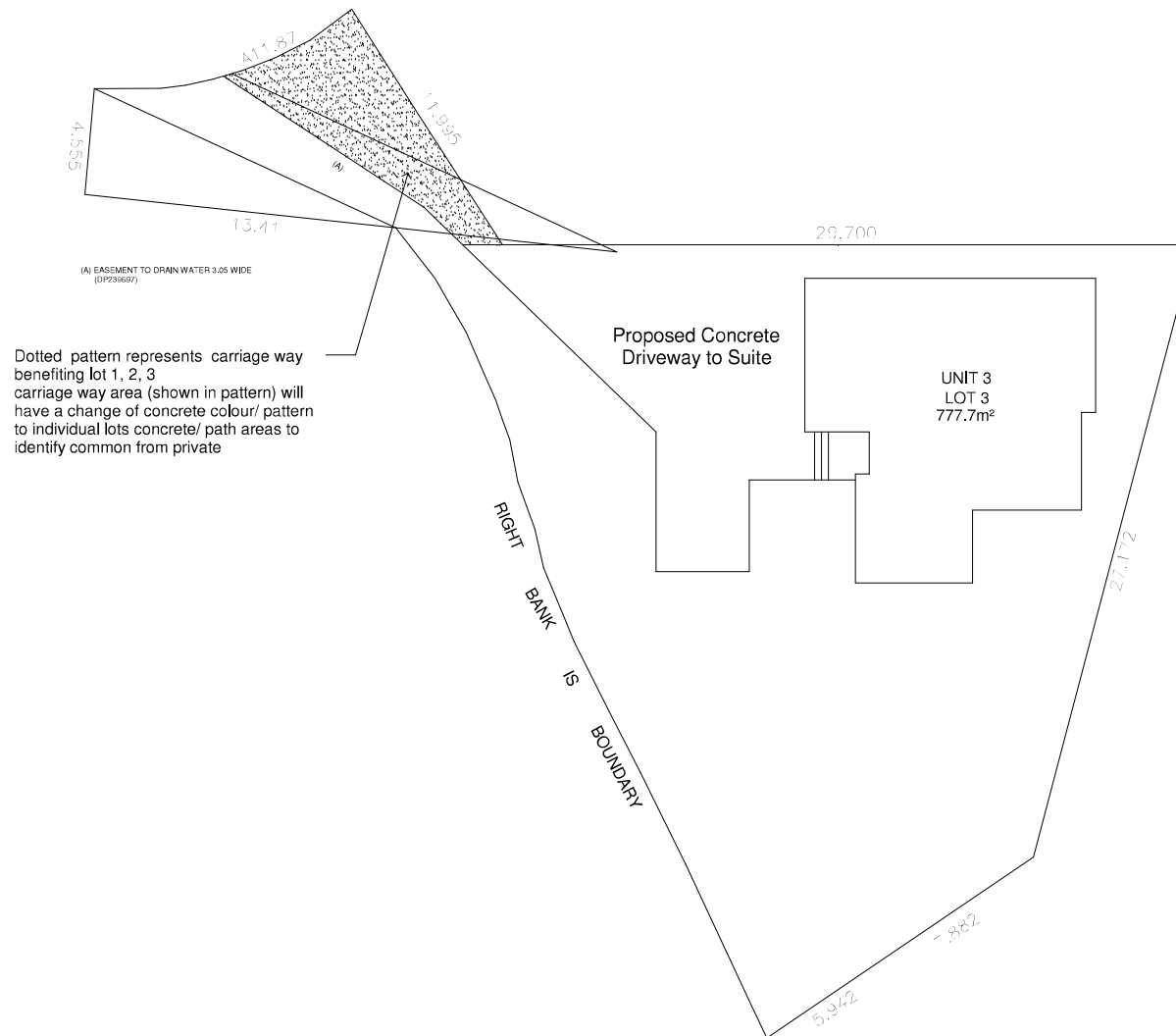
A division of SF Business Group

DEMOLITION OF EXISTING STRUCTURES UNIT DEVELOPEMNTN & SUBDIVISIONS

Plan No: IS2201-18	Scale: 1:200 @ a3
Date: 15/8/21	For: I Sousou
Drawn: I Sousou	Address: 7 Welmont Place
Design: I Sousou	Mt Keira LOT 11 IN DP DP239697

Sheet No:

SH-05



SITE CALCULATIONS LOT 3
Ground Floor Area: 79m²
First Floor Area: 104m²
Garage Area: 37m²
Total Area: 220m²
Garage Allowed Concession: 36m²

Total Floor Area FSR: 184m²
Site Area: 777.7m²
FSR: 0.24 : 1

Lot B Converted to Lot 3 with Location of Easement

Note: Use figured dimensions only. DO NOT SCALE.
The builder shall verify all dimensions prior to actual commencement of any earthworks of building construction. These drawings shall be read in conjunction with any relevant Engineer's details and drawings. Illawarra Drafting accepts no responsibility for errors in construction or misinterpretation of drawings. All timber framing sizes shall comply with AS 1684 "Nation Timber Framing Code". All construction works shall comply with provisions of the Building Code of Australia. The roof style is diagrammatic only and need to be designed by roof manufacturer prior to construction, all roof framing and any required beams are to be specified by roof manufacturer.

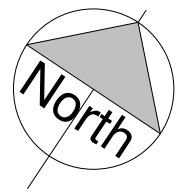
MOBILE: 0403 716 339
EMAIL:
issasousou_@hotmail.com
ABN: 75 828 056 040

**Illawarra
Drafting**
A division of SF Business Group

DEMOLITION OF EXISTING STRUCTURES, PROPOSED UNIT DEVELOPMENT & SUBDIVISION

Project number:	IS2201-18	Scale:	1 : 225	Sheet Number: SH-06
Date:	06/09/23	For:	I.SOUSOU	
Drawn by:	I.SOUSOU	Address:7 WELMONT PLACE, MOUNT KEIRA, LOT 11 IN DP 239697		
Designed by:	I.SOUSOU			

DEVELOPMENT APPLICATION



U1 Ground Floor Plan

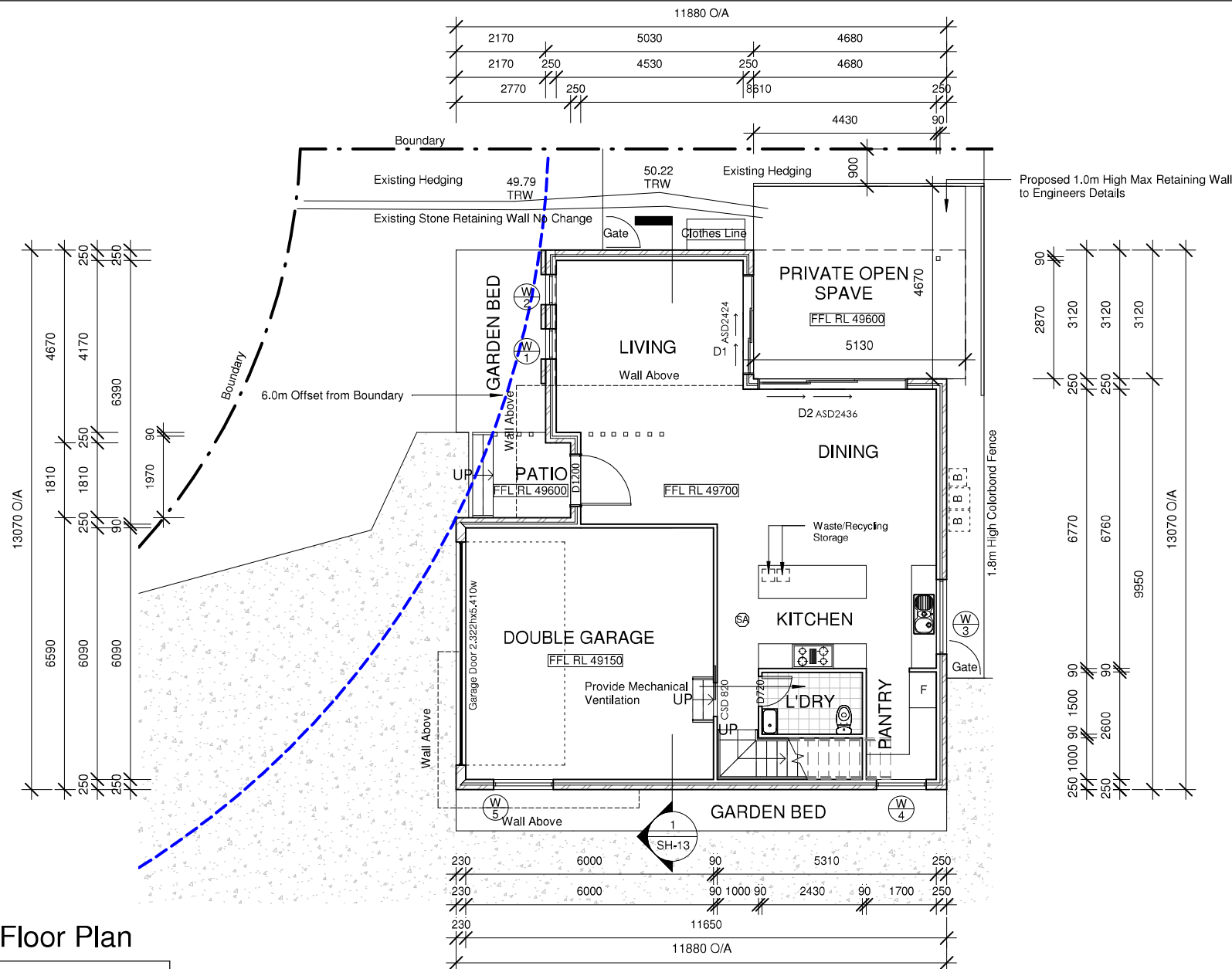
Note: Use figured dimensions only. DO NOT SCALE.
The builder shall verify all dimensions prior to actual commencement of any earthworks of building construction. These drawings shall be read in conjunction with any relevant Engineer's details and drawings. Illawarra Drafting accepts no responsibility for errors in construction or misinterpretation of drawings. All timber framing sizes shall comply with AS 1684 "Nation Timber Framing Code". All construction works shall comply with provisions of the Building Code of Australia. The roof style is diagrammatic only and need to be designed by roof manufacturer prior to construction, all roof framing and any required beams are to be specified by roof manufacturer.

MOBILE: 0403 716 339
EMAIL:
issasousou@hotmail.com
ABN: 75 828 056 040

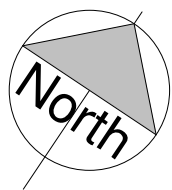
Illawarra
Drafting
A division of SF Business Group

DEMOLITION OF EXISTING STRUCTURES, PROPOSED UNIT DEVELOPMENT & SUBDIVISION

Project number:	IS2201-18	Scale:	1 : 100	Sheet Number: SH-07
Date:	06/09/23	For:	I.SOUSOU	
Drawn by:	I.SOUSOU	Address:	7 WELMONT PLACE, MOUNT KEIRA, LOT 11 IN DP 239697	
Designed by:	I.SOUSOU			



DEVELOPMENT APPLICATION



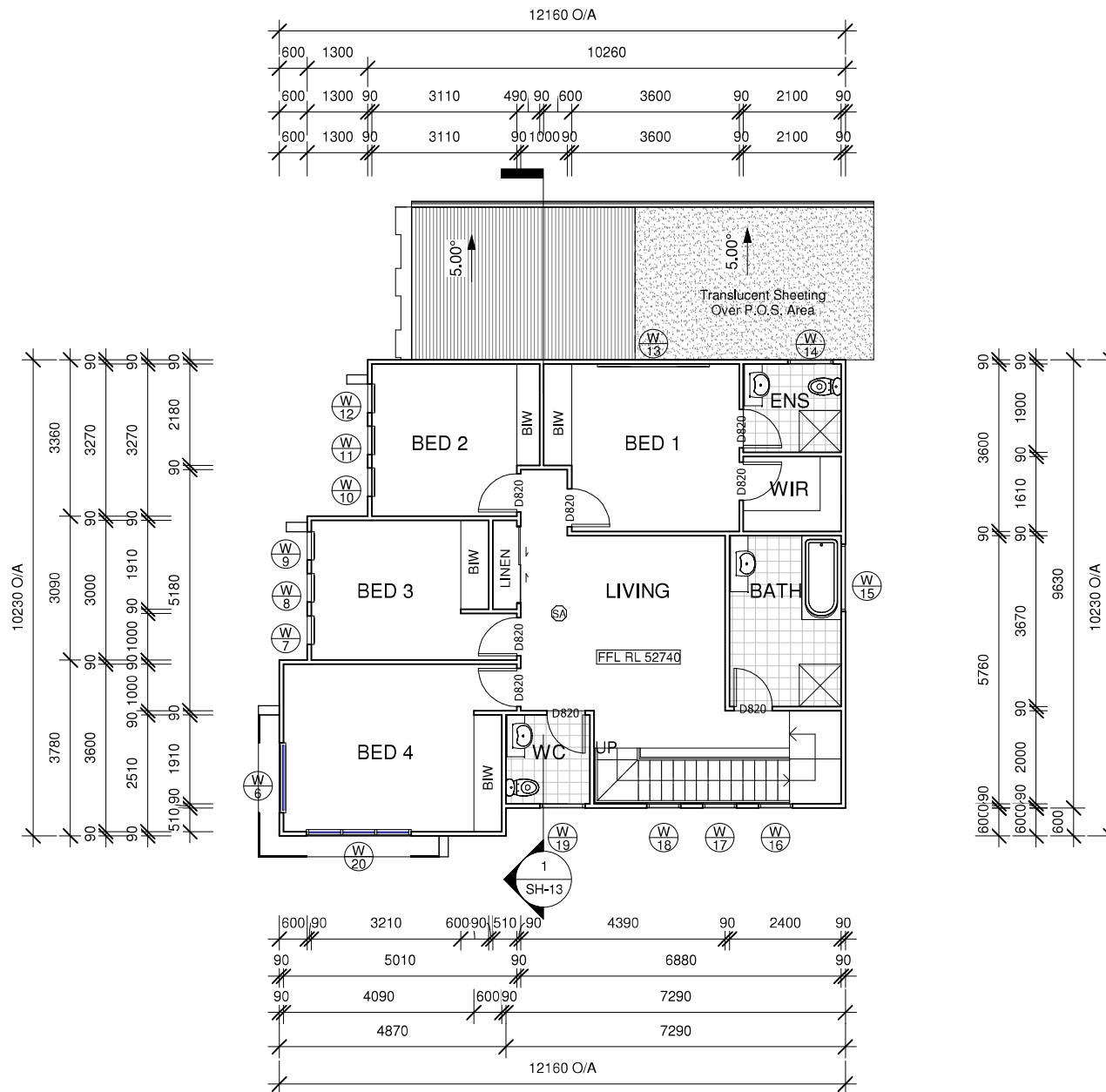
U1 First Floor Plan

Note: Use figured dimensions only. DO NOT SCALE.
The builder shall verify all dimensions prior to actual commencement of any earthworks of building construction. These drawings shall be read in conjunction with any relevant Engineer's details and drawings. Illawarra Drafting accepts no responsibility for errors in construction or misinterpretation of drawings. All timber framing sizes shall comply with AS 1684 "Nation Timber Framing Code". All construction works shall comply with provisions of the Building Code of Australia. The roof style is diagrammatic only and need to be designed by roof manufacturer prior to construction, all roof framing and any required beams are to be specified by roof manufacturer.

MOBILE: 0403 716 339
EMAIL:
issasousou_@hotmail.com
ABN: 75 828 056 040

Illawarra
Drafting

A division of SF Business Group



DEMOLITION OF EXISTING STRUCTURES, PROPOSED UNIT DEVELOPMENT & SUBDIVISION

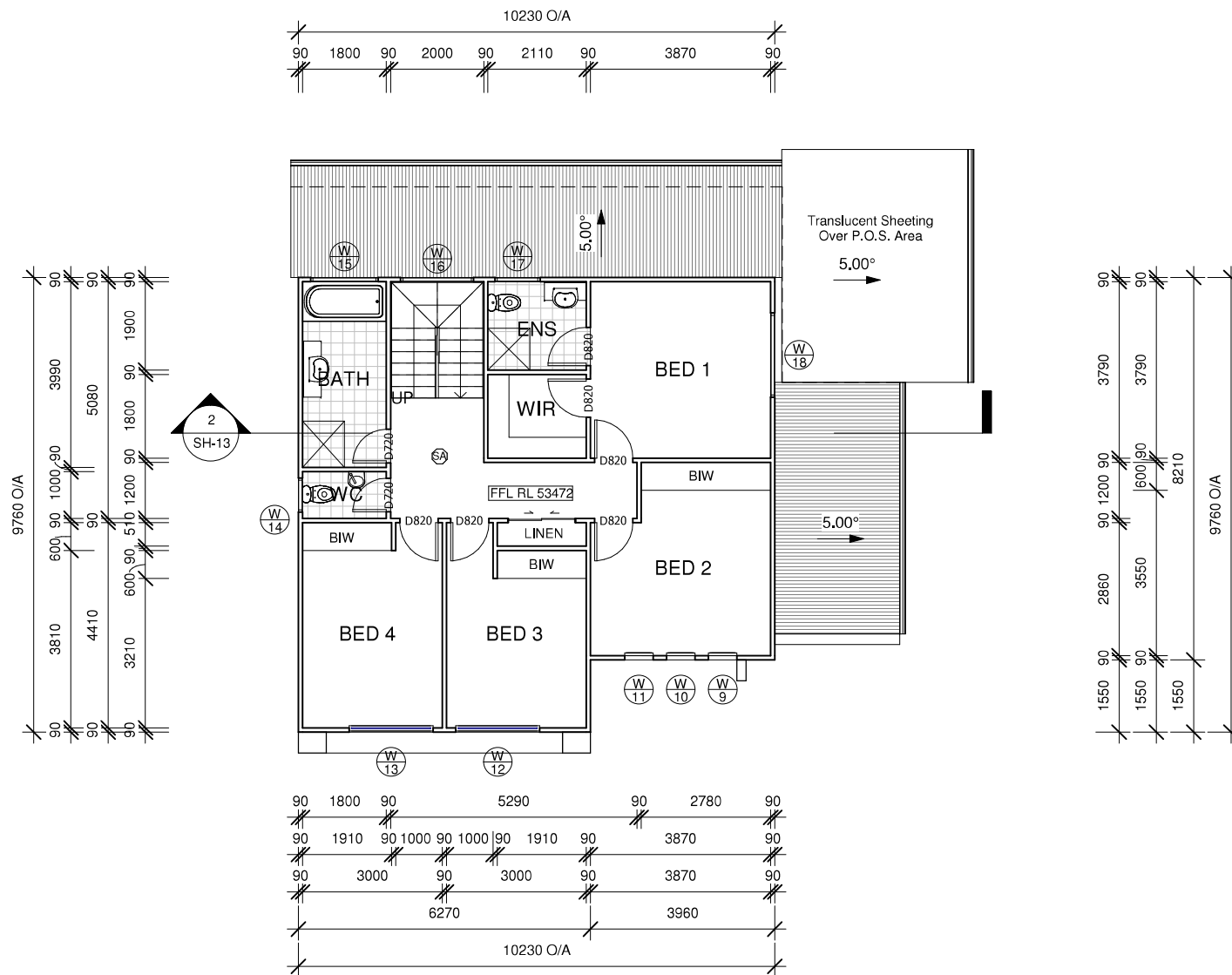
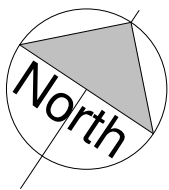
Project number: IS2201-18
Date: 06/09/23
Drawn by: I.SOUSOU
Designed by: I.SOUSOU

Scale: 1 : 100
For: I.SOUSOU
Address: 7 WELMONT PLACE, MOUNT KEIRA, LOT 11 IN DP 239697

Sheet Number:

SH-08

DEVELOPMENT APPLICATION



U2 First Floor Plan

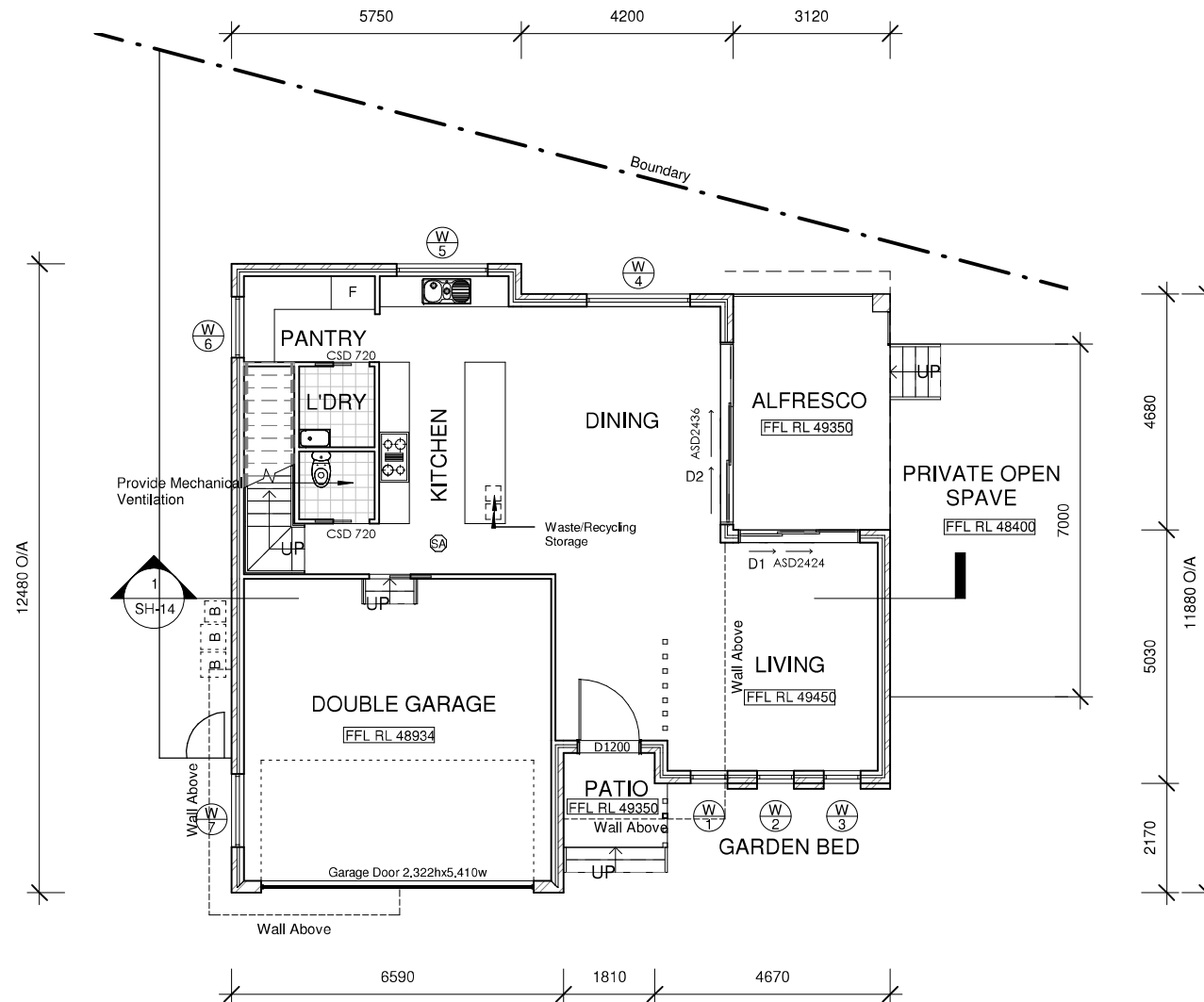
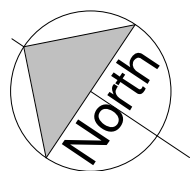
Note: Use figured dimensions only. DO NOT SCALE.
The builder shall verify all dimensions prior to actual commencement of any earthworks of building construction. These drawings shall be read in conjunction with any relevant Engineer's details and drawings. Illawarra Drafting accepts no responsibility for errors in construction or misinterpretation of drawings. All timber framing sizes shall comply with AS 1684 "Nation Timber Framing Code". All construction works shall comply with provisions of the Building Code of Australia. The roof style is diagrammatic only and need to be designed by roof manufacturer prior to construction, all roof framing and any required beams are to be specified by roof manufacturer.

MOBILE: 0403 716 339
EMAIL:
issasousou_@hotmail.com
ABN: 75 828 056 040

Illawarra
Drafting
A division of SF Business Group

DEMOLITION OF EXISTING STRUCTURES, PROPOSED
UNIT DEVELOPMENT & SUBDIVISION

Project number:	IS2201-18	Scale:	1 : 100	Sheet Number: SH-10
Date:	06/09/23	For:	I.SOUSOU	
Drawn by:	I.SOUSOU	Address:	7 WELMONT PLACE, MOUNT KEIRA, LOT 11 IN DP 239697	
Designed by:	I.SOUSOU			



U3 Ground Floor Plan

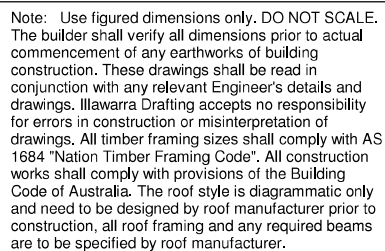
Note: Use figured dimensions only. DO NOT SCALE.
The builder shall verify all dimensions prior to actual commencement of any earthworks of building construction. These drawings shall be read in conjunction with any relevant Engineer's details and drawings. Illawarra Drafting accepts no responsibility for errors in construction or misinterpretation of drawings. All timber framing sizes shall comply with AS 1684 "Nation Timber Framing Code". All construction works shall comply with provisions of the Building Code of Australia. The roof style is diagrammatic only and need to be designed by roof manufacturer prior to construction, all roof framing and any required beams are to be specified by roof manufacturer.

