WLPP No.	Item No. 1
DA No.	DA-2020/1255
Proposal	Demolition of existing structures and construction of mixed use development (shop top housing)
Property	63-73 Princes Highway, DAPTO NSW 2530
Applicant	MMJ Wollongong
Responsible Team	Development Assessment & Certification – City Wide Planning Team (RT)

ASSESSMENT REPORT AND RECOMMENDATION

Executive Summary

Reason for consideration by Wollongong Local Planning Panel (WLPP)

The proposal has been referred to the WLPP **for determination** pursuant to part 4(b) of Schedule 2 of the Local Planning Panels Direction, as State Environmental Planning Policy No 65 – Design Quality of Residential Apartment applies to the development and the development as proposed is 8 storeys in height.

Proposal

The proposal seeks consent for the following:

- Demolition of existing structures; and
- Construction of a mixed use development (shop top housing).

Permissibility

The subject site is zoned B3 Commercial Core pursuant to Wollongong Local Environmental Plan (WLEP) 2009. Shop top housing development is permissible with consent in the B3 zone. Demolition and tree removal are ancillary works to facilitate the proposal and as such is also permissible.

Consultation

Details of the proposal were publicly exhibited in accordance with Council's adopted Community Participation Plan 2019. One (1) submission of support and one (1) objection was received. The issues identified are discussed at section 1.5 of this report

Internal

Details of the proposal were referred to Council's Geotechnical, Stormwater, Landscape, Traffic, Environment, Strategic and Heritage Officers for assessment. Satisfactory referral advice, comments and/or recommended conditions were provided in each instance. Assessment considerations of internal groups as relates to relevant Chapters of the WDCP 2009 are presented at section 2.3.1 of this report.

Main Issues

The main issues resulting from the assessment process are:-

- Variation requests regarding the following development controls of Chapter B3 of WDCP2009:
  - Clause 4.20.2(2) Natural Ventilation;
- Variation requests regarding the following development controls of Chapter B4 of WDCP2009:
  - Clause 9.2.1(4) Floor Configuration;

- Variation requests regarding the following development controls of the Apartment Design Guide (ADG):
    - 3D Communal and public open space;
    - 3E Deep Soil Zone;
    - 3F Visual Privacy

RECOMMENDATION

DA-2020/1255 be approved subject to the conditions provided in **Attachment 9**.

1.0 APPLICATION OVERVIEW

1.1 PLANNING CONTROLS

The following planning controls apply to the proposal:

State Environmental Planning Policies:

- SEPP No. 55 – Remediation of Land
- SEPP 65 Design Quality of Residential Apartment Development
- SEPP (Infrastructure) 2007
- SEPP (Building Sustainability Index: BASIX) 2004
- SEPP (Koala Habitat Protection) 2020

Local Environmental Planning Policies:

- Wollongong Local Environmental Plan (WLEP) 2009

Development Control Plans:

- Wollongong Development Control Plan (WDCP) 2009

Other policies

- Wollongong City Wide Development Contributions Plan 2020
- Wollongong Community Participation Plan 2019
- Apartment Design Guide
- Dapto Town Centre Plan

1.2 DETAILED DESCRIPTION OF PROPOSAL

The application proposes the following:

- Demolition of existing structures and tree removal;
- Construction of a mixed use development (shop top housing) comprising
    - Two (2) levels of basement parking;
    - Ground floor - two retail spaces addressing the Princes Highway, service rooms, bathrooms and eight (8) retail parking spaces;
    - First floor – two (2) commercial spaces addressing the Princes Highway and two (2) residential units addressing Dapto Square Lane;
    - Levels 3 to 5 - Five (5) residential units, three (3) addressing the Princes Highway and two (2) addressing Dapto Square Lane;
    - Levels 6 to 8 - Five (5) residential units, three (3) addressing the Princes Highway and two (2) addressing Dapto Square Lane; and
    - Roof top terrace – Communal open space and landscaped area.

1.3 BACKGROUND

The development history of the site is as follows:

Application Number	Description	Decision	Decision Date
BA-1957/1660	Additions To Shop	Approved	29-Jan-1958
BA-1961/2519	Shop Extensions	Approved	06-Dec-1961
BA-1961/2749	Toilets, Laundry & Tool Shed	Approved	20-Dec-1961
BA-1961/2688	Shop	Approved	20-Dec-1961
BA-1962/1954	2 Storey Banking Premises (Rec 25)	Approved	05-Sep-1962
BA-1963/940	Carport	Approved	20-May-1963
BA-1965/777	Shop Front	Approved	03-May-1965
DA-1969/224	Printing Office	Approved	22-Jul-1969
BA-1972/1112	Alterations	Approved	19-May-1972
BA-1974/1350	Renovation Of Shop Front	Approved	14-Jun-1974
BA-1975/949	Alterations To Shop	Approved	08-May-1975
DA-1975/241	Dental Surgery	Approved	14-Aug-1975
BA-1975/2303	Conversion Of Shop To Bank Premises	Approved	06-Nov-1975
BA-1977/1421	Waiting Room	Approved	02-Aug-1977
DA-1981/48	Illuminated Projecting Wall Sign	Approved	04-Mar-1981
DA-1981/608	New Shop Front	Approved	23-Jun-1981
BA-1981/1840	Shopfront alterations	Approved	06-Jul-1981
DE-2020/31 (Voluntary DRP)	Demolition of existing structures and construction of a mixed use shop top housing development	Completed	22-May-2020
DA-2020/1255	Demolition of existing structures and construction of mixed use development (shop top housing)	Current Application	

Design Review Panel (DRP) meetings

The proposed development was the subject of a voluntary DRP review on the 11 May 2020 prior to lodgement.

DA-2020/1255 was reviewed by the DRP 30 November 2020. Following submission of amended plans and documentation the application was again reviewed by the DRP on 21 June 2021 with satisfactory outcomes achieved.

Customer service actions:

There are no outstanding customer service requests of relevance to the properties.

1.4 SITE DESCRIPTION

The site is located at 63-73 Princes Highway, DAPTO and the title reference is Lot B DP 421554, Lot C DP 421554 and Lot 22 DP 535273.

Situated on the land are three attached interwar brick buildings one and two storeys in height with awnings across the footpath, reflective of the existing fine grain historic subdivision pattern along the Princes Highway. The buildings are utilised as a mix of commercial uses.

The site consists of three (3) separate allotments with a combined width of 30m and an overall site area of 1473m². The site has a slight slope to the front of the block.

The street scene on the Princes Highway in the immediate vicinity is characterised predominantly by one and two storey commercial premises with a nil setback along the street boundary.

Dapto Square Lane at the rear of the site contains the main pedestrian thoroughfare to Dapto Shopping Mall from Dapto Square, the Princes Highway and Dapto Railway Station to the east.

To the north east of the site are two storey buildings containing commercial premises and Dapto Square (Byamee Street), to the south east and south west is Dapto Shopping Mall, to the west on the opposite side of the Princes Highway is a medical centre and the former Fairley's building (local heritage item) and to the north west on the opposite side of the Princes Highway is Dapto Hotel (local heritage item).

Figure 1: Aerial photograph (2018)

Property constraints

- Acid sulphate soils class 5;
- WLEP 2009 Heritage Items 61021 (Fairleys Building) and 61022 (Dapto Hotel) directly opposite site.

There are no restrictions on the title.

1.5 SUBMISSIONS

Details of the proposal were publicly exhibited in accordance with Council's adopted Community Participation Plan 2019. One (1) submission of support and one (1) objection was received. The main issues identified within the submission are discussed below.