MOBILE: 0403 716 339
EMAIL:
issasousou_@hotmail.com
ABN: 75 828 056 040

Illawarra
Drafting
A division of SF Business Group

DEMOLITION OF EXISTING STRUCTURES, PROPOSED
UNIT DEVELOPMENT & SUBDIVISION

Project number:	IS2201-18	Scale:	1 : 100	Sheet Number: SH-11
Date:	06/09/23	For:	I.SOUSOU	
Drawn by:	I.SOUSOU	Address:	7 WELMONT PLACE, MOUNT KEIRA, LOT 11 IN DP 239697	
Designed by:	I.SOUSOU			



Ilawarra Drafting

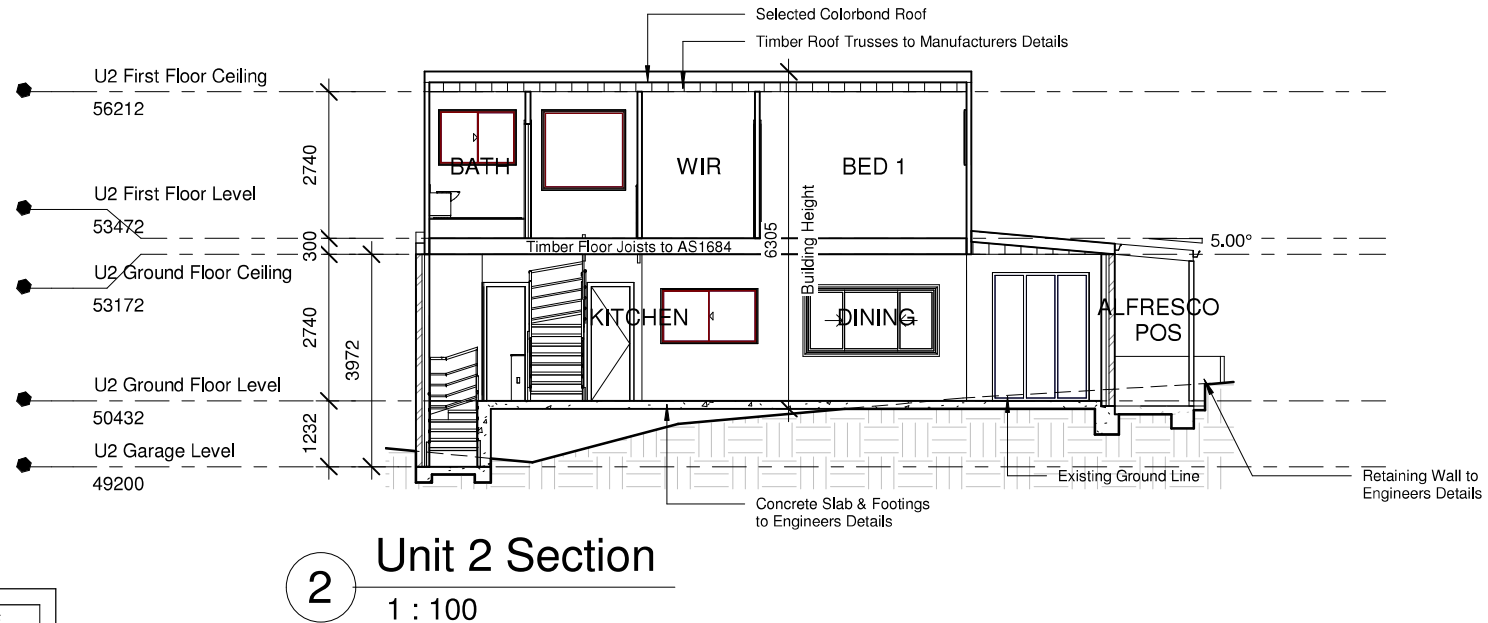
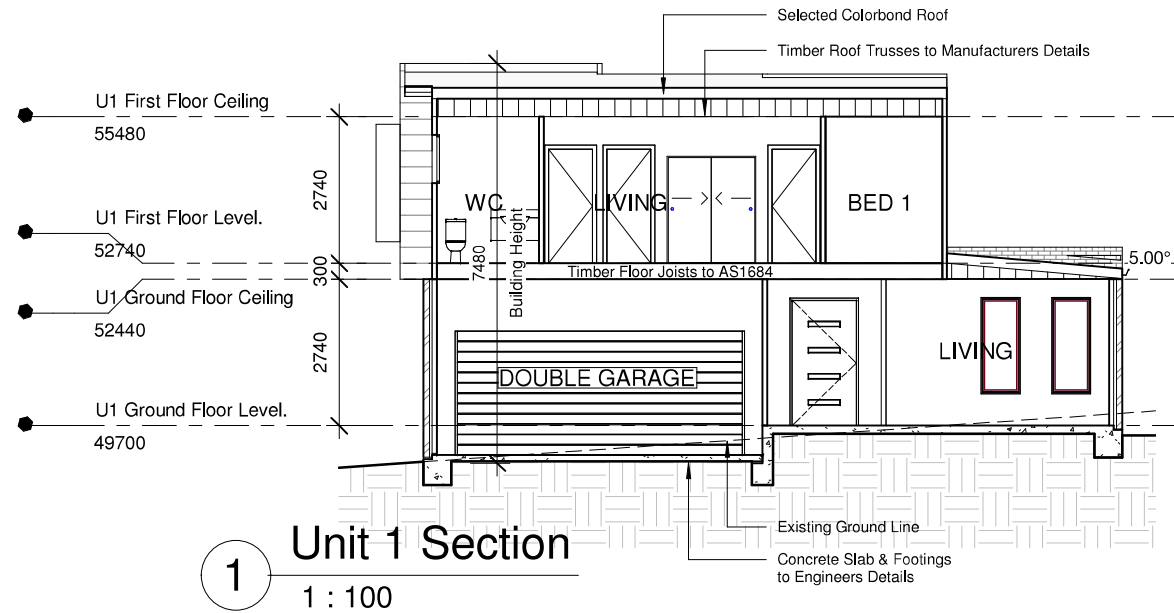
A division of SF Business Group

Project number:	IS2201-18	Scale:	1 : 100
Date:	06/09/23	For:	I.SOUSOU
Drawn by:	I.SOUSOU	Address:	7 WELMONT PLACE, MOUNT KEIRA, LOT 11 IN DP 239697
Designed by:	I.SOUSOU		

Sheet Number:

SH-12

DEVELOPMENT APPLICATION



Sections

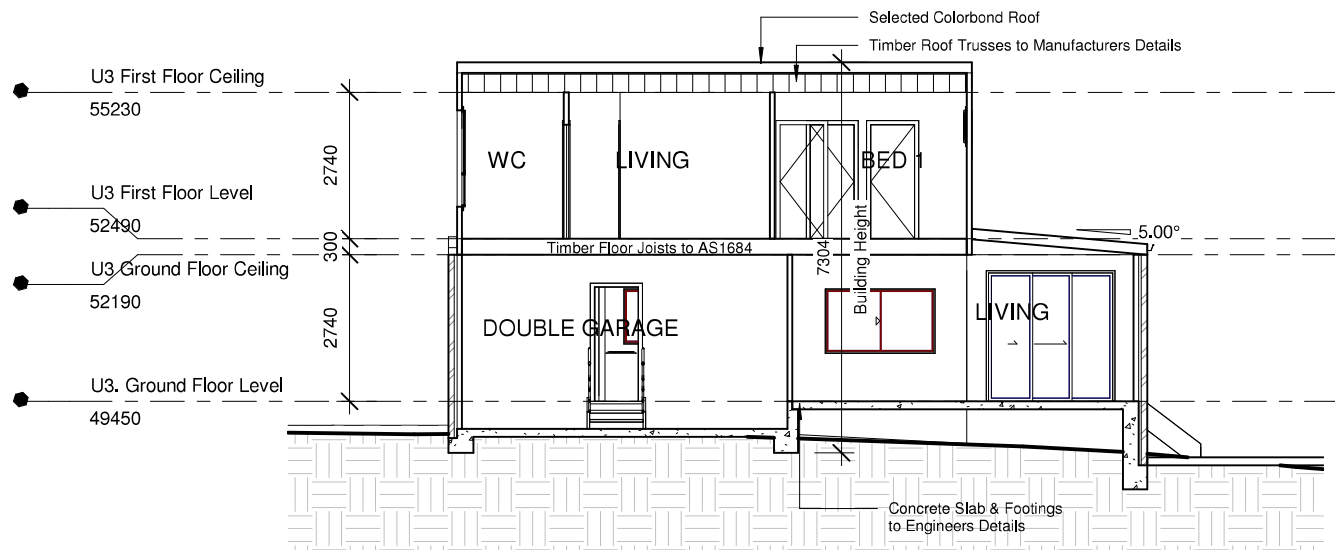
Note: Use figured dimensions only. DO NOT SCALE.
The builder shall verify all dimensions prior to actual commencement of any earthworks of building construction. These drawings shall be read in conjunction with any relevant Engineer's details and drawings. Illawarra Drafting accepts no responsibility for errors in construction or misinterpretation of drawings. All timber framing sizes shall comply with AS 1684 "Nation Timber Framing Code". All construction works shall comply with provisions of the Building Code of Australia. The roof style is diagrammatic only and need to be designed by roof manufacturer prior to construction, all roof framing and any required beams are to be specified by roof manufacturer.

MOBILE: 0403 716 339
EMAIL:
issasousou_@hotmail.com
ABN: 75 828 056 040

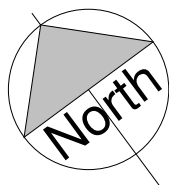
**Illawarra
Drafting**
A division of SF Business Group

DEMOLITION OF EXISTING STRUCTURES, PROPOSED UNIT DEVELOPMENT & SUBDIVISION

Project number:	IS2201-18	Scale:	1 : 100	Sheet Number: <
-----------------	-----------	--------	---------	--



1 Unit 3 Section
1 : 100



Sections

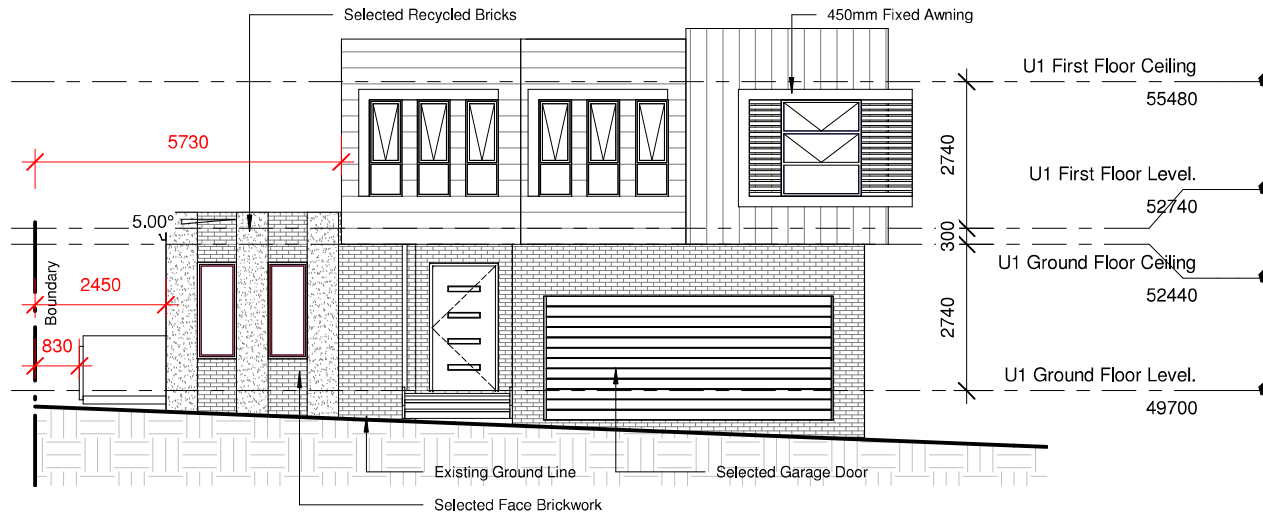
Note: Use figured dimensions only. DO NOT SCALE.
The builder shall verify all dimensions prior to actual commencement of any earthworks of building construction. These drawings shall be read in conjunction with any relevant Engineer's details and drawings. Illawarra Drafting accepts no responsibility for errors in construction or misinterpretation of drawings. All timber framing sizes shall comply with AS 1684 "Nation Timber Framing Code". All construction works shall comply with provisions of the Building Code of Australia. The roof style is diagrammatic only and need to be designed by roof manufacturer prior to construction, all roof framing and any required beams are to be specified by roof manufacturer.

MOBILE: 0403 716 339
EMAIL:
issasousou_@hotmail.com
ABN: 75 828 056 040

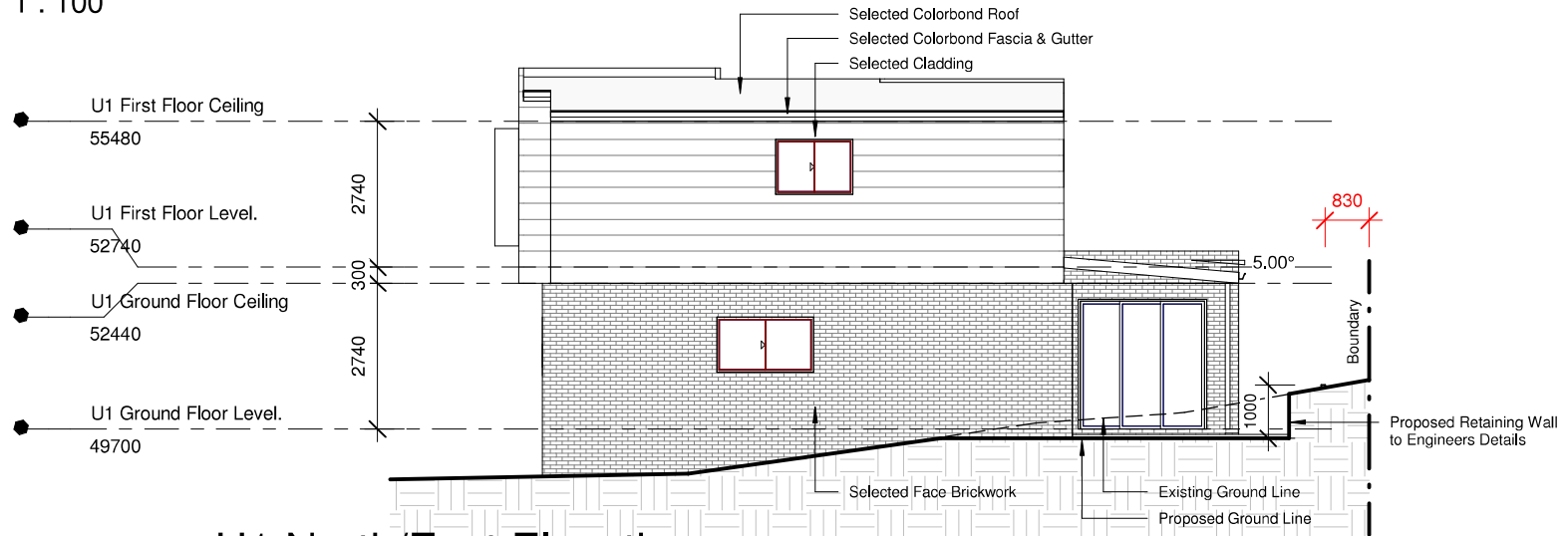
Illawarra
Drafting
A division of SF Business Group

DEMOLITION OF EXISTING STRUCTURES, PROPOSED UNIT DEVELOPMENT & SUBDIVISION

Project number:	IS2201-18	Scale:	1 : 100	Sheet Number:
-----------------	-----------	--------	---------	---



1 U1 South/West Elevation
1 : 100



2 U1 North/East Elevation
1 : 100

U1 Elevations

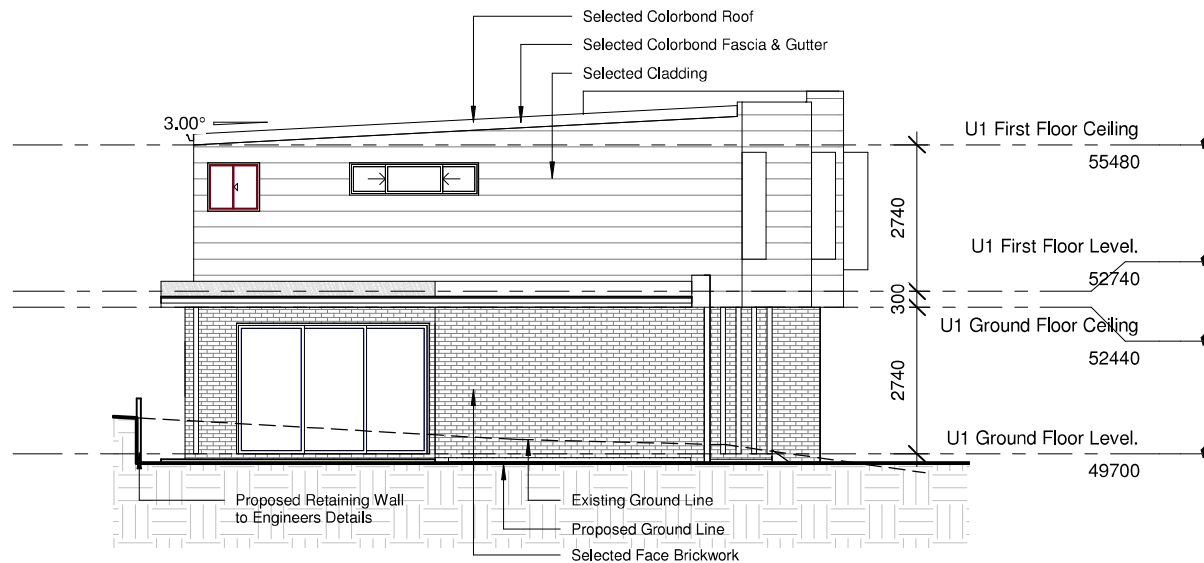
Note: Use figured dimensions only. DO NOT SCALE.
The builder shall verify all dimensions prior to actual commencement of any earthworks of building construction. These drawings shall be read in conjunction with any relevant Engineer's details and drawings. Illawarra Drafting accepts no responsibility for errors in construction or misinterpretation of drawings. All timber framing sizes shall comply with AS 1684 "Nation Timber Framing Code". All construction works shall comply with provisions of the Building Code of Australia. The roof style is diagrammatic only and need to be designed by roof manufacturer prior to construction, all roof framing and any required beams are to be specified by roof manufacturer.

MOBILE: 0403 716 339
EMAIL: issasousou_@hotmail.com
ABN: 75 828 056 040

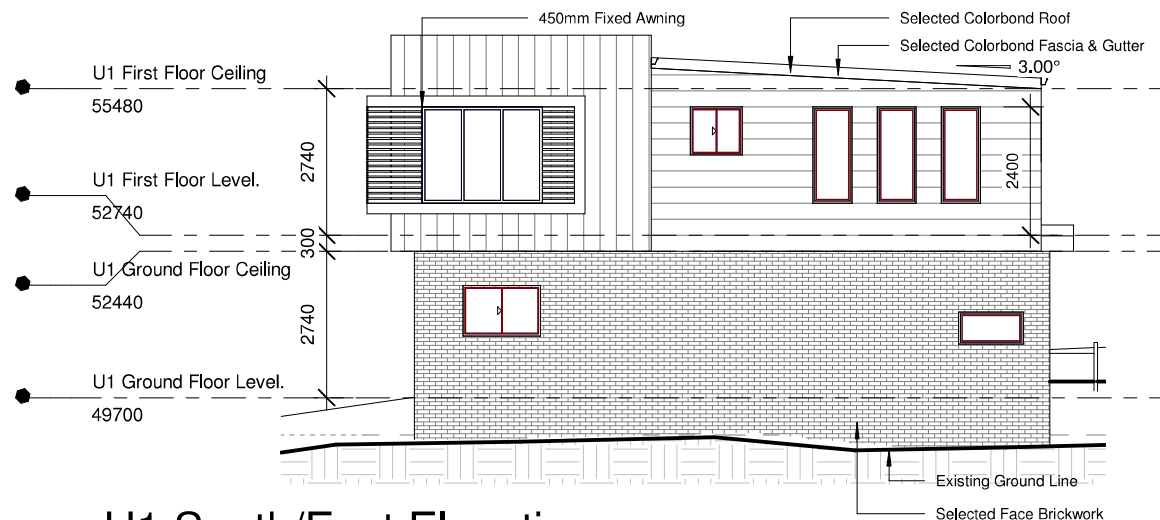
Illawarra
Drafting
A division of SF Business Group

DEMOLITION OF EXISTING STRUCTURES, PROPOSED UNIT DEVELOPMENT & SUBDIVISION

Project number:	IS2201-18	Scale:	1 : 100	Sheet Number: <
-----------------	-----------	--------	---------	--



1 U1 North/West Elevation
1 : 100



2 U1 South/East Elevation
1 : 100

U1 Elevations

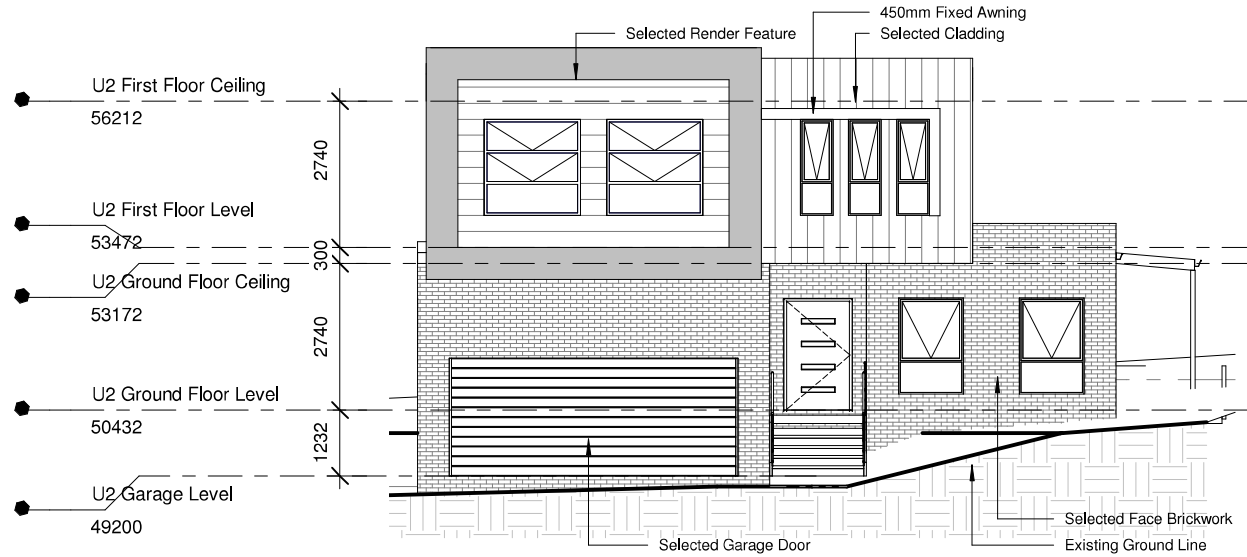
Note: Use figured dimensions only. DO NOT SCALE.
The builder shall verify all dimensions prior to actual commencement of any earthworks of building construction. These drawings shall be read in conjunction with any relevant Engineer's details and drawings. Illawarra Drafting accepts no responsibility for errors in construction or misinterpretation of drawings. All timber framing sizes shall comply with AS 1684 "Nation Timber Framing Code". All construction works shall comply with provisions of the Building Code of Australia. The roof style is diagrammatic only and need to be designed by roof manufacturer prior to construction, all roof framing and any required beams are to be specified by roof manufacturer.

MOBILE: 0403 716 339
EMAIL:
issasousou_@hotmail.com
ABN: 75 828 056 040

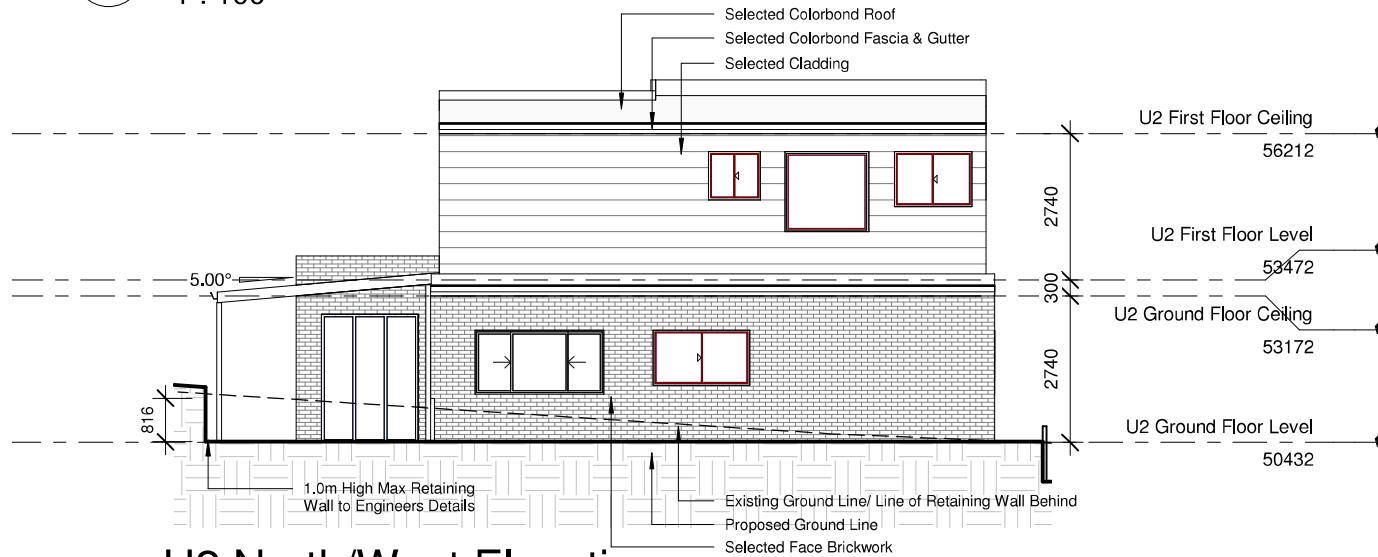
Illawarra
Drafting
A division of SF Business Group

DEMOLITION OF EXISTING STRUCTURES, PROPOSED UNIT DEVELOPMENT & SUBDIVISION

Project number:	IS2201-18	Scale:	1 : 100	Sheet Number: SH-16
Date:	06/09/23	For:	I.SOUSOU	
Drawn by:	I.SOUSOU	Address:	7 WELMONT PLACE, MOUNT KEIRA, LOT 11 IN DP 239697	
Designed by:	I.SOUSOU			



1 U2 South/East Elevation
1 : 100



2 U2 North/West Elevation
1 : 100

U2 Elevations

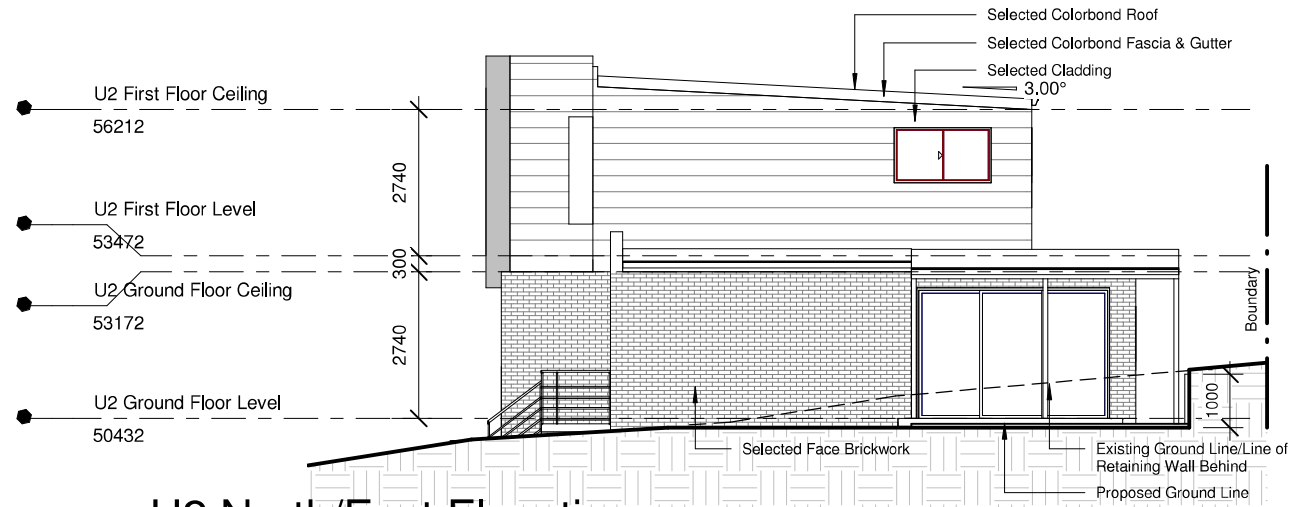
Note: Use figured dimensions only. DO NOT SCALE. The builder shall verify all dimensions prior to actual commencement of any earthworks of building construction. These drawings shall be read in conjunction with any relevant Engineer's details and drawings. Illawarra Drafting accepts no responsibility for errors in construction or misinterpretation of drawings. All timber framing sizes shall comply with AS 1684 "Nation Timber Framing Code". All construction works shall comply with provisions of the Building Code of Australia. The roof style is diagrammatic only and need to be designed by roof manufacturer prior to construction, all roof framing and any required beams are to be specified by roof manufacturer.