Table 1: Submissions

Concern	Comment
1. Potential Impacts from animal noise emanating from the adjoining Veterinary Hospital on proposed residential development	Consideration was given to impacts of noise on the residential component of the proposed development. Details of the application submission were referred to Council's Environment Officer for comment. Council's Environment Officer. Council's Environment Officer raised concerns with regard to noise and the applicant was requested to provide an Acoustic Report. An acoustic report with recommendations regarding building construction elements to reduce the noise levels, windows and doors glazing specifications including mechanical ventilation was provided by the applicant resolving concerns raised. Conditions 13 and 58 included at **Attachment 9** accounts for compliance with the recommendations of the Acoustic report such that noise levels do not exceed permitted levels.
2. Residential development is not in keeping with the objectives of the B3 zone	The subject site is zoned B3 Commercial Core. Under Wollongong Local Environmental Plan 2009 Land Use Table Shop top housing is listed as a permitted land use in the B3 zone. The proposed development is considered to satisfy the objectives of the zone and in keeping with the future desired character of the area. The proposed development satisfies Council's Floor Space Ratio and Building Height development standards as identified in the Wollongong Local Environmental Plan 2009, and overall the bulk and scale of the proposed development is considered to be consistent with the desired future character of the Dapto Town Centre as identified through the development standards and controls applicable to the land. A similar mixed use development has been determined by the WLPP adjacent to the Dapto Hotel site.

Table 1: Frequency of concerns raised in submissions

Concern	**1**	**2**
Total	*1*	*1*

1.6 CONSULTATION

1.6.1 INTERNAL CONSULTATION

Geotechnical Engineer

Council's Geotechnical Officer has assessed the application submission and provided conditionally satisfactory advice.

Stormwater Officer

Council's Stormwater Officer has assessed the application submission and provided conditionally satisfactory advice.

Landscape Officer

Council's Landscape Officer has assessed the application submission and provided conditionally satisfactory advice.

Environment Officer

Council's Environment Officer has assessed the application submission and provided conditionally satisfactory advice.

It is noted that particular consideration was given to the impacts from noise on the residential component of the proposed development. Initial concerns were raised regarding potential adverse impacts of noise on the residential development and an acoustic report was requested. An acoustic report with recommendations regarding building construction elements to reduce the noise levels, windows and doors glazing specifications including mechanical ventilation was provided by the applicant resolving concerns raised.

Conditions are included at **Attachment 9** specifying implementation of the recommendations of the acoustic report and an acoustic compliance report prior to the issue of an occupation certificate.

Traffic Engineer

Council's Traffic Officer has assessed the application submission and provided conditionally satisfactory advice.

Heritage Officer

Council's Heritage Officer has assessed the application submission and provided conditionally satisfactory advice.

Initial concerns were raised regarding the articulation of the shopfronts and façade. Amended plans were provided that break down the façade into three distinct elements to reflect the original subdivision pattern and interpret the existing interwar buildings by the applicant that resolves these concerns and the proposal is now considered conditionally satisfactory.

1.6.2 EXTERNAL CONSULTATION

Design Review Panel (DRP) (*Post-lodgement)*

The proposal was formally reviewed by the Panel on 30 November 2020. There were a number of design amendments recommended by the DRP at the time which were included in amended plans later submitted by the applicant. The proposal was again reviewed by the DRP on 21 June 2021 where some further amendments were recommended. The project was supported by the Panel subject to these amendments being made. Amended plans were again provided which now address the outstanding matters raised by the Panel and the proposal is now considered satisfactory. Final DRP notes are provided at **Attachment 7**.

2 ENVIRONMENTAL PLANNING AND ASSESSMENT ACT 1979 – 4.15 EVALUATION

2.1 SECTION 4.15(1)(A)(1) ANY ENVIRONMENTAL PLANNING INSTRUMENT

2.1.1 STATE ENVIRONMENTAL PLANNING POLICY NO. 55 – REMEDIATION OF LAND

7 Contamination and remediation to be considered in determining development application

(1) A consent authority must not consent to the carrying out of any development on land unless:

(a) it has considered whether the land is contaminated, and

(b) if the land is contaminated, it is satisfied that the land is suitable in its contaminated state (or will be suitable, after remediation) for the purpose for which the development is proposed to be carried out, and

(c) if the land requires remediation to be made suitable for the purpose for which the development is proposed to be carried out, it is satisfied that the land will be remediated before the land is used for that purpose.

A Preliminary Site Investigation prepared by Douglass Partners dated October 2020 was submitted and reviewed by Council's Environmental Officer.