MOBILE: 0403 716 339
EMAIL: issasousou@hotmail.com
ABN: 75 828 056 040

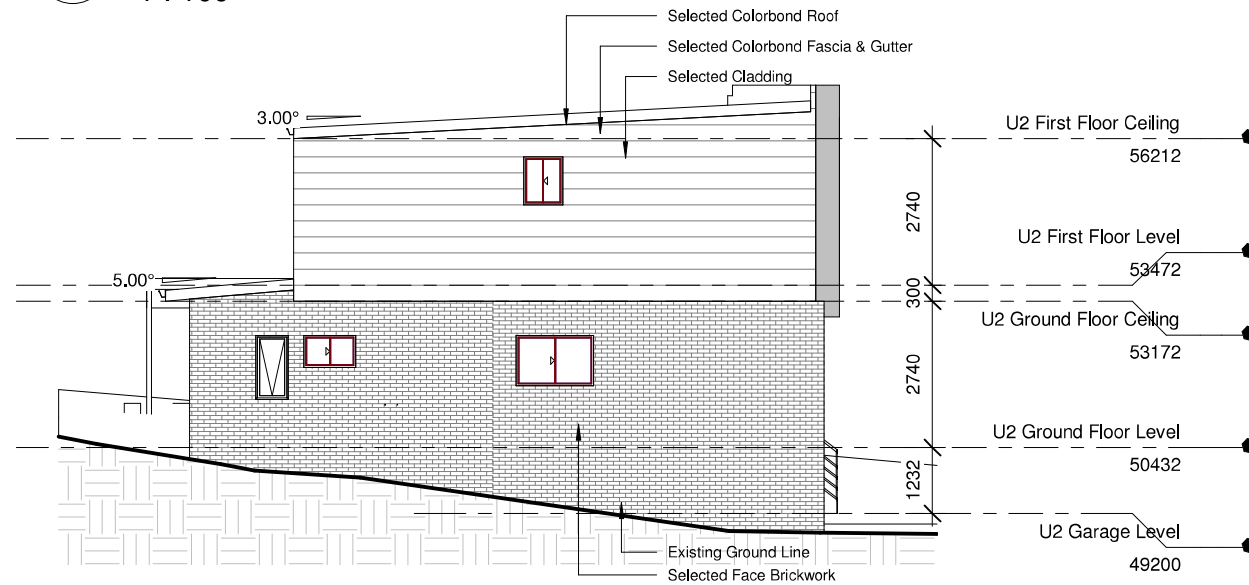
Illawarra
Drafting
A division of SF Business Group

DEMOLITION OF EXISTING STRUCTURES, PROPOSED UNIT DEVELOPMENT & SUBDIVISION

Project number:	IS2201-18	Scale:	1 : 100	Sheet Number:
-----------------	-----------	--------	---------	---



1 U2 North/East Elevation
1 : 100



2 U2 South/West Elevation
1 : 100

U2 Elevations

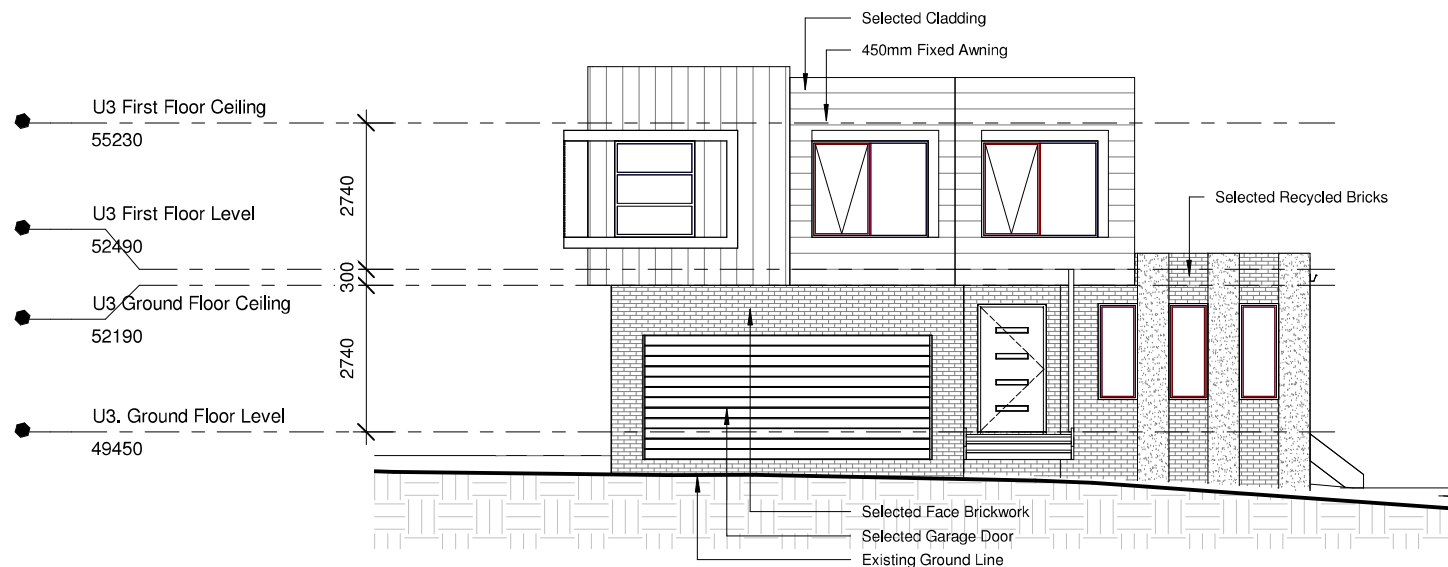
Note: Use figured dimensions only. DO NOT SCALE.
The builder shall verify all dimensions prior to actual commencement of any earthworks of building construction. These drawings shall be read in conjunction with any relevant Engineer's details and drawings. Illawarra Drafting accepts no responsibility for errors in construction or misinterpretation of drawings. All timber framing sizes shall comply with AS 1684 "Nation Timber Framing Code". All construction works shall comply with provisions of the Building Code of Australia. The roof style is diagrammatic only and need to be designed by roof manufacturer prior to construction, all roof framing and any required beams are to be specified by roof manufacturer.

MOBILE: 0403 716 339
EMAIL:
issasousou_@hotmail.com
ABN: 75 828 056 040

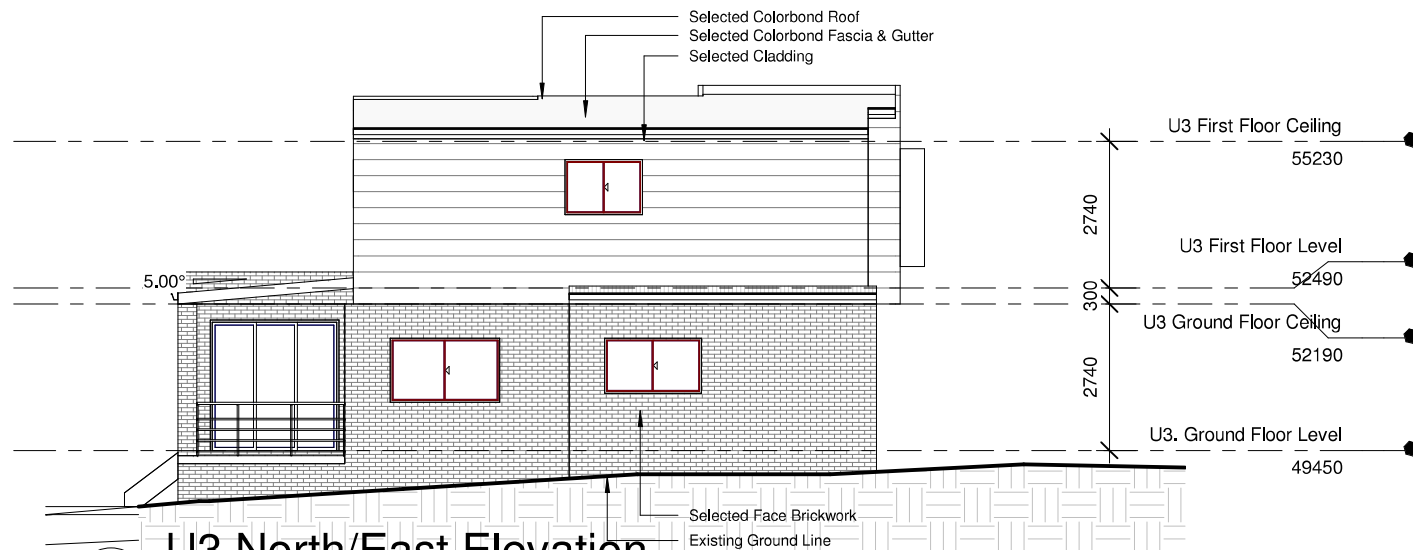
Illawarra
Drafting
A division of SF Business Group

DEMOLITION OF EXISTING STRUCTURES, PROPOSED UNIT DEVELOPMENT & SUBDIVISION

Project number:	IS2201-18	Scale:	1 : 100	Sheet Number: SH-18
Date:	06/09/23	For:	I.SOUSOU	
Drawn by:	I.SOUSOU	Address:7 WELMONT PLACE, MOUNT KEIRA, LOT 11 IN DP 239697		
Designed by:	I.SOUSOU			



1 U3 South/West Elevation
1 : 100



2 U3 North/East Elevation
1 : 100

U3 Elevations

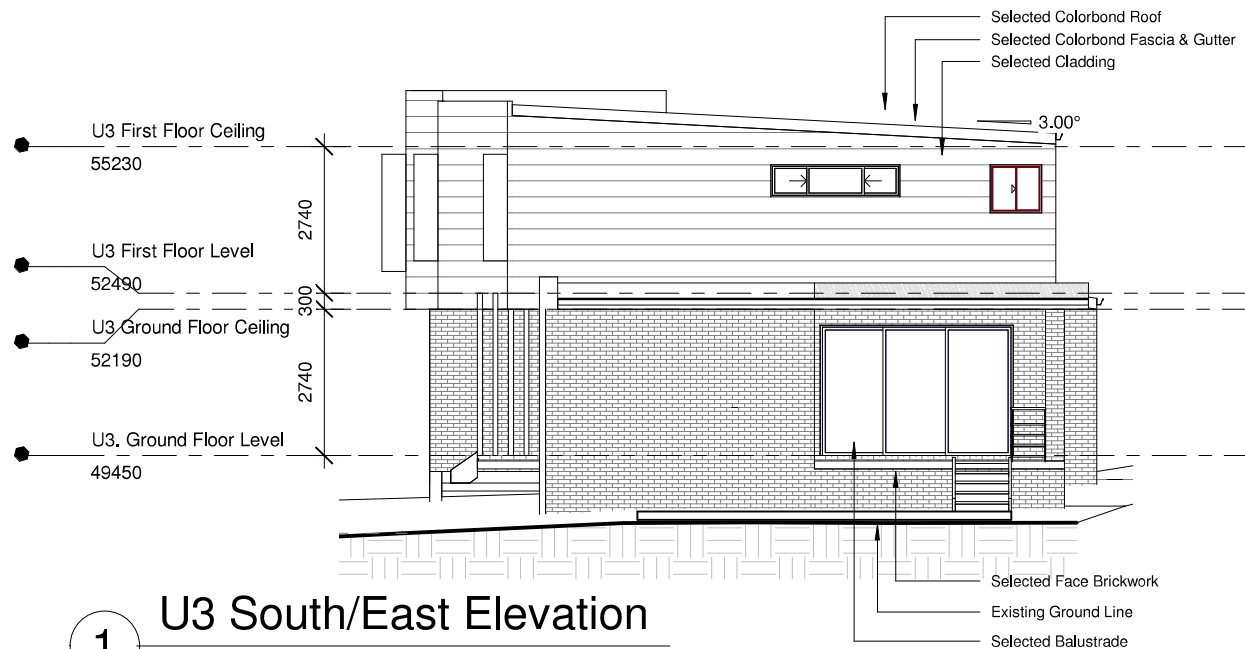
Note: Use figured dimensions only. DO NOT SCALE. The builder shall verify all dimensions prior to actual commencement of any earthworks of building construction. These drawings shall be read in conjunction with any relevant Engineer's details and drawings. Illawarra Drafting accepts no responsibility for errors in construction or misinterpretation of drawings. All timber framing sizes shall comply with AS 1684 "Nation Timber Framing Code". All construction works shall comply with provisions of the Building Code of Australia. The roof style is diagrammatic only and need to be designed by roof manufacturer prior to construction, all roof framing and any required beams are to be specified by roof manufacturer.

MOBILE: 0403 716 339
EMAIL: issasousou_@hotmail.com
ABN: 75 828 056 040

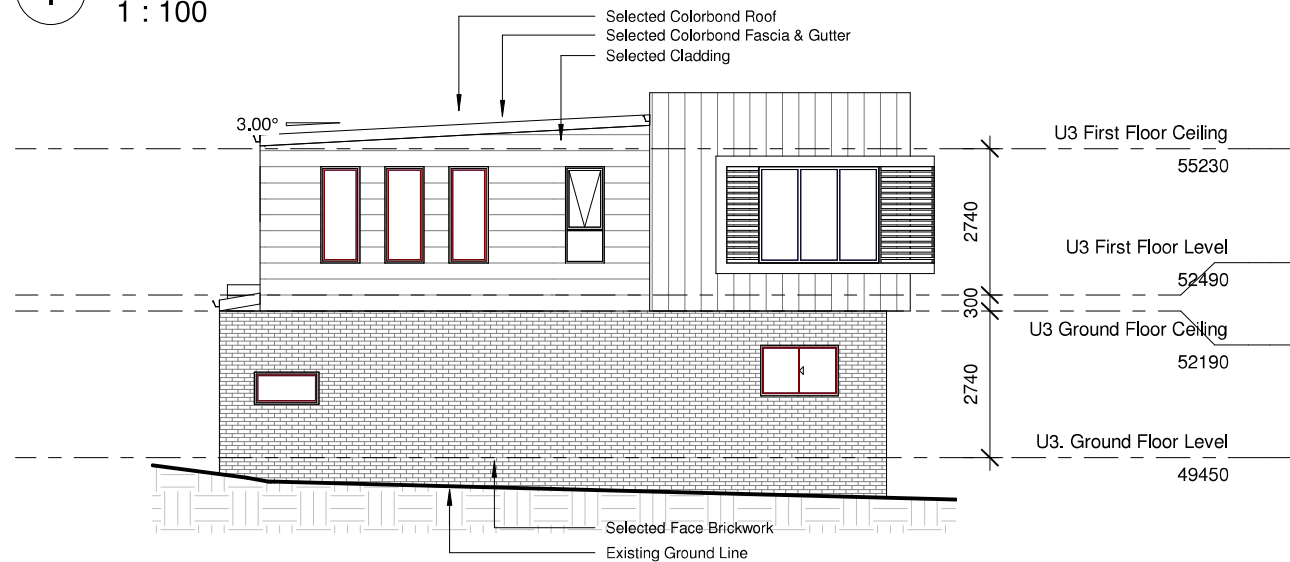
**Illawarra
Drafting**
A division of SF Business Group

DEMOLITION OF EXISTING STRUCTURES, PROPOSED UNIT DEVELOPMENT & SUBDIVISION

Project number:	IS2201-18	Scale:	1 : 100	Sheet Number: SH-19
Date:	06/09/23	For:	I.SOUSOU	
Drawn by:	I.SOUSOU	Address:	7 WELMONT PLACE, MOUNT KEIRA, LOT 11 IN DP 239697	
Designed by:	I.SOUSOU			



1 U3 South/East Elevation
1 : 100



2 U3 North/West Elevation
1 : 100

U3 Elevations

Note: Use figured dimensions only. DO NOT SCALE.
The builder shall verify all dimensions prior to actual commencement of any earthworks of building construction. These drawings shall be read in conjunction with any relevant Engineer's details and drawings. Illawarra Drafting accepts no responsibility for errors in construction or misinterpretation of drawings. All timber framing sizes shall comply with AS 1684 "Nation Timber Framing Code". All construction works shall comply with provisions of the Building Code of Australia. The roof style is diagrammatic only and need to be designed by roof manufacturer prior to construction, all roof framing and any required beams are to be specified by roof manufacturer.

MOBILE: 0403 716 339
EMAIL:
issasousou_@hotmail.com
ABN: 75 828 056 040

**Illawarra
Drafting**
A division of SF Business Group

DEMOLITION OF EXISTING STRUCTURES, PROPOSED UNIT DEVELOPMENT & SUBDIVISION

Project number:	IS2201-18	Scale:	1 : 100	Sheet Number: SH-20
Date:	06/09/23	For:	I.SOUSOU	
Drawn by:	I.SOUSOU	Address:7 WELMONT PLACE, MOUNT KEIRA, LOT 11 IN DP 239697		
Designed by:	I.SOUSOU			



9am 21 June



12pm 21 June



3pm 21 June

Shadow Diagrams

Note: Use figured dimensions only. DO NOT SCALE.
The builder shall verify all dimensions prior to actual commencement of any earthworks of building construction. These drawings shall be read in conjunction with any relevant Engineer's details and drawings. Illawarra Drafting accepts no responsibility for errors in construction or misinterpretation of drawings. All timber framing sizes shall comply with AS 1684 "Nation Timber Framing Code". All construction works shall comply with provisions of the Building Code of Australia. The roof style is diagrammatic only and need to be designed by roof manufacturer prior to construction, all roof framing and any required beams are to be specified by roof manufacturer.

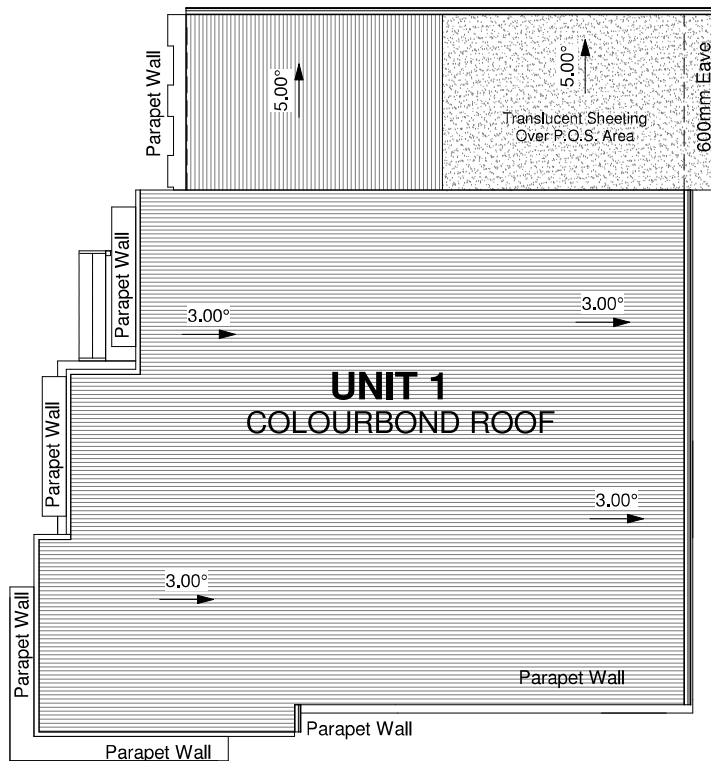
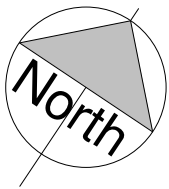
MOBILE: 0403 716 339
EMAIL:
issasousou_@hotmail.com
ABN: 75 828 056 040

Illawarra
Drafting
A division of SF Business Group

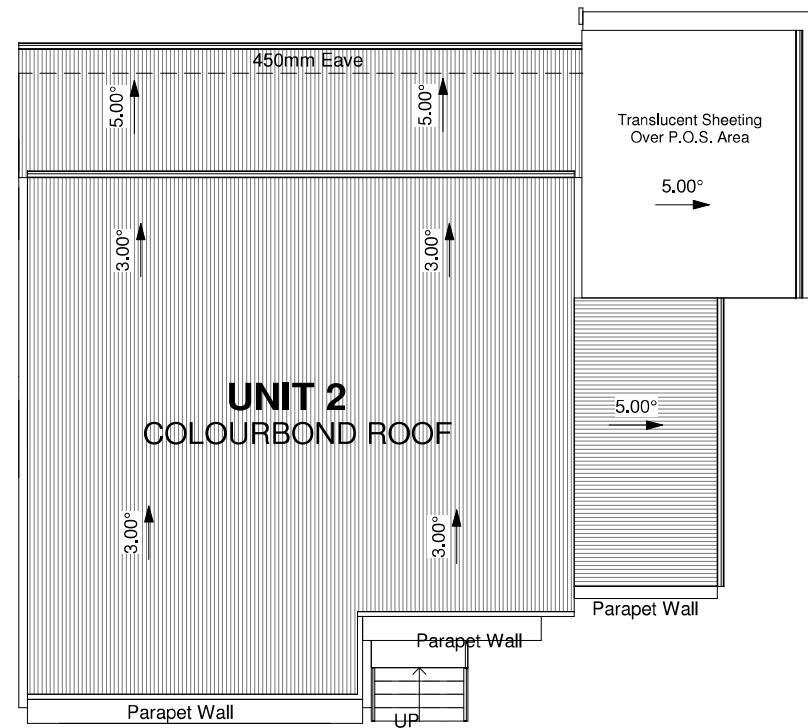
DEMOLITION OF EXISTING STRUCTURES, PROPOSED UNIT DEVELOPMENT & SUBDIVISION

Project number:	IS2201-18	Scale:		Sheet Number:
Date:	06/09/23	For:	I.SOUSOU	SH-21
Drawn by:	I.SOUSOU	Address:	7 WELMONT PLACE, MOUNT KEIRA, LOT 11 IN DP 239697	
Designed by:	I.SOUSOU			

DEVELOPMENT APPLICATION



1 U1 Roof Plan
1 : 100



2 U2 Roof Plan
1 : 100

U1 & U2 Roof Plan

Note: Use figured dimensions only. DO NOT SCALE.
The builder shall verify all dimensions prior to actual commencement of any earthworks of building construction. These drawings shall be read in conjunction with any relevant Engineer's details and drawings. Illawarra Drafting accepts no responsibility for errors in construction or misinterpretation of drawings. All timber framing sizes shall comply with AS 1684 "Nation Timber Framing Code". All construction works shall comply with provisions of the Building Code of Australia. The roof style is diagrammatic only and need to be designed by roof manufacturer prior to construction, all roof framing and any required beams are to be specified by roof manufacturer.

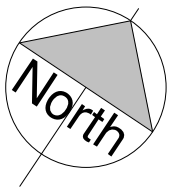
MOBILE: 0403 716 339
EMAIL:
issasousou_@hotmail.com
ABN: 75 828 056 040

Illawarra
Drafting
A division of SF Business Group

DEMOLITION OF EXISTING STRUCTURES, PROPOSED UNIT DEVELOPMENT & SUBDIVISION

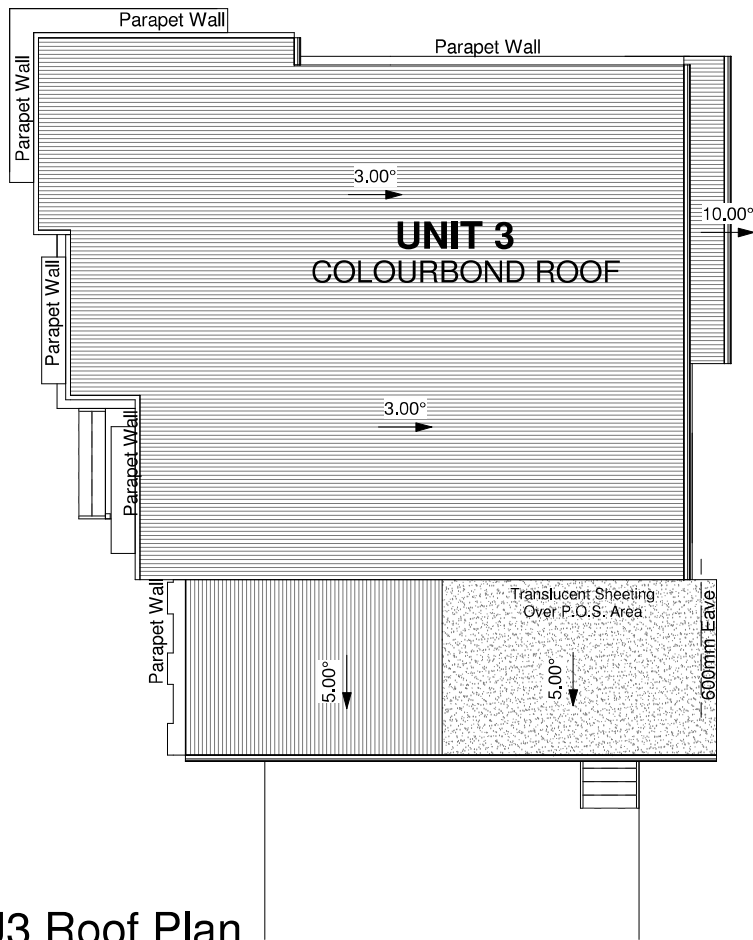
Project number:	IS2201-18	Scale:	1 : 100	Sheet Number:
-----------------	-----------	--------	---------	---

DEVELOPMENT APPLICATION



U3 Roof Plan

1 U3 Roof Plan
1 : 100



Note: Use figured dimensions only. DO NOT SCALE.
The builder shall verify all dimensions prior to actual commencement of any earthworks of building construction. These drawings shall be read in conjunction with any relevant Engineer's details and drawings. Illawarra Drafting accepts no responsibility for errors in construction or misinterpretation of drawings. All timber framing sizes shall comply with AS 1684 "Nation Timber Framing Code". All construction works shall comply with provisions of the Building Code of Australia. The roof style is diagrammatic only and need to be designed by roof manufacturer prior to construction, all roof framing and any required beams are to be specified by roof manufacturer.

MOBILE: 0403 716 339
EMAIL:
issasousou_@hotmail.com
ABN: 75 828 056 040

**Illawarra
Drafting**
A division of SF Business Group

DEMOLITION OF EXISTING STRUCTURES, PROPOSED
UNIT DEVELOPMENT & SUBDIVISION

Project number:	IS2201-18	Scale:	1 : 100	Sheet Number: SH-23
Date:	06/09/23	For:	I.SOUSOU	
Drawn by:	I.SOUSOU	Address:	7 WELMONT PLACE, MOUNT KEIRA, LOT 11 IN DP 239697	
Designed by:	I.SOUSOU			

Site Waste Management Plan

Note: Use figured dimensions only. DO NOT SCALE.
The builder shall verify all dimensions prior to actual commencement of any earthworks of building construction. These drawings shall be read in conjunction with any relevant Engineer's details and drawings. Illawarra Drafting accepts no responsibility for errors in construction or misinterpretation of drawings. All timber framing sizes shall comply with AS 1684 "Nation Timber Framing Code". All construction works shall comply with provisions of the Building Code of Australia. The roof style is diagrammatic only and need to be designed by roof manufacturer prior to construction, all roof framing and any required beams are to be specified by roof manufacturer.

MOBILE: 0403 716 339
EMAIL:
issasousou@hotmail.com
ABN: 75 828 056 040

Illawarra
Drafting
A division of SF Business Group

DEMOLITION OF EXISTING STRUCTURES, PROPOSED UNIT DEVELOPMENT & SUBDIVISION

Project number:	IS2201-18	Scale:	1 : 250	Sheet Number:
Date:	06/09/23	For:	I.SOUSOU	SH-24
Drawn by:	I.SOUSOU	Address:	7 WELMONT PLACE, MOUNT KEIRA, LOT 11 IN DP 239697	
Designed by:	I.SOUSOU			

Temporary Waste Bin

Stock Pile
WELMONT PLACE

Provide Sediment Fence Along Boundary

PROPOSED DOUBLE STOREY DWELLING UNIT 1

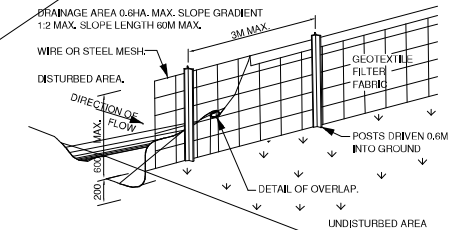
PROPOSED DOUBLE STOREY DWELLING UNIT 3

PROPOSED DOUBLE STOREY DWELLING UNIT 3

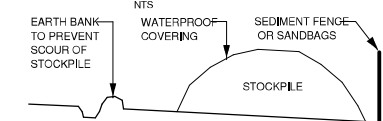
LOT 11
DP 239697
150M² (DP239697)

SOIL EROSION/SEDIMENT CONTROL

- SEDIMENT FABRIC SUCH AS TERRAAM 100, POLFELT TS 500, BIDIM U24, GEOFAB, ENVROFENCE OR EQUIVALENT TO BE PROVIDED ON ALL BOUNDARIES AS REQUIRED.
- FABRIC IS ATTACHED TO A STRAND WIRE (ORDINARY FENCE WIRE) OR WIRE MESH (14 GAUGE AND 150MM X 150MM OPENING).
- THE LOWER END OF THE FABRIC AND MESH TO BE EMBEDDED 200MM INTO THE GROUND.
- FILTER CLOTH TO BE FASTENED SECURELY TO WIRE FENCE WITH TIES SPACED EVERY 600MM.
- GENERALLY FOLLOW THE CONTOUR OF THE LAND.
- WHEN 2 SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY 150MM AND FOLDED OVER.
- POSTS HOLDING THE MESH ARE EITHER STEELY OR U TYPE OR 45-50MM HARDWOOD 900-1200MM LONG POSTS, THESE ARE TO BE SPACED 2-3M APART.
- STOCK PILES ARE TO BE SET UP WITH SEDIMENT CONTROL DEVICES ON THE LOWER SLOPE.
- TEMPORARY BARRIERS CONSTRUCTED FROM TIMBER, SYNTHETIC FABRICS, JUTE, STRAW BALES, BRUSH OR SIMILAR MATERIALS CAN BE USED TO CONTROL AIR CURRENTS AND BLOWING SOIL. THEY SHOULD BE PLACED AT RIGHT ANGLES TO THE PREVAILING WIND AND SPACED AT INTERVALS EQUIVALENT TO ABOUT 15 TIMES THEIR HEIGHT.



SEDIMENT FENCE DETAIL



BUILDING MATERIAL STOCKPILES DETAIL

NTS

BASIX Certificate Number: 1325372 02M

2. Commitments for single dwelling houses

(a) Dwellings

(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below:			
(b) The applicant must plant indigenous or low water use species of vegetation throughout the area of land specified for the dwelling in the "indigenous species" column of the table below, appropriate landscaping for that dwelling. This area of indigenous vegetation is to be contained within the "Area of garden and lawn" for the dwelling specified in the "Description of Project" table.	✓	✓	
(c) If a rating is specified in the table below for a future or appliance to be installed in the dwelling, the applicant must ensure that each such future and appliance meets the rating specified for it.		✓	✓
(d) The applicant must install an on demand hot water recirculation system which regulates all hot water use throughout the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below.		✓	✓
(e) The applicant must install:			
(aa) a hot water diversion system to all showers, kitchen sinks and all basins in the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below; and		✓	✓
(bb) a separate diversion tank (or tanks) connected to the hot water diversion systems of at least 100 litres. The applicant must connect the hot water diversion tank to all basins in the dwelling.		✓	✓
(f) The applicant must not install a private swimming pool or spa for the dwelling, with a volume exceeding that specified for it in the table below.	✓	✓	
(g) If specified in the table, that pool or spa (or both) must have a pool cover or shading (or both).		✓	
(h) The pool or spa must be located as specified in the table.	✓		
(i) The applicant must install, for the dwelling, each alternative water supply system with the specified size, listed for that dwelling in the table below. Each system must be configured to collect run-off from the areas specified excluding any areas which supplies any other alternative water supply system, and to divert overflow as specified. Each system must be connected as specified.	✓	✓	✓

Features										
Dwelling no.	All shower-heads	All toilet flushing systems	All kitchen taps	All bathroom taps	HW recirculation or diversion	All clothes washers	All dish-washers	Volume (max volume)	Pool cover	Pool location
All dwellings	3 star (> 4.5 lit <= 6 Litres)	4 star	4 star	4 star	no	-	-	-	-	-

Alternative water source						
Dwelling no.	Alternative water supply systems	Size	Configuration	Landscape connection	Toilet connection (a)	Laundry connection
None	-	-	-	-	-	-

(b) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below:			
(b) The applicant must install each hot water system specified for the dwelling in the table below, so that the dwelling's hotwater is supplied by hot system. If the table specifies a central hot water system for the dwelling, then the applicant must connect that central system to the dwelling, so that the dwelling's hot water is supplied by that central system.	✓	✓	
(c) The applicant must install, in each bathroom, kitchen and laundry of the dwelling, the ventilation system specified for that room in the table below. Each such ventilation system must have the operation control specified for it in the table.		✓	✓
(d) The applicant must install the cooling and heating system/s specified for the dwelling under the "Living areas" and "Bedroom areas" headings of the "Cooling and Heating" columns in the table below, infor at least 1 living/bedroom area of the dwelling, if no cooling or heating system is specified for "Living areas" or "Bedroom areas", then no systems may be installed in any such areas. If the term "zoned" is specified beside an air conditioning system, then this system must provide for day/night zoning between living/areas and bedrooms.		✓	✓
(e) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Artificial lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that the "primary type of artificial lighting" for each such room in the dwelling is fluorescent lighting or light emitting diode (LED) lighting. If the term "specified" is specified for a particular room or area, then the light fittings in that room or area must only be capable of being used for fluorescent lighting or light emitting diode (LED) lighting.		✓	✓

(f) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(i) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Natural lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that each such room or area is fitted with a window and/or skylight.	✓	✓	✓
(g) The applicant must install a water heating system for the dwelling's pool or spa. The applicant must:			
(aa) install the system specified for the pool in the "Individual Pool" column of the table below (or alternatively must not install any system for the pool), if specified, the applicant must install a timer, to control the pool's pump; and		✓	
(bb) install the system specified for the spa in the "Individual Spa" column of the table below (or alternatively must not install any system for the spa), if specified, the applicant must install a timer to control the spa's pump.		✓	
(h) The applicant must install in the dwelling:			
(aa) the kitchen cook-top and oven specified for that dwelling in the "Appliances & other efficiency measures" column of the table below;		✓	
(bb) each appliance for which a rating is specified for that dwelling in the "Appliances & other efficiency measures" column of the table, and ensure that the appliance has that minimum rating; and		✓	✓
(cc) any clothes drying line specified for the dwelling in the "Appliances & other efficiency measures" column of the table.		✓	
(i) If specified in the table, the applicant must carry out the development so that each refrigerator space in the dwelling is "well ventilated".		✓	✓
(j) The applicant must install the photovoltaic system specified for the dwelling under the "Photovoltaic system" heading of the "Alternative energy" column of the table below, and connect the system to that dwelling's electrical system.	✓	✓	✓

No water		Bathroom ventilation system		Kitchen ventilation system		Laundry ventilation system	
Dwelling no.	Hot water system	Each bathroom	Operation control	Each kitchen	Operation control	Each laundry	Operation control
All dwellings	gas instantaneous 6 star	individual fan, not ducted	manual switch on/off	individual fan, not ducted	manual switch on/off	natural ventilator only, or no sunny	-

Cooling		Heating		Artificial lighting				Natural lighting				
Dwelling no.	Living areas	Bedroom areas	Living areas	Bedroom areas	No. of bedrooms &/or study	No. of living &/or dining rooms	Each kitchen	All bedrooms/toilets	Each laundry	All hallways	All bedrooms &/or toilets	Main kitchen
All dwellings	-	-	1-phase air conditioning (1.5 star (od label))	1-phase air conditioning (1.5 star (od label))	3	1	yes	yes	yes	yes	2	yes

Individual pool		Individual spa		Appliances & other efficiency measures						
Dwelling no.	Pool heating system	Timer	Spa heating system	Timer	Kitchen cooktop/oven	Refrigerator	Well ventilated fridge space	Dishwasher	Clothes washer	Clothes dryer
All dwellings	-	-	-	-	gas cooktop & electric oven	-	yes	-	-	-

Alternative energy	
Dwellings no.	Photovoltaic system (min rated electrical output in peak kW)
All dwellings	-

(b) Thermal Comfort	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must attach the certificate referred to under "Assessor details" on the front page of the BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development to that application). The applicant must also attach the Assessor Certificate to the application for a third occupation certificate for the proposed development.			
(b) The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			
(c) The details of the proposed development the Assessor Certificate must be consistent with its details shown in this BASIX Certificate, including its details shown in the "Thermal Loads" table below.			

(b) Thermal Comfort	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Thermal Comfort Protocol requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor, to certify that this is the case.	✓		
(e) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.		✓	
(f) The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.		✓	✓
(g) Where there is an in-slab heating or cooling system, the applicant must:			
(aa) install insulation with an R-value of not less than 1.0 around the vertical edges of the perimeter of the slab; or		✓	
(bb) On a suspended floor install insulation with an R-value of not less than 1.0 underneath the slab and around the vertical edges of the perimeter of the slab.		✓	
(h) The applicant must construct the floors and walls of the development in accordance with the specifications listed in the table below.	✓	✓	✓

Thermal loads		
Dwelling no.	Area adjusted heating load (in mJ/m ² /yr)	Area adjusted cooling load (in mJ/m ² /yr)
1	36.8	16.7
2	39.7	25.8

Construction of floors and walls					
Dwelling no.	Concrete slab on ground(m ²)	Suspended floor with open subfloor (m ²)	Suspended floor with enclosed subfloor (m ²)	Suspended floor above garage (m ²)	Primarily rammed earth or mudbrick walls
1	120	-	-	30	No

Construction of floors and walls					
Dwelling no.	Concrete slab on ground(m ²)	Suspended floor with open subfloor (m ²)	Suspended floor with enclosed subfloor (m ²)	Suspended floor above garage (m ²)	Primarily rammed earth or mudbrick walls
2	124	-	-	30	No

3. Commitments for common areas and central systems/facilities for the development (non-building specific)

(b) Common areas and central systems/facilities

(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a showerhead, toilet, tap or clothes washer into a common area, then that item must meet the specifications listed for it in the table.		✓	✓
(b) The applicant must install (or ensure that the development is serviced by the alternative water supply system/s) specified in the "Central systems" column of the table below. In each case, the system must be sized, be configured, and be connected, as specified in the table.	✓	✓	✓
(c) A swimming pool or spa listed in the table must not have a volume (in kLs) greater than that specified for the pool or spa in the table.	✓		
(d) A pool or spa listed in the table must have a cover or shading if specified for the pool or spa in the table.		✓	
(e) The applicant must install each fire sprinkler system listed in the table so that the system is configured as specified in the table.		✓	✓
(f) The applicant must ensure that the central cooling system for a cooling tower is configured as specified in the table.		✓	✓

Common areas	Showerheads rating	Toilets rating	Taps rating	Clothes washers rating
All common areas	no common facility	no common facility	no common facility	no common laundry facility

(b) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a ventilation system to service a common area specified in the table below, then that ventilation system must be of the type specified for that common area, and must meet the efficiency measure specified.		✓	✓
(b) In carrying out the development, the applicant must install, as the "primary type of artificial lighting" for each common area specified in the table below, the lighting specified for that common area. This lighting must meet the efficiency measure specified. The applicant must also install a centralised lighting control system or Building Management System (BMS) for the common area, where specified.		✓	✓
(c) The applicant must install the systems and fixtures specified in the "Central energy systems" column of the table below, in each case, the system or fixture must be of the type, and meet the specifications, listed for it in the table.	✓	✓	✓



AQFNTLV092 13 Jul 2022
Assessor Marko Lisica
Accreditation No. HERA10088
Address 1, 7 Walmont Place
Mt Keira
NSW 2500
<https://www.fr5.com.au/QRCodeLanding?PublicId=AQFNTLV092>





BXNQF0LRF 13 Jul 2022
Assessor Marko Lisica
Accreditation No. HERA10088
Address 2, 7 Walmont Place
Mt Keira
NSW 2500
<https://www.fr5.com.au/QRCodeLanding?PublicId=BXNQF0LRF>



BASIX Requirements

Note: Use figured dimensions only. DO NOT SCALE. The builder shall verify all dimensions prior to actual commencement of any earthworks of building construction. These drawings shall be read in conjunction with any relevant Engineer's details and drawings. Illawarra Drafting accepts no responsibility for errors in construction or misinterpretation of drawings. All timber framing sizes shall comply with AS 1684 "Nation Timber Framing Code". All construction works shall comply with provisions of the Building Code of Australia. The roof style is diagrammatic only and need to be designed by roof manufacturer prior to construction, all roof framing and any required beams are to be specified by roof manufacturer.

MOBILE: 0403 716 339
EMAIL: issasousou_@hotmail.com
ABN: 75 828 056 040

Illawarra
Drafting
A division of SF Business Group

DEMOLITION OF EXISTING STRUCTURES, PROPOSED UNIT DEVELOPMENT & SUBDIVISION

Project number:	IS2201-18	Scale:	Sheet Number: SH-25	
Date:	06/09/23	For:		I.SOUSOU
Drawn by:	I.SOUSOU	Address:7 WELMONT PLACE, MOUNT KEIRA, LOT 11 IN DP 239697		
Designed by:	I.SOUSOU			

BASIX Commitments: 1419145S

BASIX REQUIREMENTS	
ITEM	REQUIREMENTS UNDER BASIX
FIXTURES	
Shower Heads	3 Star (>4.5 but <=6L/min)
Toilet Flushing System	5 Star
Kitchen Taps	5 Star
Bathroom Taps	5 Star
Landscape	The applicant must plant indigenous or low water use species of vegetation throughout 99 square metres of the site,
RAINWATER TANK	
Rainwater Tank	n/a
Roof Area Collection	n/a
Rainwater Tank Connection	n/a
THERMAL COMFORT	Please refer to BASIX certificate for this information
Energy Requirements	
ENERGY COMMITMENTS	
Hot Water	gas instantaneous with a performance of 5 stars,
Cooling System	The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living & bedroom area: 1-phase airconditioning: Energy rating: 1.5 Star The cooling system must provide for day/night zoning between living areas and bedrooms.
Heating System	The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living & bedroom area: 1-phase airconditioning: Energy rating: 1.5 Star The cooling system must provide for day/night zoning between living areas and bedrooms,
Bathroom Ventilation	individual fan, not ducted; Operation control: manual switch on/off
Kitchen Ventilation	individual fan, not ducted; Operation control: manual switch on/off
Laundry Ventilation	individual fan, ducted to facade or roof; Operation control: manual switch on/off
Artificial Lighting	The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps: <ul style="list-style-type: none"> • at least 4 of the bedrooms / study: dedicated, • at least 2 of the living / dining rooms: dedicated, • the kitchen: dedicated, • all bathrooms/toilets: dedicated, • the laundry: dedicated, • all hallways: dedicated,
Natural Lighting	The applicant must install a window and/or skylight in 2 bedrooms/ toilets in the development for natural lighting.
Alternative Energy	n/a
Other	<ul style="list-style-type: none"> - The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling, - refrigerator space in the development so that it is "well ventilated", - The applicant must install a fixed outdoor clothes drying line as part of the development,

U3 BASIX Requirements

Note: Use figured dimensions only. DO NOT SCALE.
The builder shall verify all dimensions prior to actual commencement of any earthworks of building construction. These drawings shall be read in conjunction with any relevant Engineer's details and drawings. Illawarra Drafting accepts no responsibility for errors in construction or misinterpretation of drawings. All timber framing sizes shall comply with AS 1684 "Nation Timber Framing Code". All construction works shall comply with provisions of the Building Code of Australia. The roof style is diagrammatic only and need to be designed by roof manufacturer prior to construction, all roof framing and any required beams are to be specified by roof manufacturer.

MOBILE: 0403 716 339
EMAIL:
issasousou_@hotmail.com
ABN: 75 828 056 040

Illawarra
Drafting
A division of SF Business Group

DEMOLITION OF EXISTING STRUCTURES, PROPOSED UNIT DEVELOPMENT & SUBDIVISION

Project number:	IS2201-18	Scale:	1 : 125	Sheet Number: SH-26
Date:	06/09/23	For:	I.SOUSOU	
Drawn by:	I.SOUSOU	Address:7 WELMONT PLACE, MOUNT KEIRA, LOT 11 IN DP 239697		
Designed by:	I.SOUSOU			



3D Perspectives

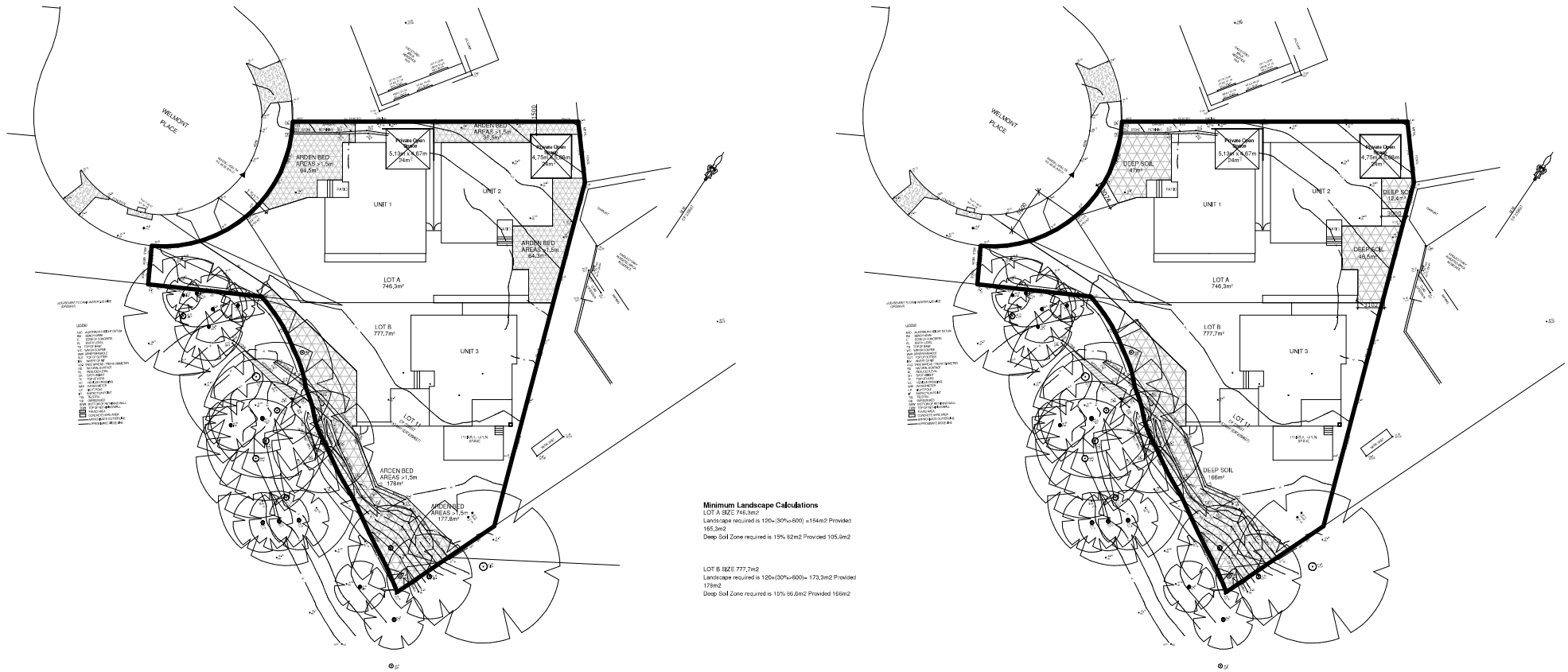
Note: Use figured dimensions only. DO NOT SCALE.
The builder shall verify all dimensions prior to actual commencement of any earthworks of building construction. These drawings shall be read in conjunction with any relevant Engineer's details and drawings. Illawarra Drafting accepts no responsibility for errors in construction or misinterpretation of drawings. All timber framing sizes shall comply with AS 1684 "Nation Timber Framing Code". All construction works shall comply with provisions of the Building Code of Australia. The roof style is diagrammatic only and need to be designed by roof manufacturer prior to construction, all roof framing and any required beams are to be specified by roof manufacturer.

MOBILE: 0403 716 339
EMAIL:
issasousou_@hotmail.com
ABN: 75 828 056 040

Illawarra
Drafting
A division of SF Business Group

DEMOLITION OF EXISTING STRUCTURES, PROPOSED UNIT DEVELOPMENT & SUBDIVISION

Project number:	IS2201-18	Scale:	Sheet Number: SH-27
Date:	06/09/23	For:	
Drawn by:	I.SOUSOU	Address:	
Designed by:	I.SOUSOU	7 WELMONT PLACE, MOUNT KEIRA, LOT 11 IN DP 239697	



Landscape Plan

Note: Use figured dimensions only. DO NOT SCALE.
 The builder shall verify all dimensions prior to actual commencement of any earthworks of building construction. These drawings shall be read in conjunction with any relevant Engineer's details and drawings. Illawarra Drafting accepts no responsibility for errors in construction or misinterpretation of drawings. All timber framing sizes shall comply with AS 1684 "Nation Timber Framing Code". All construction works shall comply with provisions of the Building Code of Australia. The roof style is diagrammatic only and need to be designed by roof manufacturer prior to construction, all roof framing and any required beams are to be specified by roof manufacturer.

MOBILE: 0403 716 339
 EMAIL: issasousou@hotmail.com
 ABN: 75 828 056 040

Illawarra
Drafting
 A division of SF Business Group

DEMOLITION OF EXISTING STRUCTURES, PROPOSED UNIT DEVELOPMENT & SUBDIVISION

Project number:	IS2201-18	Scale:	1 : 500	Sheet Number: SH-28
Date:	06/09/23	For:	I.SOUSOU	
Drawn by:	I.SOUSOU	Address:7 WELMONT PLACE, MOUNT KEIRA, LOT 11 IN DP 239697		
Designed by:	I.SOUSOU			

Car Manoeuvring Plan

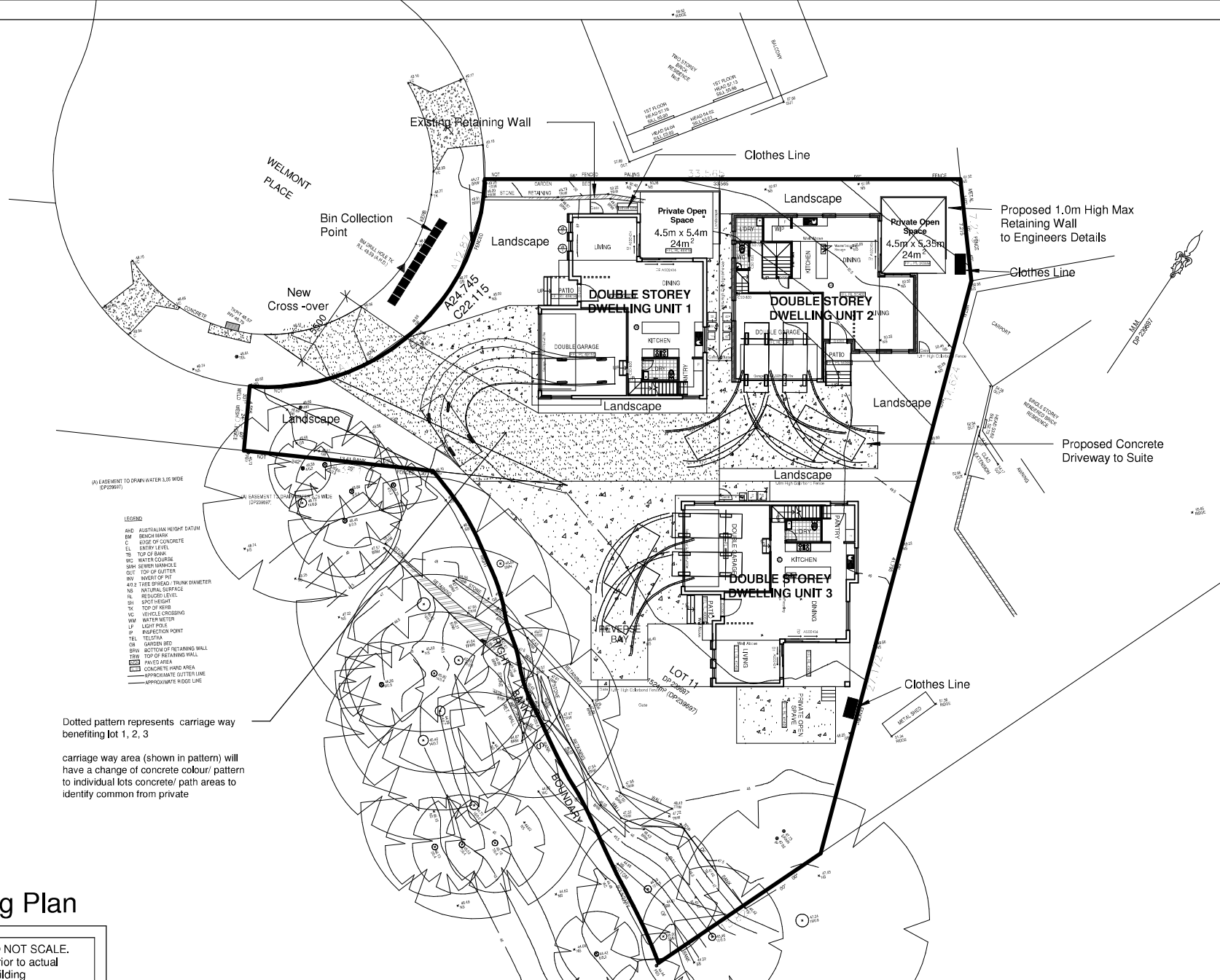
Note: Use figured dimensions only. DO NOT SCALE.
The builder shall verify all dimensions prior to actual commencement of any earthworks of building construction. These drawings shall be read in conjunction with any relevant Engineer's details and drawings. Illawarra Drafting accepts no responsibility for errors in construction or misinterpretation of drawings. All timber framing sizes shall comply with AS 1684 "Nation Timber Framing Code". All construction works shall comply with provisions of the Building Code of Australia. The roof style is diagrammatic only and need to be designed by roof manufacturer prior to construction, all roof framing and any required beams are to be specified by roof manufacturer.