The report has identified three Potential Areas of Environmental Concern (PAECs) and they are:

- Filling to have occurred during the development of the site beneath the existing buildings, car park and adjacent areas;
- Several structures/objects were observed on the aerials, which potentially contain hazardous building materials. Some of the structures have since been demolished or have degraded; and
- A review of a historical development application from 1969, indicated that a printing office may have been operating in an existing building in the south eastern corner of the site.

In accordance with Clause 7(2) Council's Environmental Officer has reviewed the history of the site in conjunction with these documents. Advice received is that the proposal is considered acceptable subject to conditions. Council's Environment Officer noted that the proposed development includes two levels of basement car parking across most of the site, Douglas Partners Consulting considered that any soils impacted by residual contamination that may be present associated with the former land uses, will be excavated and removed from site as part of the proposed development.

Based on PSI the report considered that the site can be rendered suitable for the proposed mixed use development on the understanding that the proposed basement excavation will remove the top 7 to 8 m of material across most of the site including the area surrounding the former location of the printing office

The site is therefore considered that the site can be made suitable for the proposed development and consistent with the assessment considerations of SEPP 55. See **Attachment 8** as relates to the environmental consultants address to clause 7 matters.

2.1.2 STATE ENVIRONMENTAL PLANNING POLICY NO.65 - DESIGN QUALITY OF RESIDENTIAL APARTMENT DEVELOPMENT

This policy applies as the development is for a shop top housing with a residential accommodation component more than 3 storeys and more than 4 dwellings.

The development is subject to the provisions of SEPP 65 and the Apartment Design Guide (ADG).

The application was accompanied by a statement by a qualified designer in accordance with Clauses 50(1A) & 50(1AB) of the Environmental Planning and Environment Regulation 2000. Clause 28 provides that the application must be referred to the relevant design review panel (if any) for advice concerning the design quality of the development while Clause 28(2) provides that a consent authority is to take into consideration (in addition to any other matters that are required to be, or may be, taken into consideration):-

(1) the advice (if any) obtained from the design review panel, and (b) the design quality of the development when evaluated in accordance with the design quality principles, and

(2) the design quality of the development when evaluated in accordance with the design quality principles, and

(3) the Apartment Design Guide

Design Review Panel

The proposal has been reviewed by a Design Review Panel in accordance with clause 28. See **Attachment 7.**

Design quality principles

Schedule 1 of SEPP 65 sets out the design quality principles for residential apartment development. These must be considered in the assessment of the proposal pursuant to clause 30(2)(a) of the Policy and are discussed below.

Schedule 1 Design quality principles

Principle 1: Context and neighbourhood character

The proposal is located in the Dapto Town Centre in a B3 Commercial Core with a maximum height limit of 30m and maximum floor space ratio of 2.5:1. The existing character in the surrounding area is characterised by one and two storey buildings. The site contains three attached interwar brick buildings one and two storeys in height with awnings across the footpath. The proposal is considered to be consistent with the desired future character of the Dapto Town Centre as identified through the development standards and controls applicable to the land. The DRP advised that the general form and expression of the building are supported.

Principle 2: Built form and scale

The proposal will not set a precedent for significant mixed use development in the Dapto Town Centre noting the approval under DA-2019/1462 for a nine (9) storey mixed use development on the Dapto Hotel site opposite the subject site. It is likely the area will undergo transition into the future. The DRP advised that the general form and expression of the building are supported.

The bulk and scale of the development is consistent with the applicable planning controls for the area inclusive of building height, floor space ratio, street frontage heights, building setbacks and other built form controls. The development is not considered to be out of context with regard to the desired future character of the area.

It is considered that the proposed is reflective of the likely character expected to emerge over time in the Dapto Town Centre when the Floor Space Ratio and Building Height mapping as **Attachment 2** are taken into consideration.

The design of the development is considered to positively contribute to the public domain and provide high level of amenity for the occupants by way of landscaped areas, private open space, communal open space and the like.

Previous advice by the DRP has been heeded and the recommended refinements arising from the meeting of the 21 June 2021 have been made to the proposal.