MOBILE: 0403 716 339
EMAIL:
issasousou_@hotmail.com
ABN: 75 828 056 040

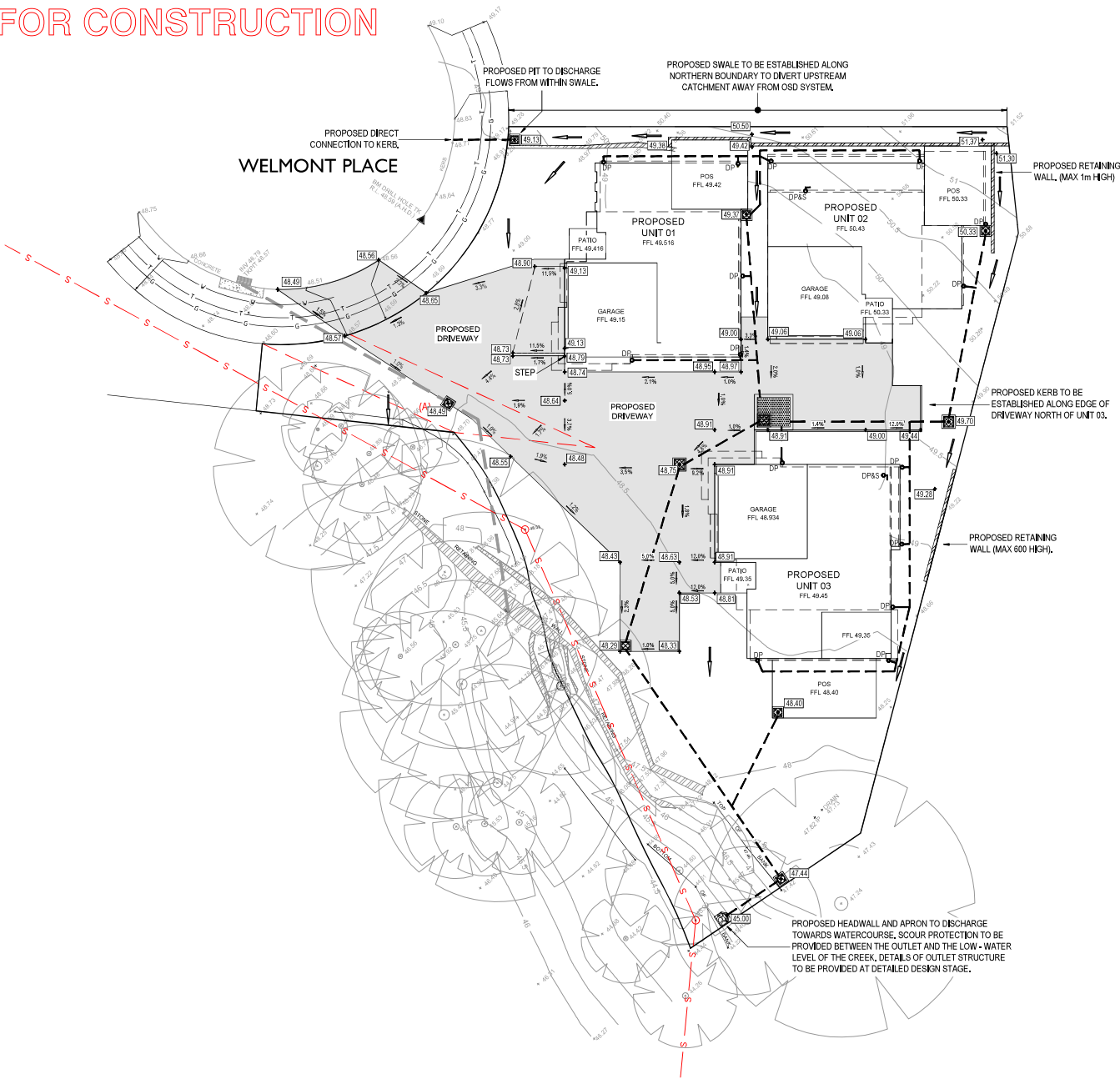
Illawarra
Drafting
A division of SF Business Group

DEMOLITION OF EXISTING STRUCTURES, PROPOSED UNIT DEVELOPMENT & SUBDIVISION

Project number:	IS2201-18	Scale:	1 : 275	Sheet Number:
Date:	06/09/23	For:	I.SOUSOU	SH-29
Drawn by:	I.SOUSOU	Address:	7 WELMONT PLACE, MOUNT KEIRA, LOT 11 IN DP 239697	
Designed by:	I.SOUSOU			



NOT FOR CONSTRUCTION



GENERAL NOTES:

- THESE PLANS SHALL BE READ IN CONJUNCTION WITH THE ARCHITECTURAL PLANS FOR THE PROJECT.
- THE CONTRACTOR SHALL VERIFY THE VALUE OF THE B.M. PRIOR TO THE COMMENCEMENT OF WORK. SURVEY WORK DONE BY OTHERS.
- THE CONTRACTOR SHALL VERIFY THE LOCATION AND LEVEL OF ALL EXISTING SERVICES PRIOR TO THE COMMENCEMENT OF WORK.
- THIS PLAN IS NOT TO BE USED FOR SETTING OUT PURPOSES, REFER TO ARCHITECTURAL DRAWINGS.
- ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH THE STANDARD REQUIREMENTS OF WOLLONGONG CITY COUNCIL.
- ALL GRATES IN TRAFFICKED AREAS SHALL BE HEAVY DUTY GRATES. PIPE LOCATIONS ARE INDICATIVE ONLY.
- MAKE SMOOTH JUNCTION WITH ALL EXISTING WORK.
- ALL GRATED INLET PITS TO BE PROVIDED WITH HINGED AND LOCKABLE "WELOK" GRATES (OR EQUIVALENT).
- ALL PITS WITH A DEPTH GREATER THAN 1.2m ARE TO BE PROVIDED WITH STEP IRONS TO SUIT COUNCIL STANDARDS.
- ALL DOWNPIPES TO BE A MINIMUM 900, IF NOT NOTED ON PLAN ALL OTHER PIPES TO BE A MINIMUM 1000 AT 1% MINIMUM.

(A) - EXISTING EASEMENT TO DRAIN WATER 3.05m WIDE (DP 239697)

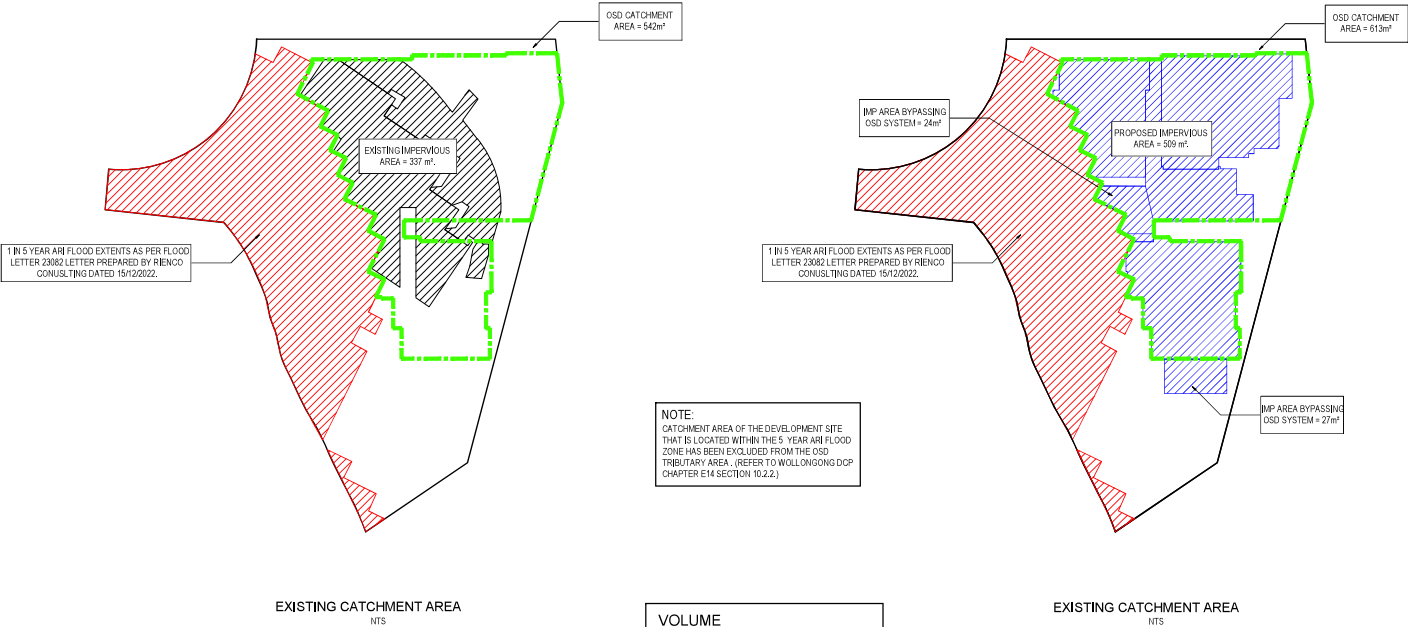
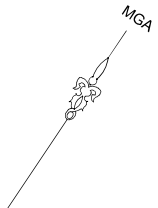
LEGEND

- 102.5 — DENOTES EXISTING SURFACE CONTOUR
- S — DENOTES EXISTING SEWER
- DENOTES DRAINAGE LEADING TO DISCHARGE POINT
- DP DENOTES DRAINAGE DOWN PIPE
- 20.00 DENOTES PROPOSED SURFACE LEVELS
- 3.0% DENOTES PROPOSED DRIVEWAY GRADING
- DENOTES PROPOSED OVERLAND FLOW PATHS FOR THE 1% AEP STORM EVENT
- DENOTES PROPOSED RETAINING WALL
- G — DENOTES EXISTING UNDERGROUND GAS SERVICE
- T — DENOTES EXISTING TELECOMMUNICATION SERVICE
- V — DENOTES EXISTING POTABLE WATER SERVICE
- DENOTES EXISTING STORMWATER DRAINAGE

NOTE:
STORMWATER GUTTERS & DOWNPIPES OF UNIT 3 TO BE DESIGNED TO CATER FOR 1 IN 100 YEAR STORM EVENT.

PROPOSED HEADWALL AND APRON TO DISCHARGE TOWARDS WATERCOURSE. SCOUR PROTECTION TO BE PROVIDED BETWEEN THE OUTLET AND THE LOW - WATER LEVEL OF THE CREEK. DETAILS OF OUTLET STRUCTURE TO BE PROVIDED AT DETAILED DESIGN STAGE.

NOT FOR CONSTRUCTION

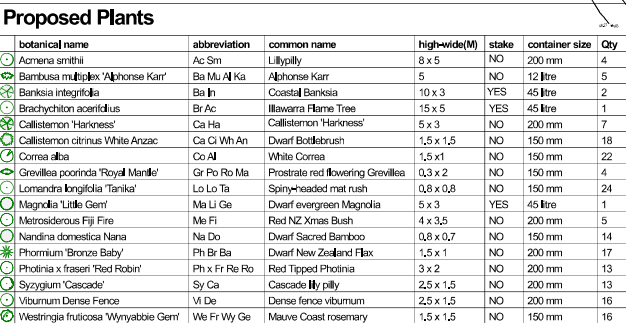


NOTE:
CATCHMENT AREA OF THE DEVELOPMENT SITE THAT IS LOCATED WITHIN THE 5 YEAR ARI FLOOD ZONE HAS BEEN EXCLUDED FROM THE OSD TRIBUTARY AREA. (REFER TO WOLLONGONG DCP CHAPTER E14 SECTION 10.2.2.)

VOLUME	
UNDERGROUND STORAGE 2,20m x 2,00m x 0,60m DEEP	= 2,6 m³
VOLUME REQUIRED	= 2,6 m³

NOTE:
CURRENTLY THE SITE HAS 337m² OF IMPERVIOUS AREA DISCHARGING FROM THE SITE.
THE PROPOSED DEVELOPMENT OF THE SITE WILL RESULT IN A COMBINED DRIVEWAY AND ROOF AREA OF 509m² WHICH WITHOUT OSD FACILITIES WOULD RESULT IN INCREASED FLOWS DISCHARGING FROM THE SITE.
THE PROPOSED OSD SYSTEM WILL DISCHARGE 509m² OF IMPERVIOUS AREA, WHILE 41m² OF PROPOSED IMPERVIOUS AREA WILL BYPASS THE OSD SYSTEM AND DISCHARGE TO THE STREET.
TO ACCOUNT FOR THIS, THE DIFFERENCE BETWEEN POST AND PRE IMPERVIOUS AREA OF THE BYPASSING CATCHMENT WILL BE REMOVED FROM THE PRE IMPERVIOUS AREA OF THE OSD CATCHMENT.
PRE IMPERVIOUS AREA = 337m² - 51m²
= 286m²

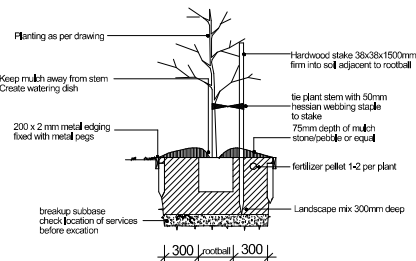
OSD (UNITS & DRIVEWAY) HYDROLOGICAL ANALYSIS	
OSD CALCULATIONS ARE DERIVED FROM WOLLONGONG CITY COUNCIL DEVELOPMENT CONTROL PLAN - CHAPTER E14 'STORMWATER MANAGEMENT' SECTION 10.2.4.	
INPUT	CATCHMENT INFORMATION
F ₁ = 1,16	SITE AREA = 1524m²
F _{1no} = 1,11	TRIBUTARY AREA = 613m²
F ₂ = 1,12	EXISTING IMPERVIOUS AREA = (337*51) = 286m² (47%)
F ₃ = 0,18 STEP 1	PROPOSED IMPERVIOUS AREA = 509m² (83%)
F ₃ = 0,12 STEP 2	
F ₄ = 0,50	
F ₀ = 110mm/hr	
STEP 1	
PSD ₁ = 20,2 L/sec	PSD _{1no} = 35,3 L/sec
SSR ₁ = 4,1 m³	SSR _{1no} = 6,9 m³
STEP 2	
SSR ₂ = 2,5 m³	SSR _{2no} = 4,3 m³
RESULTS	
PSD ₂ = 23,3 L/sec	PSD _{2no} = 38,3 L/sec
SSR ₂ = 1,6 m³	SSR _{2no} = 2,6 m³



LOT B SIZE 777.7m2
Landscape required is $120 + (30\% \times 600) = 173.3\text{m}^2$ Provided 178m2
Deep Soil Zone required is 15% 86.6m2 Provided 166m2

TREE TREATMENT AND ACTIONS SEE
 Matthew Reed Consulting Engineers – Aborigines Impact Assessment Report
 Date/Ref: 13th May 2022/NA-2653

This is to confirm that the Landscape plan and
 the Landscape Plan from consultants
 LandTeam Consulting Engineers,
 Drawing No 213536 E01 Issue A 23/2/22
 Concept Drainage Design - Layout Plan is compatible



ISSUE 1
DATE 1/9/23
DRAWN PZ
SCALE 1:200@A1

ATTACHMENT 2 – Site Photos



1: Existing dwelling on the subject site as viewed from Welmont Place.



2: View of vegetation within riparian corridor along South western boundary of site.



3: Edmund Rice College playing fields as viewed from cul-de-sac forward of subject site.



4: Edmund Rice College playing fields as viewed from driveway of subject site..



5: Dwellings within streetscape opposite subject site. Photo taken from driveway of subject site facing West.



6: Dwellings within streetscape along Eastern side of Welmont Place. Photo taken from driveway of subject site facing North.



7: Dwelling on subject site.



8: Vegetation and retaining walls in riparian corridor along South western boundary of the subject site.



9: Vegetation in riparian corridor along South western boundary of the subject site.



10: View South from subject site.



11: Bamboo hedging along boundary of adjoining property to the North east, No.3 Parkman Place.



12: View East approximately from site of proposed Unit 3.



13: Photo along rear boundary of the subject site. Photo taken from approximate area of Unit 3 facing North.



14: Rear of existing dwelling on the subject site.



15: Adjoining properties to the North west of the subject site. Photo taken from approximate location of Unit 2.



16: Adjoining properties to the rear of the subject site as viewed from approximate location of Unit 2



17: Adjoining properties on Parkman Place to the North and NNE of the subject site. Photo taken from approximate location of Unit 2.



18: View South along Wemont Street towards subject site. Photo taken from Western side of Wemont Street near intersection of Wemont Street and Spring Street.



19: View South along Wemont Street towards subject site. Photo taken from Eastern side of Welmont Street near intersection of Welmont Street and Spring Street.



20: View South along Wemont Street towards subject site. Photo taken from Western side of Welmont Street opposite intersection of Welmont Street and Parkman Place.



21 View South east along Wemont Street towards subject site. Photo taken from Western side of Wemont Street forward of 12 Wemont Street.



22: View South east along Wemont Street towards subject site. Existing dwelling on subject site is just visible middle of shot. Photo taken from Western side of Wemont Street forward of 12 Wemont Street.



Attachment 3: WDCP 2009 compliance table

CHAPTER A1 – INTRODUCTION

8 Variations to development controls in the DCP

The applicant proposes variations to Sections 4.1.2(4) of Chapter B1 and Section 6.3(2) of Chapter B2. The variation requests are considered justified and supportable. See considerations at Chapter B1 Residential Development table below.

Control	Comment
1. The variation statement must address the following points:	
a) The control being varied; and	The variation request statement identifies the control being varied as Section 4.1.2(4) Number of Storeys of Chapter B1 Residential Development of WDCP 2009.
b) The extent of the proposed variation and the unique circumstances as to why the variation is requested; and	<p>Justification for Number of Storeys (Rear Setback) Variation:</p> <p>The applicant proposes Unit 2 to have a minimum rear setback of 4.89m and Unit 3 to have a minimum rear setback of 1.793m to the first floor. WDCP2009 Chapter B1 Section 4.1.2(4) indicates that where development occurs within 8m of the rear boundary the development is limited to a single storey so as not to adversely impact on the amenity of the adjoining property. It is considered that the variation to the rear setback development control plan can be supported in this circumstance for the following reasons:</p> <ul style="list-style-type: none">• It is considered that the proposed development will have minimal impact on the streetscape and the natural setting of the area. All units within the proposed development are separated by distance and roof form from each other and adjoining dwellings. This separation of the buildings is consistent with the built environment of the adjacent and surrounding land.• The mature bamboo hedge along the rear boundary of the adjoining property to the rear will soften the visual impacts of Unit 3.• The proposed development will have minimal impact on the adjoining dwellings in terms of overlooking for the following reasons:<ul style="list-style-type: none">- The upper level window on the North eastern elevation of Unit 2 is a bedroom window. Windows on the upper level of the North western elevation consist of bathroom windows and a stair well window.- The upper level window on the North eastern elevation of Unit 3 is a bathroom window.

	<p>Bathrooms are not considered high usage rooms. Condition 34 at Attachment 6 requires bathroom windows to the development to be opaque minimising overlooking impacts from the first of Unit 3.</p> <ul style="list-style-type: none"> - Reasonable setbacks to the first floor have been maintained to the side boundaries for Units 2 and 3 providing separation by distance and roof form from adjoining properties. <ul style="list-style-type: none"> • The proposed development will have minimal impact on the adjoining dwellings in terms of overshadowing for the following reasons: <ul style="list-style-type: none"> - The subject site is situated to the South and South west of the adjoining properties as such the majority of shadow cast by the proposed dwelling falls on the subject site. - Reasonable setbacks have been proposed to the site boundaries. - Reasonable separation distances have been maintained between the proposed dwelling and the adjoining dwellings to the North east and North west. - Reasonable building heights have been proposed. Unit 2 is 1.696m and Unit 3 1.697m below the 9m maximum building height. - The proposal complies with bulk and scale controls. • The proposed dwelling has been designed to be sympathetic to and address site constraints. • It is considered that the building character and form of the proposed dwelling is reasonable in this circumstance. There are dwellings of similar bulk and scale within the immediate vicinity of the subject site. • Although the numerical requirements have not been strictly met in this circumstance it is considered that the objectives of the Section have been met ensuring minimal impact on the street scene and on the amenity of the adjoining dwellings. It is considered that the rear setback of the proposed dwelling is acceptable in this circumstance in order to satisfy the objectives of the Section.
c) Demonstrate how the objectives are met with the proposed variations; and	The overall objectives of the WDCP 2009 Chapter B1 Section 4.1 Number of Storeys are to:

	<p>a) <i>To encourage buildings which integrate within the streetscape and the natural setting whilst maintaining the visual amenity of the area</i></p> <p>b) <i>To minimise the potential for overlooking on adjacent dwellings and open space areas.</i></p> <p>c) <i>To ensure that development is sympathetic to and addresses site constraints.</i></p> <p>d) <i>To encourage split level stepped building solutions on steeply sloping sites.</i></p> <p>e) <i>To encourage a built form of dwellings that does not have negative impact on the visual amenity of the adjoining residences.</i></p> <p>f) <i>To ensure ancillary structures have appropriate scale and are not visually dominant compared to the dwelling.</i></p> <p>g) <i>To ensure appropriate correlation between the height and setbacks of ancillary structures.</i></p> <p>h) <i>To encourage positive solar access outcomes for dwellings and the associated private open spaces.</i></p> <p>The applicant has indicated that they consider the development consistent with the above objectives.</p> <p><u>Council comment:</u></p> <p>The development is not considered to be inconsistent with the above objectives.</p>
d) Demonstrate that the development will not have additional adverse impacts as a result of the variation.	<p><u>Council comment:</u></p> <p>Due to the developments boundary setbacks, building separation, compliant building height and floor space ratio with minimal impact on adjoining development in terms of privacy and overshadowing, the development is not considered to result in adverse impacts as a result of the variation.</p>
<p>Comment:</p> <p>The requested variation is considered capable of support.</p>	

Control	Comment
1. The variation statement must address the following points:	
a) The control being varied; and	The variation request statement identifies the control being varied as Section 6.3(2) Lot Width of Chapter B2 Residential Subdivision of WDCP 2009.

<p>b) The extent of the proposed variation and the unique circumstances as to why the variation is requested; and</p>	<p>The proposed phase 1 two (2) lot Torrens title subdivision provides for a lot width of 12.87m for Lot A and 11.87m for Lot B. WDCP2009 Chapter B2 Section 6.2(2) indicates that Lots with a NW, W, SW, S, SE or E alignment should be 15 metres wide at the front building alignment, in order to ensure satisfactory solar access opportunities into living rooms of future dwellings and rear private open space areas and to help prevent overshadowing of dwellings and private open space on adjoining lots.</p> <p>It is considered that the variation to the site width can be supported in this circumstance for the following reasons:</p> <ul style="list-style-type: none"> • The application submission demonstrates that the proposed lot width and depths can cater for the proposed dwellings having regard for site constraints and environmental qualities of the land. Advice received from the NSW Department Planning and Environment-Water and Council's Geotechnical, Environment and Development Engineering Officers is such that the proposal is satisfactory subject to consent conditions. • The variation to the site width is considered minor due to the location of the site at the end of cul-de-sac and the sites irregular shape. The site width at the development footprints exceeds the 15m minimum site width. • The dwellings have a sufficient area of private open space to the rear of each dwelling that is able achieve reasonable levels of solar access in this circumstance. • The dwellings are able to achieve Council's Floor Space Ratio, Site Coverage, Landscaped Area controls and satisfy the objectives of boundary setback controls with the lot sizes proposed. • The proposal complies with the minimum lot size requirements indicated under WLEP 2009 Section 4.1. Advice received from Council's Development Engineering Officer indicates there are no issues with the proposed lot sizes. • Although the numerical requirements have not been strictly met in this circumstance it is considered that the objectives of the Section have been met ensuring minimal impact on the street scene and on the amenity of the adjoining dwellings.
<p>c) Demonstrate how the objectives are met with the proposed variations; and</p>	<p>The overall objectives of the WDCP 2009 Chapter B2 Section 6.3 Lot Width and Depth are to:</p>

	<p>(a) To ensure residential lots are designed to provide sufficient lot width and depth, to cater for a suitable range of dwelling styles having regard to any site constraints or environmental qualities of that land.</p> <p>(b) To ensure residential lots in low density residential areas provide sufficient site area to cater for detached dwelling-houses with sufficient rear private open space which gains appropriate sunlight access during mid-winter.</p> <p><u>Council comment:</u></p> <p>The development is not considered to be inconsistent with the above objectives.</p>
d) Demonstrate that the development will not have additional adverse impacts as a result of the variation.	<p><u>Council comment:</u></p> <p>Due to the lots providing sufficient width and depth to cater for the detached dwellings as proposed and having sufficient rear private open space to gain appropriate solar access the development is not considered to result in adverse impacts as a result of the variation.</p>
<p>Comment:</p> <p>The requested variation is considered capable of support.</p>	

CHAPTER A2: ECOLOGICALLY SUSTAINABLE DEVELOPMENT

Development controls to improve the sustainability of development throughout Wollongong are integrated into the relevant chapters of this DCP.

Generally speaking, the proposal could be considered to be consistent with the principles of Ecologically Sustainable Development.

CHAPTER B1 – RESIDENTIAL DEVELOPMENT

4.0 General Residential controls

<i>Controls/objectives</i>	<i>Comment</i>	<i>Compliance</i>
4.1 Maximum Number of Storeys		
<ul style="list-style-type: none"> Battle axe allotments - 1 storey R2 where development occurs within the 8m rear setback the development is limited to single storey. Built form that has a positive impact on the visual amenity of the area and addresses site constraints and overlooking of neighbouring properties 	Proposed Unit 1: Two (2) Storeys (7.48m overall height)	Yes
	Proposed Unit 2: Two (2) Storeys (7.303m overall height)	Yes
	Proposed Unit 3: Two (2) Storeys (7.304m overall height)	Yes
	Rear Setback: Unit 2: 4.89m to first floor Unit 3: 1.793m first floor	No -refer to considerations at Chapter A1 above
	The proposed dwellings will have minimal impact on the visual amenity of	

	the area and on the amenity of the adjoining properties.	
<u>4.2 Front Setbacks</u>		
<ul style="list-style-type: none"> • Infill 6m min or dependent on street character 	Unit 1: 6m	Yes
<ul style="list-style-type: none"> • Less than 6 metres where the prevailing street character permits and the future desired character of the area is not prejudiced. 	Unit 3: 23m	Yes
<ul style="list-style-type: none"> • Garages and carports 5.5m min 	Unit 2 is set to the rear of Unit 1 on proposed Lot A. The garages for each dwelling are setback greater than 5.5m from the street boundary	Yes
<u>4.3 Side and Rear Setbacks</u>		
<ul style="list-style-type: none"> • Wall Setback: 0.9m min 	Unit 1	
<ul style="list-style-type: none"> • 3m where the wall height exceeds 7m 	Proposed to Wall: 2.45m (North west) 5.36m (South east)	Yes Yes
<ul style="list-style-type: none"> • Eave Setback: 0.45m 	Unit 2	
<ul style="list-style-type: none"> • Rear Setback 8m 	Proposed to Wall: 2.45m (North west) 7m (South east)	Yes Yes
	Unit 3	
	Proposed to Wall: 1m (North west) 12.5m (South east)	Yes Yes
	<u>Rear setbacks</u>	
	Unit 2: 2.382m (Ground floor) 4.89m (First floor)	Yes No -refer to considerations at Chapter A1 above
	Unit 3: 1.793m	
	Unit 1 is set forward of Unit 2 on proposed lot A.	
<u>4.4 Site Coverage</u>		
The maximum site coverage for a dwelling, dual occupancy, and combined maximum coverage for a principle dwelling and secondary dwelling, is as follows:	Proposed site coverage:	
<ul style="list-style-type: none"> • 55% of the area of the lot, if the lot has an area less than 450m². 	Lot A: 35.5% (265.205m ² /746.3m ²).	Yes
<ul style="list-style-type: none"> • 50% of the area of the lot, if the lot has an area of at least 450m² but less than 900m². 	Lot B: 17.1% (132.82m ² /777.7m ²).	Yes
<ul style="list-style-type: none"> • 40% of the area of the lot, if the lot has an area of at least 900m². 		
<u>4.5 Landscaped Area</u>		
<ul style="list-style-type: none"> • Minimum Required 20% permeable area capable of growing trees, shrubs, groundcover and/or lawn. 	Proposed Lot A: Approximately 24%. Proposed Lot B: Approximately 57%	Yes Yes Yes

<ul style="list-style-type: none"> • 50% behind the building line to the primary road • Integrated with drainage design 	<p>The proposed development satisfies the objectives of Council's landscaped area controls and policies.</p> <p>Council's Landscape Officer has raised no objections to the proposed landscaping.</p>	
<p><u>4.6 Private Open Space</u></p> <ul style="list-style-type: none"> • 24m² of private open space must be directly accessible from the living areas; min width of 4m and no steeper than 1:50. • Not to be located on side boundaries or front yards without variation. 	<p>The proposed development satisfies the objectives and standards of Council's private open space controls.</p>	<p>Yes</p>
<p><u>4.7 Solar Access Requirements</u></p> <ul style="list-style-type: none"> • Windows to living rooms of adjoining dwellings must receive at least 3hrs continuous sunlight between 9.00am - 3.00pm on 21 June. • At least 50% of the private open areas of adjoining residential properties must receive at least 3hrs continuous sunlight between 9.00am - 3.00pm on June 21. 	<p>The proposed development will have minimal impact on adjoining properties in terms of Solar Access as reasonable setbacks and building heights have been maintained.</p> <p>The dwellings have been oriented so as to maximise the amount of sunlight received by the living areas and private open space.</p> <p>It is considered that the proposed development can receive a reasonable amount of sunlight to private open space areas.</p> <p>Submitted shadow diagrams are considered satisfactory and detail reasonable solar access between 9am and 3pm on 21 June as required by WDCP 2009 Chapter B1.</p>	<p>Yes</p>
<p><u>4.8 Building Character and Form</u></p> <ul style="list-style-type: none"> • Design, height and siting of a new dwelling-house or secondary dwelling must respond to its site context • New dwelling-houses within established residential areas should be sympathetic with the existing character of the immediate locality. • All residential buildings must be designed with building frontages and entries clearly addressing the street frontage. 	<p>The proposed development will have minimal impact on the established residential character of the area.</p> <p>The proposed dwelling frontages and entries for Unit 1 and Unit 3 have been orientated to address Belmont Place.</p> <p>Unit 2 is predominantly screened from Belmont Place by proposed Unit 1. The entries of Unit 2 have been oriented to address the Right of Way accessing the dwelling.</p> <p>The proposal is considered to satisfy the built form requirements</p>	<p>Yes</p>

<ul style="list-style-type: none"> Where garages are proposed on the front elevation they must be articulated from the front façade. Where the garage door addresses the street they must be a maximum of 50% of the width of the dwelling. 		
<p><u>4.9 Fences</u></p> <ul style="list-style-type: none"> Fences must be constructed to allow natural flow of stormwater or runoff. Fences within front and secondary building lines should be mainly constructed of transparent fence materials. Any fence or related retaining wall within the front setback from the primary road frontage must be a max 1.2m in height 	<p>Existing boundary fencing is to be retained.</p>	<p>Yes</p>
<p><u>4.10 Car parking and Access</u></p> <ul style="list-style-type: none"> 2 spaces per dwelling with a GFA of greater than 125m² Car parking spaces may be open hard stand space, driveway, carport or a garage. Garage door facing roads—not greater than 50% of the width of the dwelling. Garages must be setback min of 5.5m from front boundary. Driveways shall be separated from side boundaries by a minimum of 1m. Driveways shall have a max cross-over width of 3m. 	<p>The proposal includes a double garage in each dwelling. It is considered the proposed garages satisfy AS2890.</p> <p>The proposed garages are setback greater than 5.5m from the front boundary.</p> <p>The proposed dwelling frontages and entries for Unit 1 and Unit 3 have been orientated to address Belmont Place.</p> <p>Unit 2 is predominantly screened from Belmont Place by proposed Unit 1. The entries of Unit 2 have been oriented to address the Right of Way accessing the dwelling.</p> <p>Council's Development Engineering Officer has raised no objections to the proposed access arrangements.</p> <p>The proposed development satisfies the objectives of Council's Car Parking and Access controls and policies.</p>	<p>Yes</p> <p>Yes</p>
<p><u>4.11 Storage Facilities</u></p> <ul style="list-style-type: none"> 3 bedroom- 10m³ storage volume to 5m² storage area 	<p>The proposed development will provide adequate storage facilities.</p>	<p>Yes</p>
<p><u>4.12 Site Facilities</u></p> <ul style="list-style-type: none"> letterboxes in an accessible location air-con, satellite dishes and other ancillary structures to be located 	<p>The necessary site facilities have been provided and are acceptable in this circumstance.</p>	<p>Yes</p>

<p>away from street frontage, not in a place where they are a skyline feature and adequately setback</p>		
<p><u>4.13 Fire Brigade Servicing</u></p>		
<ul style="list-style-type: none"> • All dwellings located within 60m of a fire hydrant 	<p>The subject site can be adequately serviced by fire fighting vehicles in this circumstance.</p>	<p>Yes</p>
<p><u>4.14 Services</u></p>		
<ul style="list-style-type: none"> • Encourage early consideration of servicing requirements 	<p>Water, electricity, sewage and telephone services are available to the site</p>	<p>Yes</p>
<p><u>4.15 Development near the coastline</u></p>		
<ul style="list-style-type: none"> • Must minimise built intrusions into coastal landscape • Retain views to the ocean from roads and public spaces • Maintain buildings consistent with coastal character 	<p>Not Applicable</p>	<p>Yes</p>
<p><u>4.16 View sharing</u></p>		
<ul style="list-style-type: none"> • To protect and enhance view sharing, significant view corridors • A range of view sharing measures to be considered for building design 	<p>The proposed development will have minimal impact on view corridors of existing development.</p>	<p>Yes</p>
<p><u>4.17 Retaining walls</u></p>		
<ul style="list-style-type: none"> • To ensure well designed retaining walls that are structurally sound 	<p>The proposed retaining walls are considered acceptable in this circumstance.</p>	<p>Yes</p>
<p><u>4.21 Additional controls for Dual Occupancies minimum site width</u></p>		
<ul style="list-style-type: none"> • Provide sites adequate for buildings, car parking, POS, landscaping • Sites must not be significantly constrained by flood, geotechnical or other environmental hazards 	<p>The subject site has a minimum frontage of 24.745m to the cul-de-sac on Welmont Place. The minimum depth of the subject site 33.565m.</p> <p>The dual occupancy on proposed Lot A is located on no part of the site with a site width of less than 15m.</p> <p>The proposed development satisfies the objectives of Council's additional controls for dual occupancies site width in this circumstance.</p>	<p>Yes</p>

4.22 Additional controls for Dual Occupancies –building character and form

- Controls for corner allotments
- Controls for garages proposed on the front elevation
- Design compatibility between each dual occupancy in relation to alterations and additions
- Existing garages and outbuildings can not be used as a dual occupancy

The proposed development satisfies the objectives and standards of Council's additional controls for dual occupancies – building character and form in this circumstance.

Yes

4.23 Additional Controls for Dual Occupancy's – Deep Soil Zones

- A minimum of half of the landscaped area must be provided as a deep soil zone. The deep soil zone may be located in any position on the site, subject to this area having a minimum dimension of 3m. The deep soil zone must be located outside the minimum private open space required.

Lot A

Deep Soil Zone: 14.2% of site area.

Yes

Lot B

Deep Soil Zone: 21.3% of site area.

Yes

The deep soil zones have been densely planted with trees and shrubs and/or include the retention of existing mature trees.

Council's Landscape Officer has raised no objections to the proposed landscaping.

CHAPTER B2 – RESIDENTIAL SUBDIVISION

<i>Controls/objectives</i>	<i>Comment</i>	<i>Compliance</i>
<u>5 Topography, Landform Conservation, Cut and Fill</u>	<p>It is considered that the proposed subdivisions take into account the site constraints and will have minimal impact on the significant features of the site in this circumstance.</p> <p>The proposal involves earthworks to facilitate the proposed development.</p> <p>The application submission was referred to Council's Geotechnical, Development Engineering and Environment Officers for comment and no objections were raised subject to conditions. It is considered that the earthworks will have minimal detrimental impact on environmental functions and processes, neighbouring uses items and features of the surrounding land.</p>	Yes

6 Subdivision Design

6.1 Subdivision layout – aspect & solar access orientation

The proposed lots allow for reasonable siting of the proposed dwellings to satisfy the objectives of Council's boundary setback requirements so as to have minimal impact on the adjoining properties in terms of overshadowing and to allow reasonable solar access to the proposed dwellings.

Yes

It is considered that the proposed subdivision lot layout satisfies the objectives of Section 6 subdivision lot layout – aspect and solar access orientation in this circumstance.

6.2 Minimum allotment size requirements

The minimum allotment size for the subdivision of land under Part 4.1 of WLEP2009 is 449m². The proposed phase 1 two (2) lot Torrens title subdivision will result in Lot sizes of 746.3m² and 777.7m² which are both compliant with the section.

Yes

Phase 3 of the proposal involves strata subdivision of the proposed dual occupancy, units 1 and 2. Subsection 4.1(4) identifies that Section 4.1 does not apply in relation to the subdivision of individual lots in a strata plan.

6.3 Lot width & depth requirements

The proposed phase 1 two (2) lot Torrens title subdivision provides for the following lot widths and depths:

Lot A

Width: 12.87m

No -refer to considerations at Chapter A1 above.

Depth: 33.565m

Yes

Lot B

Width: 11.87m

No -refer to considerations at Chapter A1 above.

Depth: 29.7m.

Yes

The minimum lot width and depth requirements are not applicable to a lot within a strata plan as proposed for the Phase 3 Strata subdivision of Units 1 and 2.

Advice received from Council's Development Engineering Officer indicates there are no issues with the proposed lots widths and depths.

6.4 Battle-axe allotments

Not Applicable

N/A

6.5 Building envelopes

It is considered that a suitable building envelope is available on the proposed lots with natural site constraints and flooding matters having been taken into account.

Yes

The proposed lots allow for reasonable siting of the proposed dwellings to satisfy the objectives of Council's boundary setback requirements so as to have minimal impact on the adjoining properties in terms of overlooking and overshadowing and to allow reasonable solar access to the proposed dwellings.

11 Street tree planting

The application submission was referred to Council's Landscape Officer and no street tree planting was considered necessary in this circumstance.

N/A

13.11 Street lighting and fire hydrants

Street lighting is not applicable. Advice received from Council's Development Engineering Officer is that the end of cul-de-sac's are considered low traffic and low speed environment where the risk to pedestrians and cyclists are much lower than other vehicle through routes.

N/A

As such the proposed subdivision and development will have minimal impact on traffic and pedestrian safety along Welmont Place.

It is considered that the subject site can be adequately serviced by fire fighting vehicles in this circumstance.

Yes

A condition at **Attachment 6** requires hydrant servicing provision should a hydrant be required under the NSW Fire & Rescue guidelines.

15 Stormwater drainage

The proposed development satisfies the objectives of Council's stormwater drainage controls in this circumstance.

Yes

	Advice provided by Council's Development Engineering Officer indicates there are no issues with the proposal subject to conditions.	
<u>17 Servicing arrangements</u>	Conditions at Attachment 6 require the submission of documentary evidence from the relevant authorities relating to the connection of electricity, telecommunications, water and sewage to service the proposed lots.	Yes
<u>18 Road addressing</u>	A condition in regard to street numbering is included at Attachment 6 .	Yes

CHAPTER D1: MOUNT KEIRA

Chapter D1 indicates that Mount Keira shall remain a low density residential suburb with predominantly detached dwelling-houses. The replacement of some older dwelling stock with dual occupancy developments may possibly occur on larger sites. Any new residential building should be designed to be relatively sympathetic with the surrounding residential development in terms of housing style and external finishes.

The proposal provides for demolition of the existing dwelling, Torrens title subdivision creating two (2) residential lots, construction of dual occupancy development on proposed Lot A and a single dwelling on proposed Lot B with a two (2) lot Strata subdivision of the dual occupancy on proposed Lot A on the subject site. The proposed dwellings are considered generally consistent with the future desired character of Mount Keira proposing replacement of existing older housing stock with low density residential development dwellings separated by distance and roof form from each other on the relatively large site. This separation of the buildings is consistent with the built environment of the adjacent and surrounding land.

Development within the vicinity of the subject site is characterised by low density residential development of varying architectural styles. Adjoining development consists of a double storey dwelling to the North west, a single storey dwelling to the North east, rear, and Edmund Rice College to the South east. Site Inspection Photos are provided at **Attachment 2** to the assessment report. Examples of larger lots having dual occupancy development and development similar to that proposed can be found within close proximity to the site as can be seen at **Figure 1** of the assessment report.

The proposed development satisfies Council's Floor Space Ratio and Building Height development standards as identified in the WLEP 2009, and overall the bulk and scale of the proposed development is considered acceptable in this circumstance.

The proposed development is a permissible use in the R2 zone and satisfies controls for dual occupancy and single dwelling development under Wollongong Development Control Plan 2009. The proposal is considered to not detract from the existing character of Mount Keira and is compatible with the desired future character for the locality.

The proposed subdivision is permissible on land to which the Wollongong Local Environmental Plan 2009 (WLEP 2009) applies pursuant to Section 2.6 of WLEP 2009.

CHAPTER E3: CAR PARKING, ACCESS, SERVICING/LOADING FACILITIES AND TRAFFIC MANAGEMENT

Council's Development Engineering Officer has reviewed the proposal in relation to this chapter and provided a satisfactory response commenting that the number of parking spaces, access arrangements and manoeuvring are acceptable. Conditions have been included at **Attachment 6** relating to these

matters.

CHAPTER E6: LANDSCAPING

The proposed landscape plan was referred to Council's Landscape Officer for comment with referral advice indicating the proposal as satisfactory subject to conditions.

CHAPTER E7: WASTE MANAGEMENT

It is considered that the proposed development satisfies the objectives of this Chapter. Council's street waste collection service is to be utilised.

CHAPTER E12 GEOTECHNICAL ASSESSMENT

The application has been reviewed by Council's Geotechnical Officer in relation to site stability and the suitability of the site for the development. Concerns were raised by Council in regard to the potential adverse impact of flooding on the development. The applicant was requested to provide a flood study to demonstrate that flooding impacts on and as a result of the proposal would not be adverse, amended concept drainage plans and geotechnical report with regard to bank stability. Additional information including a flood study and geotechnical report, and amended plans that increased the floor level of the proposed dwellings so as to minimise the impact of flooding on the proposed development and flood affectation on adjoining property were provided by the applicant.

Further concerns were raised by Council regarding flooding impacts from both the watercourse and overland flows on the proposed development. Amended plans that reduced the yield of the proposed development by one lot and one unit as such removing any dwelling within 10m of top of bank were provided by the applicant so as to minimise the impact of flooding on the proposed development and flood affectation on adjoining property. The additional information and amended plans have been reviewed by Council's Geotechnical and Development Engineering Officers and are considered to resolve concerns raised.

Appropriate conditions have been recommended and are included at **Attachment 6**.

CHAPTER E13 FLOODPLAIN MANAGEMENT

The subject land is identified as being flood hazard affected. Details of the application submission were referred to Council's Development Engineering Officer for comment.

Council's Development Engineering Officer raised concerns with regard to flooding impacts from both the watercourse and overland flows. The applicant was requested to provide a flood study to demonstrate that flooding impacts on and as a result of the proposal would not be adverse, amended concept drainage plans and a geotechnical report with regard to bank stability. Additional information including a flood study and geotechnical report, and amended plans that increased the floor level of the proposed dwellings so as to minimise the impact of flooding on the proposed development and flood affectation on adjoining property were provided by the applicant.

Further concerns were raised by Council's Development Engineering Officer regarding flooding impacts from both the watercourse and overland flows on the proposed development. Amended plans that reduced the yield of the proposed development by one lot and one unit as such removing any dwelling within 10m of top of bank were provided by the applicant so as to minimise the impact of flooding on the proposed development and flood affectation on adjoining property. The additional information and amended plans have been reviewed by Council's Development Engineering Officer and are considered to resolve concerns raised.

CHAPTER E14 STORMWATER MANAGEMENT

Council's Development Engineering Officer has assessed the application in this regard against the submitted concept stormwater drainage plan and has not raised any issues subject to conditions.

CHAPTER E17 PRESERVATION AND MANAGEMENT OF TREES AND VEGETATION

The application proposes the removal of one (1) tree to facilitate the proposal. Council's Landscape and Environment Officers have assessed the application submission, which included an Arborist Report. Conditionally satisfactory referral advice was received and conditions as at **Attachment 6** specify trees to be removed, trees to be retained, compensatory plantings and tree protection and management.

CHAPTER E19 EARTHWORKS (LAND RESHAPING WORKS)

The proposal involves earthworks to facilitate the proposed development. A geotechnical report and information regarding the earthworks to reshape the land were submitted with the application.

The application submission was referred to Council's Geotechnical, Development Engineering and Environment Officers for comment and no objections were raised subject to conditions. It is considered that the earthworks will have minimal detrimental impact on environmental functions and processes, neighbouring uses items and features of the surrounding land.

CHAPTER E21 DEMOLITION AND ASBESTOS MANAGEMENT

The proposal will require demolition works. Appropriate conditions are included in **Attachment 6** of this report to minimise impacts and ensure that demolition is carried out to Council's and Safe Work NSW requirements.

CHAPTER E22 SOIL EROSION AND SEDIMENT CONTROL

Conditions are included in **Attachment 6** in this regard so as to minimise the impacts of the proposed works on the environment.

CHAPTER E23: RIPARIAN LAND MANAGEMENT

The Riparian Land Map indicates that the subject site contains riparian land. The application submission was referred to Council's Environment for comment. Advice received indicates there are no issues with the proposal subject to conditions of consent.

Details of the application submission were referred to the NSW Department of Planning and Environment - Water as required under the Water Management Act 2000. Advice received indicates the proposal is considered conditionally satisfactory. The NSW Department of Planning and Environment - Water General Terms of Approval are included at **Attachment 6** of this report.

ATTACHMENT 4 – Section 8 Variation to Development Control Statements

4.6.3 Variation to Wollongong Development Control Plan (2009) – Minimum Site Width

WDCP 2009 Chapter B2 6.3 Lot width and depth

Objectives

e) To ensure residential lots are designed to provide sufficient lot width and depth, to cater for a suitable range of dwelling styles having regard to any site constraints or environmental qualities of that land.

f) To ensure residential lots in low density residential areas provide sufficient site area to cater for detached dwelling-houses with sufficient rear private open space which gains appropriate sunlight access during mid-winter.

Development Controls

1) A minimum 12 metre lot width is required for residential allotments with N to NE rear boundary alignment.

2) Lots with a NW, W, SW, S, SE or E alignment should be 15 metres wide at the front building alignment, in order to ensure satisfactory solar access opportunities into living rooms of future dwellings and rear private open space areas and to help prevent overshadowing of dwellings and private open space on adjoining lots.

3) A minimum 15 metre lot width may be required where Council determines on-street parking is required.

4) The minimum depth for a residential allotment should be at least 25 metres.

4.6.2.1 Control being varied and extent

- The site width for Lot B is irregular in shape with the majority of the site meeting the requirements, however, there is a shortfall at the front of the site.

4.6.2.2 Demonstrate how the objectives are met with the proposed variations

e) To ensure residential lots are designed to provide sufficient lot width and depth, to cater for a suitable range of dwelling styles having regard to any site constraints or environmental qualities of that land.

The site is over 700m in size with ample space for a single dwelling. The site meets the requirements a the building envelope but not for the overall site. The design takes regard for the site constrains and environmental qualities, with no part of the building encroaching into the environmental land.

Despite the minor shortfall in site dimensions over a portion of the site, the subject site remains suitable for the proposed development.

f) To ensure residential lots in low density residential areas provide sufficient site area to cater for detached dwelling-houses with sufficient rear private open space which gains appropriate sunlight access during mid-winter.

Lot B proposes a detached dwelling with sufficient site area to provide large rear private open space, and gains appropriate sunlight during mid winter.

Solar Access

Shadow diagrams have been provided as part of the architectural set, these outlines adequate solar access is achieved to each dwelling during the winter solstice. Solar access in private open space is also achieved between the hours of 9am and 3pm.

Open living and dining areas have been located and orientated to achieve maximum daily sunlight hours, which will assist to naturally heat the units in winter.

There is no loss of solar access on the surrounding dwellings due to the orientation of the site.

4.6.4 Variation to Wollongong Development Control Plan (2009) – Rear Setback

WDCP 2009 Chapter B1 4.1 Rear Setback

4.3.1.2 Chapter B1 Number of Storeys

4.1.1 Objectives

- a) To encourage buildings which integrate within the streetscape and the natural setting whilst maintaining the visual amenity of the area.*
- b) To minimise the potential for overlooking on adjacent dwellings and open space areas.*
- c) To ensure that development is sympathetic to and addresses site constraints.*
- d) To encourage split level stepped building solutions on steeply sloping sites.*
- e) To encourage a built form of dwellings that does not have negative impact on the visual amenity of the adjoining residences.*
- f) To ensure ancillary structures have appropriate scale and are not visually dominant compared to the dwelling.*
- g) To ensure appropriate correlation between the height and setbacks of ancillary structures.*
- h) To encourage positive solar access outcomes for dwellings and the associated private open spaces.*

4.1.2 Development Controls

4. In R2 Low Density Residential zones, where development occurs within the 8m rear setback the development is limited to single storey, so as to not adversely impact on the amenity of the adjoining property.

The extent of the proposed variation and the unique circumstances as to why the variation is requested;

The subject site has a rear setback of 4.89m for the second storey of unit 2 and 1.793m for the second storey of Unit 3.

The proposed development has been carefully designed to achieve compliance with private open space, visual amenity, build form, car parking and landscape requirements.

The encroachment into the rear setback for the upper storey will have minimal impacts, only small windows on the north east elevations.

There is only one bedroom window on the north/east elevation of unit 2.

There is only one frosted bathroom window on the north/ east elevation of unit 3.

The rear adjoining neighbouring property – 3 Parkman Place, is setback at a large distance from the rear boundary

The rear neighbouring property has existing vegetation along their rear boundary which acts as natural privacy screening. This screening is over 10m in height. The picture demonstrates the dense and height of the existing vegetation which demonstrates no privacy nuisances will occur.



Figure 12 Neighbouring property

Demonstrate that the development will not have additional adverse impacts as a result of the variation;

A variation is sought on the grounds that the development would satisfy the criteria identified within Section 4.1.2 comprising the following objectives:

a) To encourage buildings which integrate within the streetscape and the natural setting whilst maintaining the visual amenity of the area.

The proposed dwelling has been designed to be constructed from brick and cladding materials with colorbond roofing. These materials are in character with the character of the area which is in transition. The proposal would not impact on the rhythm of Welmont Pace, with the minor non compliance not visible from the street, Consequently, the reduced rear setback would not impact on visual amenity and streetscape. The reduced rear setback is not evident from the street.

b) To minimise the potential for overlooking on adjacent dwellings and open space areas.

Privacy would not be impacted further as a result of the reduced rear setback. The proposed dwellings have been designed to prevent privacy issues impacting on the neighbouring properties. Side windows have been limited, and these are small scale, high windows, to prevent any direct line of sight to the neighbouring property and still allow direct natural light and natural ventilation. Side setbacks comply with DCP standards.

c) To ensure that development is sympathetic to and addresses site constraints.

The development is sympathetic to and addresses the site constraints. The design has considered the slope and the shape of the site and proposes a dwelling with minimal impacts on the surrounding dwellings.

d) To encourage split level stepped building solutions on steeply sloping sites.

The design adequately addresses the slope of the site.

e) To encourage a built form of dwellings that does not have negative impact on the visual amenity of the adjoining residences.

The built form, through the use of appropriate materials and high architectural value is in keeping with the character of dwellings in the area. The building form has been designed to minimise the bulk and scale.

The proposed dwelling has been designed to be constructed from brick and cladding materials with colorbond roofing. These materials are in character with the character of the area which is in transition. The proposal would not impact on the rhythm of Welmont Place, with the setback proposed consistent with the adjacent dwellings. Consequently, the reduced rear setback would not impact on visual amenity and streetscape. The reduced rear setback on the first floor would not be evident from the street.

f) To ensure ancillary structures have appropriate scale and are not visually dominant compared to the dwelling.

No ancillary structures are proposed.

g) To ensure appropriate correlation between the height and setbacks of ancillary structures.

The side and front setbacks are compliant, with the rear setback short on the upper level only. This is considered reasonable to accommodate a dwelling with the irregular shape and the slope of the site. The height of the dwelling is compliant.

h) To encourage positive solar access outcomes for dwellings and the associated private open spaces.

The private open space to the rear of all dwellings are 4m wide by 6m long (24m²) and therefore satisfies the 24m² and 4m minimum dimension required. These POS for the rear dwelling is connected to the large gardens at the rear. The rear setback does not compromise compliance with the provision of private open space.

Solar diagrams have been included, and show a limited impact on the adjacent dwelling to the east and west, due to the site orientation. All surrounding dwellings adjacent continue to receive over 3 hours of solar access between 9am and 3pm on June 21.

The POS and living areas for both dwellings on the subject site have uninterrupted solar access in the afternoon ensuring that the solar access provisions are satisfied.

The reduced rear setback on the upper storey does not create any solar access issues.

Parking

The reduced setback on the first floor does not affect the parking provided. Two parking spaces have been proposed for each dwelling.

Landscaping

The landscaping proposed on the site exceeds the requirement. The generous landscaping creates large gardens and high levels of amenity for the future residents in a location close to the city centre.

ATTACHMENT 5 - Advice from Department of Planning and Environment-Water

Department of Planning and Environment



Contact: Department of Planning and Environment-Water
Phone: 1300081047
Email: waterlicensing.servicedesk@dpie.nsw.gov.au

Our ref: IDAS-2023-10598 (IDAS-2022-10551)
Your ref: DA-2022/858

24 October 2023

The General Manager
WOLLONGONG CITY COUNCIL
41 Burelli Street, Wollongong NSW 2500

Attention: Rodney Thew

Uploaded to the ePlanning Portal

Dear Sir/Madam

Re: IDAS-2023-10598 (IDAS-2022-10551) - EP&A cl.55 Submission of amended plans – General Terms of Approval
Dev Ref: DA-2022/858
Description: Demolition of existing dwelling. Proposed 4 units multi dwelling and 4 lot torrens title subdivision.
Location: Lot 11, DP239697, 7 WELMONT PLACE MOUNT KEIRA 2500

The Department of Planning and Environment-Water has reviewed the additional and/or amended documents for the integrated Development Application (DA) proposed for the above location and considers that, for the purposes of the Water Management Act 2000 (WM Act), previously issued General Terms of Approval are adequate, remain current, and no further assessment by this agency is necessary.

Should the proposed development be varied in any way that results in development extending onto land that is waterfront land, or encompassing works that are defined as controlled activities, then the Department of Planning and Environment-Water should be notified.

If you have any questions regarding this correspondence, please use Water Assist to obtain further information or make an enquiry:
<https://www.dpie.nsw.gov.au/water/water-assist>

Yours Sincerely

For
Patrick Pahlow
Team Leader
Licensing and Approvals
Department of Planning and Environment-Water

ATTACHMENT 6 - DRAFT CONDITIONS FOR: DA-2022/858

Consent has been granted subject to the following conditions:

The development proposed is Integrated Development and approval is required from the approval bodies listed below:

NSW Department of Planning and Environment-Water

Pursuant to Section 91A(2) – authorisation under of the Water Management Act 2000 –
Controlled Activity Approval issued by Department of Planning and Environment-Water dated
16 August 2023 as attached shall form part of this Notice of Determination.

Conditions imposed by Council as part of this Integrated Development Consent are:

1. Approved Plans and Supporting Documentation

Development must be carried out in accordance with the following approved plans and supporting documentation (stamped by Council), except where the conditions of this consent expressly require otherwise.

Plan No	Revision No	Plan Title	Drawn By	Dated
SH-01		Cover Page	Illawarra Drafting	6 September 2023
SH-02		Existing Site/Demolition Plan	Illawarra Drafting	6 September 2023
SH-03		Torrens Title Subdivision Plan	Illawarra Drafting	6 September 2023
SH-04		Combined Site Plan for LOT A & B	Illawarra Drafting	6 September 2023
SH-05		Strata title subdivision of dual occupancy on Lot A	Illawarra Drafting	6 September 2023
SH-06		Lot B Converted to Lot 3 with Location of Easement	Illawarra Drafting	6 September 2023
SH-07		U1 Ground Floor Plan	Illawarra Drafting	6 September 2023
SH-08		U1 First Floor Plan	Illawarra Drafting	6 September 2023
SH-09		U2 Ground Floor Plan	Illawarra Drafting	6 September 2023
SH-10		U2 First Floor Plan	Illawarra Drafting	6 September 2023
SH-11		U3 Ground Floor Plan	Illawarra Drafting	6 September 2023
SH-12		U3 First Floor Plan	Illawarra Drafting	6 September 2023
SH-13		Sections	Illawarra Drafting	6 September 2023
SH-14		Sections	Illawarra Drafting	6 September 2023
SH-15		U1 Elevations	Illawarra Drafting	6 September 2023

SH-16		U1 Elevations	Illawarra Drafting	6 September 2023
SH-17		U2 Elevations	Illawarra Drafting	6 September 2023
SH-18		U2 Elevations	Illawarra Drafting	6 September 2023
SH-19		U3 Elevations	Illawarra Drafting	6 September 2023
SH-20		U3 Elevations	Illawarra Drafting	6 September 2023
SH-22		U1 & U2 Roof Plan	Illawarra Drafting	6 September 2023
SH-23		U3 Roof Plan	Illawarra Drafting	6 September 2023
SH-25		BASIX Requirements	Illawarra Drafting	6 September 2023
SH-26		U3 BASIX Requirements	Illawarra Drafting	6 September 2023

In the event of any inconsistency between the approved plans and the supporting documentation, the approved plans prevail. In the event of any inconsistency between the approved plans and a condition of this consent, the condition prevails.

Note: an inconsistency occurs between an approved plan and supporting documentation or between an approved plan and a condition when it is not possible to comply with both at the relevant time.

General Conditions

2. Tree Removal

This consent permits the removal of trees numbered T5 Ficus benjamina as numbered and described in Arborist report prepared by Matthew Reed dated 13/5/22. No other trees shall be removed without prior written approval of Council.

Reason:

To identify trees to be removed

3. Phased Development

The development is to be undertaken in three (3) phases comprising the following:

Phase 1: Demolition of existing structures, tree removal and Subdivision – Torrens title – two (2) residential lots (Lots A and B);

Phase 2: Construction of dual occupancy dwellings on Lot A and single dwelling on Lot B; and

Phase 3: Subdivision – Strata title – two (2) residential lots (Lots 1 and 2) of Units 1 and 2.

A separate Construction Certificate or Subdivision Works Certificate may be applied for each phase with conditions as relevant to each phase to be met.

Reason:

To ensure orderly development of the site

4. Geotechnical

- All work is to be in accordance with the geotechnical recommendations contained in the report dated 9 June 2023 by Terra Insight and any subsequent geotechnical report required to address unanticipated conditions encountered during construction.
- A minimum buffer between the top of the creek bank and the proposed dwellings is to be confirmed by the geotechnical consultant.

- c. Where recommended by the geotechnical consultant, cut and fill slopes and existing non-engineered retaining walls are to be replaced with engineer designed retaining walls.
- d. Foundation systems are to be designed for Class P soils with all footings to be founded at least 2m in depth and within the underlying very stiff residual soil as recommended by the geotechnical consultant.
- e. All stormwater and wastewater are to be taken away from the building envelope by means as recommended by the geotechnical consultant. There is to be no in-ground absorption.
- f. Articulation jointing is to be provided in masonry construction as recommended by the geotechnical consultant.
- g. All excavations for foundations are to be inspected by the geotechnical consultant and certified that the ground has been suitably prepared for the placement of footings.

Reason:

To ensure compliance with the recommendations of the Geotechnical Report.

5. Compliance with the Building Code of Australia (BCA)

Building work must be carried out in accordance with the requirements of the BCA.

Reason:

To ensure the development is built in accordance with the Building Code of Australia.

6. Construction Certificate

A Construction Certificate must be obtained from Council or a Registered Certifier prior to work commencing.

A Construction Certificate certifies that the provisions of Part 3 of the Environmental Planning and Assessment (Development Certification and Fire Safety) Regulation 2021 have been satisfied, including compliance with all relevant conditions of Development Consent and the Building Code of Australia.

Note: The Certifier must cause notice of its determination to be given to the consent authority, and to the Council, by forwarding to it, within two (2) days after the date of the determination, the plans and documentation referred to in Section 13 of the Environmental Planning and Assessment (Development Certification and Fire Safety) Regulation 2021.

Reason:

To satisfy the requirements of the legislation.

7. Mailboxes

The developer must install mailboxes along street frontage of the property boundary in accordance with Australia Post Guidelines. Prominent house numbers are to be displayed, with a minimum number size of 150mm in height for each number and letter in the alphabet.

The mailboxes shall be individually keyed to avoid theft of documents/mail.

Reason:

To identify the property.

8. Occupation Certificate

An Occupation Certificate must be issued by the Principal Certifier prior to occupation or use of the development. In issuing an Occupation Certificate, the Principal Certifier must be satisfied that the requirements of Section 6.9 of the Environmental Planning and Assessment Act 1979, have been complied with as well as all of the conditions of the Development Consent.

Reason:

To satisfy the requirements of the legislation.

9. Development Contributions

In accordance with Section 4.17(1)(h) of the Environmental Planning and Assessment Act 1979 and the Wollongong City Wide Development Contributions Plan (2022), a monetary contribution of \$13,200.00 (subject to indexation) must be paid to Council towards the provision of public

amenities and services, prior to the release of any associated Subdivision Certificate for the Phase 1 two (2) lot Torrens title subdivision.

This amount has been calculated based on the proposed cost of development and the applicable percentage levy rate.

The contribution amount will be indexed quarterly until the date of payment using Consumer Price Index; All Groups, Sydney (CPI) based on the formula show in the Contributions Plan.

To request an invoice to pay the contribution amount go www.wollongong.nsw.gov/contributions and submit a contributions enquiry. The following will be required:

- Application number and property address.
- Name and address of who the invoice and receipt should be issue to.
- Email address where the invoice should be sent.

A copy of the Contributions Plan and accompanying information is available on Council's website www.wollongong.gov.au.

Reason:

To ensure the development contributes to the provision of local infrastructure, through the payment of development contributions

Before the Issue of a Construction Certificate

10. Final Landscape Plan Requirements

The submission of a final Landscape Plan to the Principal Certifier, prior to the release of the Construction Certificate. The final Landscape Plan shall address the following requirements:

- planting of indigenous plant species native to the Illawarra Region such as: Syzygium smithii (syn Acmena smithii) Lilly pilly, Archontophoenix cunninghamiana Bangalow palm, Backhousia myrtifolia Grey myrtle, Elaeocarpus reticulatus Blueberry ash, Glochidion ferdinandii Cheese tree, Livistona australis Cabbage palm tree, Syzygium paniculatum Brush cherry. A further list of suitable suggested species may be found in Wollongong Development Control Plan 2009 – Chapter E6: Landscaping;
- a schedule of proposed planting, including botanic name, common name, expected mature height and staking requirements as well as number of plants and pot sizes;
- the location of all proposed and existing overhead and underground service lines. The location of such service lines shall be clear of the dripline of existing and proposed trees; and
- any proposed hard surface under the canopy of existing trees shall be permeable and must be laid such that the finished surface levels match the existing level. Permeable paving is to be installed in accordance with the manufacturer's recommendations.

The completion of the landscaping works as per the final approved Landscape Plan is required, prior to the issue of Occupation Certificate.

Reason:

To provide a landscape plan to Council's Development Control Plan.

11. Certification for Landscape and Drainage

The submission of certification from a suitably qualified and experienced landscape designer and drainage consultant to the Principal Certifier prior to the release of the Construction Certificate, confirming that the landscape plan and the drainage plan are compatible.

Reason:

To provide certification for landscape and drainage

12. Tree Protection and Management

The existing trees are to be retained upon the subject property and any trees on adjoining properties shall not be impacted upon during the excavation or construction phases of the

development. This will require the installation and maintenance of appropriate tree protection measures, including (but not necessarily limited to) the following:

- a. Installation of Tree Protection Fencing - Protective fencing shall be 1.8 metre cyclone chainmesh fence, with posts and portable concrete footings. Details and location of protective fencing must be indicated on the architectural and engineering plans to be submitted to the Principal Certifier prior to release of the Construction Certificate.

Reason:

To provide protection to existing trees

13. Street Trees

The developer must address the street frontage by installing street tree planting. The number and species for this development is one (1) *Waterhousia floribunda* 200 litre container size, in accordance with AS 2303:2018: Tree stock for landscape use. Street trees are to be installed in accordance with Wollongong Development Control Plan 2009 – Chapter E6: Landscaping. 'Dial Before You Dig' must be consulted prior to any excavation on site. Pot holing must be carried out to determine service location. Tree pits must be adequately mulched, plants installed and staking installed to the satisfaction of WCC Manager of Works. Staking is to consist of minimum 3 x 2400 x 50 x 50mm hardwood stakes driven minimum 600mm into firm ground. Hessian webbing is to be utilised to secure plant stock to industry standard.

These requirements shall be reflected on the Construction Certificate plans and any supporting documentation.

Reason:

To provide street trees in accordance Council's Development Control Plan.

14. Demolition Management Plan

Before demolition work commences, a demolition management plan must be prepared by a suitably qualified person.

The demolition management plan must be prepared in accordance with Australian Standard 2601 – The Demolition of Structures, the Code of Practice – Demolition Work and Chapter E21: Demolition and Hazardous Building Materials Management of Wollongong Development Control Plan 2009 and must include the following matters:

- The proposed demolition methods
- The materials for and location of protective fencing and any hoardings to the perimeter of the site
- Details on the provision of safe access to and from the site during demolition work, including pedestrian and vehicular site access points and construction activity zones
- Details of construction traffic management, including proposed truck movements to and from the site, estimated frequency of those movements, and compliance with AS 1742.3 Traffic Control for Works on Roads and parking for vehicles
- Protective measures for trees on adjoining properties (including in accordance with AS 4970-2009 Protection of trees on development sites)
- Erosion and sediment control measures which are to be implemented during demolition and methods to prevent material being tracked off the site onto surrounding roadways
- Dust, noise and vibration control measures
- Details of the equipment that is to be used to carry out demolition work and the method of loading and unloading excavation and other machines
- Details of any bulk earthworks to be carried out
- Details of re-use and disposal of demolition waste material

- Location of any reusable demolition waste materials to be stored on-site (pending future use)
- Location and type of temporary toilets onsite
- A garbage container with a tight-fitting lid.

Reason:

To provide a demolition management plan to Council's Development Control Plan.

15. Construction site management plan

Before the issue of a construction certificate, the applicant must ensure a construction site management plan is prepared before it is provided to and approved by the certifier. The plan must include the following matters:

- location and materials for protective fencing and hoardings to the perimeter of the site
- provisions for public safety
- pedestrian and vehicular site access points and construction activity zones
- details of construction traffic management, including proposed truck movements to and from the site and estimated frequency of those movements, and measures to preserve pedestrian safety in the vicinity of the site
- protective measures for on-site tree preservation (including in accordance with AS 4970-2009 Protection of trees on development sites and Council's DCP, if applicable) and trees in adjoining public domain (if applicable)
- details of any bulk earthworks to be carried out
- location of site storage areas and sheds
- equipment used to carry out all works
- a garbage container with a tight-fitting lid
- dust, noise and vibration control measures
- location of temporary toilets.

The applicant must ensure a copy of the approved construction site management plan is kept on-site at all times during construction.

Reason:

To provide a construction site management plan to Council's Development Control Plan.

16. Erosion and Sediment Control Plan

Before the issue of a construction certificate, the applicant is to ensure that an erosion and sediment control plan is prepared in accordance with the following documents before it is provided to and approved by the certifier:

- Council's development control plan,
- the guidelines set out in the NSW Department of Housing manual 'Managing Urban Stormwater: Soils and Construction' (the Blue Book), and
- the 'Do it Right On-Site, Soil and Water Management for the Construction Industry' (Southern Sydney Regional Organisation of Councils and the Natural Heritage Trust).

The applicant must ensure the erosion and sediment control plan is kept on-site at all times during site works and construction.

Reason:

To comply with the legislation and Council's Development Control Plan.

17. Waste Management Plan

Before the issue of a construction certificate, the applicant is to ensure that a waste management plan is prepared in accordance with the EPA's Waste Classification Guidelines and Council's Waste Management Development Control Plan before it is provided to and approved by the certifier.

The applicant must ensure the waste management plan is referred to in the construction site management plan and kept on-site at all times during construction.

Reason:

To comply with the legislation and Council's Development Control Plan.

18. Car Parking and Access

The development shall make provision for a total of 6 parking spaces. This requirement shall be reflected on the Construction Certificate plans.

Reason:

To comply with Council's Development Control Plan.

19. Parking Dimensions

The parking dimensions, internal circulation, aisle widths, kerb splay corners, head clearance heights, ramp widths and grades of the car parking areas are to be in conformity with the current relevant Australian Standard AS 2890.1, except where amended by other conditions of this consent. Details of such compliance are to be reflected on the Construction Certificate plans.

Reason:

To comply with the legislation.

20. Depth and Location of Services

The depth and location of all services (ie gas, water, sewer, electricity, telephone, traffic lights, etc) must be ascertained and reflected on the Construction Certificate plans and supporting documentation.

Reason:

To comply with the legislation.

21. Engineering Plans and Specifications - Retaining Wall Structures Greater than One (1) Metre

The submission of engineering plans and supporting documentation of all proposed retaining walls greater than one (1) metre to the Principal Certifier for approval prior to the issue of the Construction Certificate. The retaining walls shall be designed by a suitably qualified and experienced civil and/or structural engineer. The required engineering plans and supporting documentation shall include the following:

- a. a plan of the wall showing location and proximity to property boundaries;
- b. an elevation of the wall showing ground levels, maximum height of the wall, materials to be used and details of the footing design and longitudinal steps that may be required along the length of the wall;
- c. details of fencing or handrails to be erected on top of the wall;
- d. sections of the wall showing wall and footing design, property boundaries, subsoil drainage and backfill material. Sections shall be provided at sufficient intervals to determine the impact of the wall on existing ground levels. The developer shall note that the retaining wall, subsoil drainage and footing structure must be contained wholly within the subject property;
- e. the proposed method of subsurface and surface drainage, including water disposal. This is to include subsoil drainage connections to an inter-allotment drainage line or junction pit that discharges to the appropriate receiving system;
- f. the assumed loading used by the engineer for the wall design; and

- g. flows from adjoining properties shall be accepted and catered for within the site. Finished ground and top of retaining wall levels on the boundary shall be no higher than the existing upslope adjacent ground levels.

Reason:

To comply with Council's Development Control Plan.

22. Stormwater Connection to Kerb

Connection across footways shall be by means of one or two (maximum), sewer grade UPVC pipe(s), 100mm diameter pipes with a continuous downslope gradient to the kerb. Connection to the kerb shall be made with a rectangular, hot dipped galvanised mild steel weephole(s) shaped to suit the kerb profile, with each weephole having the capacity equal to a 100mm diameter pipe. Alternatively, a maximum of two 150mm x 100mm hot dipped galvanised steel pipes may be used across footways, with the 150mm dimension being parallel to the road surface to suit the kerb profile.

Reason:

To comply with Council's Development Control Plan.

23. Sizing of Drainage

All roof gutters, downpipes, pits, and pipelines draining roof areas and other impervious surfaces with no deliberate overflow path to the on-site stormwater detention (OSD) facility, shall be designed to cater for a 1% AEP storm event in accordance with AS 3500.3: Plumbing and Drainage (Stormwater Drainage). Details of gutter/downpipe/pipeline sizes and locations shall be reflected on the Construction Certificate plans.

Reason:

To comply with Council's Development Control Plan.

24. Stormwater Drainage Design

A detailed drainage design for the development must be submitted to and approved by the Principal Certifier prior to the release of the Construction Certificate. The detailed drainage design must satisfy the following requirements:

- a. Be prepared by a suitably qualified Civil Engineer in accordance with Chapter E14 of Wollongong City Council's Development Control Plan 2009, Subdivision Policy, conditions listed under this consent, and generally in accordance with the concept plan/s lodged for development approval, Reference No 213536 issue E dated 05/09/2023 prepared by Landteam.
- b. Include details of the method of stormwater disposal. Stormwater from the development must be piped to the natural watercourse.
- c. Engineering plans and supporting calculations for the stormwater drainage system are to be prepared by a suitably qualified engineer and be designed to ensure that stormwater runoff from upstream properties is conveyed through the site without adverse impact on the development or adjoining properties. The plan must indicate the method of disposal of all stormwater and must include rainwater tanks, existing ground levels, finished surface levels on all paved areas, estimated flow rates, invert levels and sizes of all pipelines.
- d. Overflow paths shall be provided to allow for flows of water in excess of the capacity of the pipe/drainage system draining the land, as well as from any detention storage on the land. Blocked pipe situations with 1% AEP events shall be incorporated in the design. Overflow paths shall also be provided in low points and depressions. Each overflow path shall be designed to ensure no entry of surface water flows into any building and no concentration of surface water flows onto any adjoining property. Details of each overflow path shall be shown on the detailed drainage design.

Reason:

To comply with Council's Development Control Plan.

25. Flood Level Requirements

The following requirements shall be reflected on the Construction Certificate plans, prior to the release of the Construction Certificate:

- a. Habitable floor levels must be constructed at a minimum of RL 49.70 metres AHD for Units 1 and 2, and 49.25 metres AHD for Unit 3.
- b. Garage floor levels must be constructed at a minimum of RL 49.20 metres AHD for Unit 1 and 2, and 48.75 metres AHD for Unit 3 or 300mm above adjacent ground, whichever is greater.
- c. Any portion of the building or structure below RL 49.70 metres AHD for Units 1 and 2, and below RL 49.25 metres AHD for Unit 3 should be built from flood compatible materials. Where materials are proposed and not listed in Appendix B of Chapter E13 of the Wollongong DCP 2009, relevant documentation from the manufacturer shall be provided demonstrating that the materials satisfy the definition of 'flood compatible materials' as stated in Chapter E13 of the Wollongong DCP 2009.
- d. The proposed buildings shall be designed to withstand the forces of floodwater, debris and buoyancy up to and including the PMF plus freeboard being RL 49.90 metres AHD for Units 1 & 2, and RL 49.31m AHD for Unit 3.

Reason:

To comply with Council's Development Control Plan.

26. On-Site Stormwater Detention (OSD) Design

The developer must provide OSD storage for stormwater runoff from the development. The design and details of the OSD system must be provided in conjunction with the detailed drainage design and approved by the Principal Certifier prior to the release of the Construction Certificate. The OSD design and details must satisfy the following requirements:

- a. Must be prepared by a suitable qualified engineer in accordance with Chapter E14 of the Wollongong DCP 2009.
- b. Must include details of the Site Storage Requirement (SSR) and Permissible Site Discharge (PSD) values for the site in accordance with Section 10.2.4 of Chapter E14 of the Wollongong DCP 2009.
- c. The OSD facility must be designed to withstand the maximum loadings occurring from any combination of traffic (with consideration to residential and heavy vehicles), hydrostatic, earth, and buoyancy forces. Details must be provided demonstrating these requirements have been achieved.
- d. The OSD facility shall incorporate a minimum 900mm x 900mm square lockable grate for access and maintenance purposes, provision for safety, debris control screen, and a suitably graded invert to the outlet to prevent ponding.
- e. Must include discharge control calculations (i.e. orifice/weir calculations) generally in accordance with Section 10.2.6 and 10.4.4 of Chapter E14 of the Wollongong DCP 2009.
- f. Details of the orifice plate including diameter of orifice and method of fixing shall be provided.
- g. Must include details of a corrosion resistant identification plaque for location on or close to the OSD facility. The plaque shall include the following information and shall be installed prior to the issue of the Occupation/Subdivision Certificate:
 - i. The structure is an OSD facility, being part of the stormwater drainage network, and is not to be tampered with.
 - ii. Identification number [\[DA-2022/858\]](#).
 - iii. Any specialist maintenance requirements.

- h. Must include a maintenance schedule for the OSD system, generally in accordance with Chapter E14 of the Wollongong DCP 2009.

Reason:

To comply with Council's Development Control Plan.

27. Site Filling

Filling on the site being within the floodplain shall be restricted to within the proposed building footprint and ramped areas immediately adjacent to the garage only. No wholesale filling of the site within the floodplain is permitted. This requirement shall be reflected on the Construction Certificate plans.

Reason:

To comply with Council's Development Control Plan.

28. No Adverse Runoff Impacts on Adjoining Properties

The design of the development shall ensure there are no adverse effects to adjoining properties or upon the land as a result of flood or stormwater runoff.

Reason:

To protect neighbourhood amenity.

29. Property Addressing Policy Compliance

Prior to the issue of any Construction Certificate, the developer must ensure that any site addressing complies with Council's Property Addressing Policy (as amended). Where appropriate, the developer must also lodge a *General Property Addressing Request* through Online Services on Council's Website (<https://www.wollongong.nsw.gov.au/book-and-apply/online-services>), for the site addressing prior to the issue of the Construction Certificate. Please allow up to 5 business days for a reply. Enquiries regarding property addressing may be made by calling (02) 4227 8660.

Reason:

To comply with Council Policy.

30. Fire Hydrants

All lots must be adequately serviced by a fire hydrant. The fire hydrant must be provided in accordance with the Fire Hydrants for Minor Residential Development, Version 2 dated 1 September 2016 produced by NSW Fire & Rescue. The fire hydrant(s) must be shown on the Construction Certificate plans.

Reason:

To satisfy the requirements of the legislation.

31. Registration of Phase 1 Two (2) Lot Torrens Title Subdivision

The Construction Certificate for the Phase 2 construction of dual occupancy and single dwelling must not be issued until the Phase 1 two (2) lot Torrens title subdivision creating proposed Lots A and B as indicated on Drawing SH-03 dated 6 September 2023 prepared by Illawarra Drafting is first registered with NSW Land Registry Services.

Reason:

To comply with e Council's Development Control Plan

32. Present Plans to Sydney Water

Approved plans must be submitted online using Sydney Water Tap In, available through www.sydneywater.com.au to determine whether the development will affect Sydney Water's sewer and water mains, stormwater drains and/or easements, and if further requirements need to be met.

The Principal Certifier must ensure that Sydney Water has issued an approval receipt prior to the issue of a Construction Certificate.

Visit www.sydneywater.com.au or telephone 13 20 92 for further information.

Reason:

To satisfy the requirements of the legislation.

33. Utilities and Services

Before the issue of the relevant construction certificate, the applicant must submit the following written evidence of service provider requirements to the certifier:

- a. a letter of consent from Endeavour Energy demonstrating that satisfactory arrangements can be made for the installation and supply of electricity
- b. a response from Sydney Water as to whether the plans proposed to accompany the application for a construction certificate would affect any Sydney Water infrastructure, and whether further requirements need to be met.
- c. other relevant utilities or services - that the development as proposed to be carried out is satisfactory to those other service providers, or if it is not, what changes are required to make the development satisfactory to them.

Reason:

To ensure relevant utility and service providers' requirements are provided to the certifier.

34. Obscure Glazing for all Bathroom and WC Windows

The bathroom and WC windows for each dwelling in the development shall be frosted or opaque glass. This requirement shall be reflected on the Construction Certificate plans.

Reason:

To protect neighbourhood amenity.

35. Crime Prevention Through Environmental Design (CPTED) - Landscaping

In order to reduce the opportunities for "hiding places" the proposed landscaping must:

- a. use shrubs/plants which are no higher than one (1) metre adjacent to pathways.
- b. the type of trees proposed must have a sufficiently high canopy, when installed and fully grown, so that pedestrian vision is not impeded.
- c. Shrub planting to be set back minimum one (1) metre from the edge of the pathway. Groundcover planting acceptable.

This requirement shall be reflected on the Construction Certificate plans.

Reason:

To satisfy the requirements of Australian Standards.

36. Crime Prevention Through Environmental Design (CPTED) - Lighting

The proposed development shall incorporate 'low impact' lighting to ameliorate any light spillage and/or glare impacts upon surrounding properties in accordance with Council's CPTED principles. The final design details of the proposed lighting system shall be reflected on the Construction Certificate plans. The erection of the lighting system shall be in accordance with the approved final design.

Reason:

To protect neighbourhood amenity.

Before the Commencement of Building Work

37. Demolition Works

The demolition of the existing structures shall be carried out in accordance with Australian Standard AS 2601:2001: The Demolition of Structures or any other subsequent relevant Australian Standard and the requirements of SafeWork NSW.

No demolition materials shall be burnt or buried on-site. The person responsible for the demolition works shall ensure that all vehicles leaving the site carrying demolition materials have their loads covered and do not track soil or waste materials onto the road. Hazardous and/or intractable wastes shall be disposed of in accordance with the Hazardous Materials Survey and to the satisfaction of the Principal Certifier. In the event that the demolition works may involve the obstruction of any road reserve/footpath or other Council owned land, a separate application shall

be made to Council to enclose the public place with a hoarding or fence over the footpath or other Council owned land.

Reason:

To satisfy the requirements of the legislation.

38. Demolition Notification to Surrounding Residents

Demolition must not commence unless at least two (2) days written notice has been given to adjoining residents of the date on which demolition works will commence.

Reason:

To satisfy the requirements of the legislation.

39. Consultation with SafeWork NSW - Prior to Asbestos Removal

A licensed asbestos removalist must give written notice to SafeWork NSW at least five (5) days before licensed asbestos removal work is commenced.

Reason:

To satisfy the requirements of the legislation.

40. Contaminated Roof Dust

Any existing accumulations of dust in ceiling voids and wall cavities must be removed prior to any demolition work commencing. Removal must take place by the use of an industrial vacuum fitted with a high efficiency particulate air (HEPA) filter.

Reason:

To satisfy the requirements of the legislation.

41. Erosion and sediment controls in place

Before the commencement of any site or building work, the principal certifier must be satisfied the erosion and sediment controls in the erosion and sediment control plan, (as approved by the principal certifier) are in place until the site is rectified (at least 70% ground cover achieved over any bare ground on site).

Reason:

To satisfy the requirements of Council's Development Control Plan.

42. Hazardous Material Survey

At least one (1) week prior to demolition, the applicant must prepare a hazardous materials survey of the site and submit to Council a report of the results of the survey. Hazardous materials include, but are not limited to, asbestos materials, synthetic mineral fibre, roof dust, PCB materials and lead based paint. The report must include at least the following information:

- a. the location of hazardous materials throughout the site;
- b. a description of the hazardous material;
- c. the form in which the hazardous material is found, eg AC sheeting, transformers, contaminated soil, roof dust;
- d. an estimation (where possible) of the quantity of each particular hazardous material by volume, number, surface area or weight;
- e. a brief description of the method for removal, handling, on-site storage and transportation of the hazardous materials, and where appropriate, reference to relevant legislation, standards and guidelines;
- f. identification of the disposal sites to which the hazardous materials will be taken.

Reason:

To satisfy the requirements of the legislation.

43. Works in Road Reserve - Minor Works

Approval, under Section 138 of the Roads Act must be obtained from Wollongong City Council's Development Engineering Team prior to any works commencing or any proposed interruption to

pedestrian and/or vehicular traffic within the road reserve caused by the construction of this development.

The application form for Works within the Road Reserve – Section 138 Roads Act can be found on Council's website. The form outlines the requirements to be submitted with the application, to give approval to commence works under the Roads Act. It is advised that all applications are submitted and fees paid, five (5) days prior to the works within the road reserve are intended to commence. The Applicant is responsible for the restoration of all Council assets within the road reserve which are impacted by the works/occupation. Restoration must be in accordance with the following requirements:

- a. All restorations are at the cost of the Applicant and must be undertaken in accordance with Council's standard document, "Specification for work within Council's road reserve".
- b. Any existing damage within the immediate work area or caused as a result of the work/occupation, must also be restored with the final works.

Reason:

To satisfy the requirements of the legislation.

44. Appointment of Principal Certifier

Prior to commencement of work, the person having the benefit of the Development Consent and a Construction Certificate must:

- a. appoint a Principal Certifier and notify Council in writing of the appointment irrespective of whether Council or a Registered Certifier is appointed; and
- b. notify Council in writing of their intention to commence work (at least two [2] days' notice is required).

The Principal Certifier must determine when inspections and compliance certificates are required.

Reason:

To satisfy the requirements of the legislation.

45. Home Building Act Requirements

Residential building work within the meaning of the Home Building Act 1989 must not be carried out unless the Principal Certifier for the development to which the work relates (not being the Council) has given the Council written notice of the following information:

- a. In the case of work for which a principal contractor is required to be appointed:
 - i. the name and licence number of the principal contractor; and
 - ii. the name of the insurer by which the work is insured under Part 6 of that Act.
- b. In the case of work to be done by an owner-builder:
 - i. the name of the owner-builder; and
 - ii. if the owner-builder is required to hold an owner-builder permit under that Act, the number of the owner-builder permit.

If arrangements for doing the residential building work are changed while the work is in progress so that the information notified becomes out of date, further work must not be carried out unless the Principal Certifier for the development to which the work relates (not being the Council) has given the Council written notice of the updated information.

Reason:

To satisfy the requirements of the legislation.

46. Signs On Site

A sign must be erected in a prominent position on any site on which building work or demolition work is being carried out:

- a. showing the name, address and telephone number of the Principal Certifier for the work, and

- b. showing the name of the principal contractor (if any) for any building work and a telephone number on which that person may be contacted outside working hours, and
- c. stating that unauthorised entry to the worksite is prohibited.

Any such sign is to be maintained while the building work or demolition work is being carried out but must be removed when the work has been completed.

Note: This does not apply in relation to building work or demolition work that is carried out inside an existing building that does not affect the external walls of the building.

Reason:

To satisfy the requirements of the legislation.

47. Temporary Toilet/Closet Facilities

Toilet facilities are to be provided at or in the vicinity of the work site on which work involved in the erection or demolition of a building is being carried out at the rate of one toilet for every 20 persons or part of 20 persons employed at the site.

Each toilet provided must be:

- a. a standard flushing toilet, and
- b. connected to either:
 - i. the Sydney Water Corporation Ltd sewerage system or
 - ii. an accredited sewage management facility or
 - iii. an approved chemical closet.

The toilet facilities shall be provided on-site, prior to the commencement of any works.

Reason:

To satisfy the requirements of the legislation.

48. Structural Engineer's Details

Structural Engineer's details for all structurally designed building works such as reinforced concrete footings, reinforced concrete slabs and structural steelwork must be submitted to the Principal Certifier, prior to the commencement of any works on the site.

Reason:

To ensure structural integrity.

49. Enclosure of the Site

The site must be enclosed with a suitable security fence to prohibit unauthorised access, to be approved by the Principal Certifier. No building work is to commence until the fence is erected.

Reason:

To ensure safety.

50. Temporary Sediment Fences

Temporary sediment fences (eg haybales or geotextile fabric) must be installed on the site, prior to the commencement of any excavation, demolition or construction works in accordance with Council's guidelines. Upon completion of the development, sediment fencing is to remain until the site is grassed or alternatively, a two (2) metre strip of turf is provided along the perimeter of the site, particularly lower boundary areas.

Reason:

To protect neighbourhood amenity.

51. All-weather Access

An all-weather stabilised access point must be provided to the site to prevent sediment leaving the site as a result of vehicular movement. Vehicular movement should be limited to this single accessway.

Reason:

To protect neighbourhood amenity.

While Building Work is Being Carried Out

52. Provision of Taps/Irrigation System

The provision of common taps and/or an irrigation system is required to guarantee that all landscape works are adequately watered. The location of common taps and/or irrigation system must be implemented in accordance with the approved Landscape Plan.

Reason:

To guarantee landscaping is adequately watered.

53. Copy of Consent in the Possession of Person carrying out Tree Removal

The Developer/Applicant must ensure that any person carrying out tree removal is in possession of this development consent and/or the approved landscape plan, in respect to the tree(s) which has/have been given approval to be removed in accordance with this consent.

Reason:

To ensure consent has been provided for tree removal.

54. Hours of Work

The Principal Certifier must ensure that building work, demolition or vegetation removal is only carried out between:

- 7:00am to 5:00pm on Monday to Saturday

The Principal Certifier must ensure building work, demolition or vegetation removal is not carried out on Sundays and public holidays, except where there is an emergency.

Unless otherwise approved within a construction site management plan, construction vehicles, machinery, goods or materials must not be delivered to the site outside the approved hours of site works.

Any variation to the hours of work requires Council's approval.

Any request to vary the approved hours shall be submitted to the Council in writing detailing:

- a. The variation in hours required (length of duration);
- b. the reason for that variation (scope of works;
- c. the type of work and machinery to be used;
- d. method of neighbour notification;
- e. supervisor contact number; and
- f. any proposed measures required to mitigate the impacts of the works

Note: The developer is advised that other legislation may control the activities for which Council has granted consent, including but not limited to, the *Protection of the Environment Operations Act 1997*.

Reason:

To protect neighbourhood amenity.

55. Asbestos - Removal, Handling and Disposal Measures/Requirements Asbestos Removal by a Licensed Asbestos Removalist

The removal of any asbestos material must be carried out by a licensed asbestos removalist if over 10 square metres in area of non-friable asbestos, or if any type of friable asbestos in strict accordance with SafeWork NSW requirements (<https://www.safework.nsw.gov.au>).

Reason:

To satisfy the requirements of the legislation.

56. Asbestos Waste Collection, Transportation and Disposal

Asbestos waste must be prepared, contained, transported and disposed of in accordance with SafeWork NSW and NSW Environment Protection Authority requirements. Asbestos waste must only be disposed of at a landfill site that can lawfully receive this type of waste. A receipt must be retained and submitted to the Principal Certifier, and a copy submitted to Council (in the event that Council is not the Principal Certifier), prior to commencement of the construction works.

Reason:

To satisfy the requirements of the legislation.

57. Provision of Waste Receptacle

The developer must provide an adequate receptacle to store all waste generated by the development, pending disposal. The receptacle must be regularly emptied and waste must not be allowed to lie or accumulate on the property other than in the receptacle. Consideration should be given to the source separation of recyclable and re-usable materials.

Reason:

To satisfy the requirements of the legislation.

58. Implementation of the site management plans

While vegetation removal, demolition and/or building work is being carried out, the applicant must ensure the measures required by the approved construction site management plan and the erosion and sediment control plan are implemented at all times.

The applicant must ensure a copy of these approved plans is kept on site at all times and made available to Council officers upon request.

Reason:

To satisfy the requirements of the site management plan.

59. Waste management

While building work, demolition or vegetation removal is being carried out, the principal certifier must be satisfied all waste management is undertaken in accordance with the approved waste management plan.

Upon disposal of waste, the applicant is to compile and provide records of the disposal to the principal certifier, detailing the following:

- The contract details of the person(s) who removed the waste
- The waste carrier vehicle registration
- The date and time of waste collection
- A description of the waste (type of waste and estimated quantity) and whether the waste is expected to be reused, recycled or go to landfill
- The address of the disposal location(s) where the waste was taken
- The corresponding tip docket/receipt from the site(s) to which the waste is transferred, notifying date and time of delivery, description (type and quantity) of waste.

Note: If waste has been removed from the site under an EPA Resource Recovery Order or Exemption, the applicant is to maintain all records in relation to the Order or Exemption and provide the records to the principal certifier and Council.

Reason:

To satisfy the requirements of the legislation.

60. Synthetic Mineral Fibre Materials

All Synthetic Mineral Fibre containing materials must be removed in accordance with the National Standard for the Safe Use of Synthetic Mineral Fibres [National Occupational Health and Safety Commission:1004 (1990)] and the National Code of Practice for the Safe Use of Synthetic Mineral Fibres [National Occupational Health and Safety Commission:2006 (1990)].

Reason:

To satisfy the requirements of the legislation.

61. Spillage of Material

Should during construction any waste material or construction material be accidentally or otherwise spilled, tracked or placed on the road or footpath area without the prior approval of Council's Works Division this shall be removed immediately. Evidence that any approval to place material on the road or road reserve shall be available for inspection by Council officers on site at any time.

Reason:

To satisfy the requirements of the legislation.

62. Asbestos Clearance Certificate

An Asbestos Clearance Certificate to certify that the site area is free of asbestos is to be submitted to Council by a licensed asbestos assessor within fourteen (14) days of the completion of demolition works.

63. Lead Based Paint

To prevent contamination of the soil and human health risks associated with lead dust, safeguards must be used when removing flaking paint or sanding paint surfaces that are suspected to contain lead.

Reason:

To satisfy the requirements of the legislation.

64. Building Site to be Kept Free of Rubbish

The building site must be kept free of rubbish at all times. All refuse capable of being wind blown must be kept in a suitable waste container.

Reason:

To satisfy the requirements of the legislation.

65. Excess Excavated Material - Disposal

Excess excavated material shall be classified according to the NSW Environment Protection Authority's Waste Classification Guidelines – Part 1: Classifying Waste (2014) prior to being transported from the site and shall be disposed of only at a location that may lawfully receive that waste.

Reason:

To satisfy the requirements of the legislation.

66. PCB Containing Electrical Equipment

If any metal cased capacitors are found during demolition works that were previously identified or unidentified they shall be treated as containing Polychlorinated Biphenyls (PCBs). Details on storing, conveying and disposing of PCB material or PCB wastes can be found in Polychlorinated Biphenyls Management Plan, Environmental Protection & Heritage Council, Revised Edition April 2003.

Reason:

To satisfy the requirements of the legislation.

67. Survey Report for Floor Levels

A Survey Report must be submitted to the Principal Certifier verifying that each floor level accords with the floor levels as per the approved plans under this consent. The survey shall be undertaken after the formwork has been completed and prior to the pouring of concrete for each respective level of the building (if the building involves more than one level). All levels shall relate to Australian Height Datum.

Reason:

To ensure all parties are aware of the approved plans and supporting documentation.

68. Piping of Stormwater to Existing Stormwater Drainage System

Stormwater for the land must be piped to the [natural watercourse](#).

Reason:

To satisfy the requirements of Council's Development Control Plan.

69. No Adverse Run-off Impacts on Adjoining Properties

The design and construction of the development shall ensure there are no adverse effects to adjoining properties, as a result of flood or stormwater run-off. Attention must be paid to ensure adequate protection for buildings against the ingress of surface run-off.

Allowance must be made for surface run-off from adjoining properties. Any redirection or treatment of that run-off must not adversely affect any other property.

Reason:

To comply with Council's Development Control Plan.

70. Fences

Any new fences constructed on the site and located in the flood plain shall be of a type that will not obstruct the free flow of floodwaters and not cause damage to surrounding land in the event of a flood.

Reason:

To comply with Council's Development Control Plan.

71. Excavation/Filling/Retaining Wall Structures

Any proposed filling on the site must not:

- a. Encroach onto the adjoining properties, and
- b. adversely affect the adjoining properties with surface run-off.

Reason:

To ensure ongoing protection of the environment and neighbourhood amenity.

72. Cut and Fill Retained

All proposed cut and filling works must be adequately retained with all battered slopes being no steeper than 2H:1V.

Reason:

To ensure ongoing protection of the environment and neighbourhood amenity.

73. Excavation Protection and Notification

If an excavation associated with the erection or demolition of a building extends below the level of the base of the footings of a building on adjoining allotment of land, the person causing the excavation to be made:

- a. Must preserve and protect the adjoining building from damage; and
- b. if necessary, must underpin and support the building in an approved manner; and
- c. must, at least seven (7) days before excavation below the level of the base of the footings of a building on an adjoining allotment of land, give notice of intention to do so to the owner of the adjoining allotment of land and furnish particulars of the excavation.

Reason:

To ensure compliance with relevant Standards.

74. Implementation of BASIX commitments

While building work is being carried out, the applicant must undertake the development strictly in accordance with the commitments listed in the BASIX certificate(s) approved by this consent, for the development to which the consent applies.

Reason:

To satisfy the requirements of the legislation.

75. Loading/Unloading Operations/Activities

All loading/unloading operations during building works are to take place at all times wholly within the confines of the site or within the road reserve under an approved traffic control plan.

Reason:

To comply with legislation and Australian Standards.

Before the Issue of an Occupation Certificate – Phase 2

76. Compensatory Planting

The developer must make compensatory provision for the trees required to be removed as a result of the development. In this regard, three (3) 100 litre container mature plant stock shall be placed in an appropriate locations within the property boundary of the site. The suggested species are *Tristanopsis laurina*.

Reason:

To satisfy the requirements of Council's Development Control Plan.

77. Removal of waste upon completion

Before the issue of an occupation certificate, the principal certifier must ensure all refuse, spoil and material unsuitable for use on-site is removed from the site and disposed of in accordance with the approved waste management plan. Written evidence of the removal just be supplied to the satisfaction of the principal certifier.

Before the issue of a partial occupation certificate, the applicant must ensure the temporary storage of any waste is carried out in accordance with the approved waste management plan to the principal certifier's satisfaction.

Reason:

To satisfy the requirements of Council's Development Control Plan.

78. Drainage

The developer must obtain a certificate of Hydraulic Compliance (using Council's M19 form) from a suitably qualified civil engineer, to confirm that all stormwater drainage and on-site detention works have been constructed in accordance with the approved plans. In addition, full works-as-executed plans, prepared and signed by a Registered Surveyor must be submitted. These plans and certification must satisfy all the stormwater requirements stated in Chapter E14 of the Wollongong DCP 2009. This information must be submitted to the Principal Certifier prior to the issue of the final Occupation Certificate.

Reason:

To comply with Council's Development Control Plan.

79. Restriction on Use - On-Site Detention System (OSD)

The applicant must create a restriction on use under the Conveyancing Act 1919 over the OSD system. The following terms must be included in an appropriate instrument created under the Conveyancing Act 1919 for approval of Council:

"The registered proprietor of the lot burdened must not make or permit or suffer the making of any alterations to any on-site detention system on the lot(s) burdened without the prior consent in writing of the authority benefited. The expression 'on-site detention system' shall include all ancillary gutters, pipes, drains, walls, kerbs, pits, grates, tanks, chambers, basins and surfaces designed to temporarily detain stormwater as well as all surfaces graded to direct stormwater to those structures.

Name of the authority having the power to release, vary or modify the restriction referred to is Wollongong City Council."

The instrument, showing the restriction, must be submitted to the Principal Certifier for endorsement prior to the issue of the Occupation Certificate and the use of the development.

Reason:

To comply with Council's Development Control Plan.

80. Retaining Wall Certification

The submission of a certificate from a suitably qualified and experienced structural engineer or civil engineer to the Principal Certifier is required, prior to the issue of the Occupation Certificate or commencement of the use. This certification is required to verify the structural adequacy of the

retaining walls and that the retaining walls have been constructed in accordance with plans approved by the Principal Certifier.

Reason:

To comply with the relevant Standards.

81. Positive Covenant - On-Site Detention Maintenance Schedule

A positive covenant shall be created under the Conveyancing Act 1919, requiring the property owner(s) to undertake maintenance in accordance with the Construction Certificate approved On-Site Detention System and Maintenance Schedule (DA-2022/858).

The instrument, showing the positive covenant must be submitted to the Principal Certifier for endorsement prior to the issue of the Occupation Certificate and the use of the development.

Reason:

To comply with Council's Development Control Plan.

82. On-Site Detention - Structural Certification

The submission of a certificate from a suitably qualified practising civil and/or structural engineer to the Principal Certifier is required prior to the issue of the Occupation Certificate. This certification is required to verify the structural adequacy of the on-site detention facility and that the facility has been constructed in accordance with the approved Construction Certificate plans.

Reason:

To comply with Council's Development Control Plan.

83. Structural Soundness Certification

The submission of a report from a suitably qualified and experienced structural engineer to the Principal Certifier is required, prior to the issue of the Occupation Certificate and commencement of use. This report is required to verify that the development can withstand the forces of floodwater, debris and buoyancy up to and including the PMF plus freeboard being RL 49.90 metres AHD or greater for Units 1 and 2, and up to including the PMF plus freeboard being RL 49.31 metres AHD or greater for Unit 3.

Reason:

To satisfy the requirements of Council's Development Control Plan.

84. Section 73 Certificate

A Section 73 Certificate must be submitted to the Principal Certifier prior to occupation of the development/release of the plan of subdivision.

Reason:

To satisfy the requirements of the legislation.

85. Occupation Certificate

An Occupation Certificate must be issued by the Principal Certifier prior to occupation or use of the development. In issuing an Occupation Certificate, the Principal Certifier must be satisfied that the requirements of section 6.9 of the Environmental Planning and Assessment Act 1979, have been complied with as well as all of the conditions of the Development Consent.

Reason:

To satisfy the requirements of the legislation.

86. BASIX

An Occupation Certificate must not be issued unless accompanied by the BASIX Certificate applicable to the development. The Principal Certifier must not issue the Occupation Certificate unless satisfied that selected commitments have been complied with as specified in the relevant BASIX Certificate.

NOTE: Clause 44 of the Environmental Planning and Assessment (Development Certification and Fire Safety) Regulation 2021 provides for independent verification of compliance in relation to certain BASIX commitments.

Reason:

To satisfy the requirements of the legislation.

87. Completion of landscape and tree works

Before the issue of an Occupation Certificate, the Principal Certifier must be satisfied that all landscape and tree works, including pruning in accordance with *AS 4373-2007 Pruning of amenity trees* and the removal of all noxious weed species, have been completed in accordance with the approved plans and any relevant conditions of this consent.

Reason:

To ensure the approved landscaping works have been completed in accordance with the approved landscaping plan(s).

Before the Issue of a Subdivision Certificate – Phase 1 and 3

88. Existing Easements

All existing easements must be acknowledged on the final subdivision plan.

Reason:

To comply with Council's Development Control Plan.

89. Existing Restriction as to Use

All existing restriction on the use of land must be acknowledged on the final subdivision plan.

Reason:

To comply with Council's Development Control Plan.

90. Encroaching Pipes

A minimum one (1) metre wide easement to drain water shall be created over any encroaching drainage pipes.

For all drainage easements proposed over the subject lots, a Works-As-Executed/survey plan of all stormwater drainage within the site is to be submitted with the Subdivision Certificate Application to confirm this.

Reason:

To comply with Council's Development Control Plan.

91. Encroaching Services

A minimum one (1) metre wide easement for services must be created over any encroaching utility service.

Reason:

To comply with Council's Development Control Plan.

92. Section 88B Instrument

The submission of a Final Section 88B Instrument to Council/Principal Certifier, which incorporates (but is not necessarily limited to) the following restrictions, easements and covenants, where applicable:

- a. easement for services;
- b. easement for drainage;
- c. drainage easement over overflow paths;
- d. rights of access;

93. 88B Instrument Easements/Restrictions

Any easements or restrictions required by this consent must nominate Wollongong City Council as the authority to vary, modify or release/extinguish the easements or restrictions. The form of the easement(s) or restriction(s) created as a result of this consent must be in accordance with the standard format for easements and restrictions as accepted by NSW Land Registry Services.

Reason:

To satisfy the requirements of the legislation.

94. Final Documentation Required Prior to Issue of Subdivision Certificate

The submission of the following information/documentation to the Principal Certifier, prior to the issue of a Subdivision Certificate:

- a. Completed Subdivision Certificate application form and fees in accordance with Council's fees and charges;
- b. Certificate of Practical completion from Wollongong City Council or a Principal Certifier (if applicable);
- c. Administration sheet prepared by a registered surveyor;
- d. Section 88B Instrument covering all necessary easements and restrictions on the use of any lot within the subdivision;
- e. Final plan of subdivision prepared by a registered surveyor;
- f. Original Subdivider/Developer Compliance Certificate pursuant to Section 73 of the Water Board (Corporatisation) Act 1994 from Sydney Water;
- g. Original Notification of Arrangement from an Endeavour Energy regarding the supply of underground electricity to the proposed allotments;
- h. Original Compliance Certificate from Telstra or another Telecommunications Service Provider which confirms that the developer has consulted with the Provider with regard to the provision of telecommunication services for the development;
- i. Payment of Development Contribution fees (Pro rata) (if applicable).

Reason:

To satisfy the requirements of the legislation.

Reasons

The reasons for the imposition of the conditions are:

1. To minimise any likely adverse environmental impact of the proposed development.
2. To ensure the protection of the amenity and character of land adjoining and in the locality.
3. To ensure the proposed development complies with the provisions of Environmental Planning Instruments and Council's Codes and Policies.
4. To ensure the development does not conflict with the public interest.

Department of Planning and Environment



Contact: Department of Planning and Environment-Water
Phone: 1300081047
Email: waterlicensing.servicedesk@dpie.nsw.gov.au

Our ref: IDAS-2023-10598 (IDAS-2022-10551)
Your ref: DA-2022/858

24 October 2023

The General Manager
WOLLONGONG CITY COUNCIL
41 Burrelli Street, Wollongong NSW 2500

Attention: Rodney Thew

Uploaded to the ePlanning Portal

Dear Sir/Madam

Re: IDAS-2023-10598 (IDAS-2022-10551) - EP&A c1.55 Submission of amended plans – General Terms of Approval
Dev Ref: DA-2022/858
Description: Demolition of existing dwelling. Proposed 4 units multi dwelling and 4 lot torrens title subdivision.
Location: Lot 11, DP239697, 7 WELMONT PLACE MOUNT KEIRA 2500

The Department of Planning and Environment-Water has reviewed the additional and/or amended documents for the integrated Development Application (DA) proposed for the above location and considers that, for the purposes of the Water Management Act 2000 (WM Act), previously issued General Terms of Approval are adequate, remain current, and no further assessment by this agency is necessary.

Should the proposed development be varied in any way that results in development extending onto land that is waterfront land, or encompassing works that are defined as controlled activities, then the Department of Planning and Environment-Water should be notified.

If you have any questions regarding this correspondence, please use Water Assist to obtain further information or make an enquiry:
<https://www.dpie.nsw.gov.au/water/water-assist>

Yours Sincerely

For
Patrick Pahlow
Team Leader
Licensing and Approvals
Department of Planning and Environment-Water



General Terms of Approval

for proposed development requiring approval under s89,
90 or 91 of the Water Management Act 2000

Reference Number:	IDAS-2022-10551
Issue date of GTA:	16 August 2023
Type of Approval:	Controlled Activity
Location of work/activity:	7 WELMONT PLACE MOUNT KEIRA 2500
Waterfront Land:	
DA Number:	DA-2022/858
LGA:	WOLLONGONG CITY COUNCIL

The GTA issued by Department of Planning and Environment—Water do not constitute an approval under the *Water Management Act 2000*. The development consent holder must apply to the Department of Planning and Environment—Water for the relevant approval **after** development consent has been issued by Council and **before** the commencement of any work or activity.

Condition Number	Details
TC-G001	Before commencing any proposed controlled activity on waterfront land, an application must be submitted to Department of Planning and Environment—Water, and obtained, for a controlled activity approval under the Water Management Act 2000.
TC-G002	<p>A. This General Terms of Approval (GTA) only applies to the proposed controlled activity described in the plans and associated documents relating to Development Application DA-2022/858 provided by Council to Department of Planning and Environment—Water.</p> <p>B. Any amendments or modifications to the proposed controlled activity may render the GTA invalid. If the proposed controlled activity is amended or modified, Department of Planning and Environment—Water, must be notified in writing to determine if any variations to the GTA will be required.</p>
TC-G003	<p>A. The application for a controlled activity approval must include the following plan(s): Stormwater Outlet Design Plan.</p> <p>B. The plan(s) must be prepared in accordance with Department of Planning and Environment—Water's guidelines located on the website https://www.dpie.nsw.gov.au/water/licensing-and-trade/approvals/controlled-activity-approvals/what-guidelines</p>