Principle 3: Density

With an FSR of 2.498:1 the density of the development complies with the maximum FSR of 2.5:1 permitted for the land and the building height is compliant. While the developments size and scale contrasts markedly with the sites current context, it is considered consistent with the envisaged future character. The façade has been designed such that it has been broken into three distinct elements which will enable the building to reflect the original subdivision pattern and interpret the existing interwar buildings. The development is not of a scale that is expected to place unreasonable strain on

local infrastructure subject to augmentation. Contributions applicable to the development will go towards local infrastructure and facilities. The site is well situated with regard to existing public open space and services and residents will enjoy good amenity.

The DRP advised that the density proposed is acceptable.

Principle 4: Sustainability

The proposal is considered acceptable regarding sustainable design as follows:

- BASIX Certificates provided indicating minimum requirements are met.
- A Site Waste Management and Minimisation Plan has been provided indicating recycling of materials from the demolished buildings.
- The proposal incorporates water capture and use.
- The proposal will not have an unreasonable impact on any heritage items
- The proposal satisfies the minimum amenity requirements of the ADG and DCP with respect to outlook, solar access and natural ventilation.

Principle 5: Landscape

The proposal provides suitable landscaped areas and communal open space that will improve the amenity of the occupants and soften the appearance of the development from adjoining properties and the public domain. The footpath for the frontage of the development will be upgraded. These works are provided for on the landscape plans submitted with the application and conditions are recommended in regard to public domain works and general site landscaping matters.

Principle 6: Amenity

The proposal meets the minimum requirements for solar access, private and communal open space, storage, visual and acoustic privacy as required by ADG.

Principle 7: Safety

The proposal is satisfactory with regard to safety and security and is generally consistent with the principles of crime prevention through environmental design. Refer to discussion in relation to Chapter E2 of WDCP 2009 at **Attachment 4**.

Principle 8: Housing diversity and social interaction

The proposal provides a mix of unit sizes and layouts appropriate to the locality. Provision has also been made for adaptable units as per the requirements of the ADG and Wollongong DCP 2009. There are opportunities for informal social interaction within common areas including the communal open space, lobbies and the like.

Principle 9: Aesthetics

The proposal is considered to be of a high quality with regard to its appearance. A mixture of materials and finishes is provided and the bulk of the development is suitably articulated. Appropriate treatment of the streetscape is proposed having regard to the desired future character of development in the locality. The proposal has been amended in response to the suggestions provided by the Design Review Panel and is now acceptable.

Apartment Design Guide (ADG)

The development has been assessed against the provisions of the ADG and was found to be satisfactory regarding the objectives. A full assessment of the application against the ADG is contained at **Attachment 3.**

Clause 30 Standards that cannot be used as grounds to refuse development consent or modification of development consent

Council will not refuse the application on car parking, minimum internal area or ceiling heights if it is equal to, or greater than, the minimum amount of car parking specified in the relevant section of the Apartment Design Guide.

Development consent must not be granted if, Council is not satisfied, the development or modification does not demonstrate that adequate regard has been given to the design quality principles, and the objectives specified in the Apartment Design Guide for the relevant design criteria. The proposed car parking satisfies minimum requirements of the Apartment Design Guide and WDCP 2009 Chapter E3. Details regarding Apartment Design Guide and WDCP 2009 parking requirements are at **Attachments 3** and **4**.

2.1.3 STATE ENVIRONMENTAL PLANNING POLICY (INFRASTRUCTURE) 2007

Clause 102 (Road) of the SEPP (Infrastructure) 2007 applies to noise sensitive development on the subject site. Therefore the Council must consider any guidelines that are issued by the Director-General and are published in the Government Gazette. In this regard, on 19 December 2008, the "Development Near Rail Corridors and Busy Roads – Interim Guideline" (herein after referred to as "the guidelines") was gazetted and in terms of the proposed development, must be taken into consideration during this assessment.

Details of the application submission including an Acoustic Report prepared by Harwood Acoustic dated 16 March 2021 were reviewed by Council's Environment Officer having regard to Clause 102 of SEPP (Infrastructure) 2007 as the proposed development is adjacent to the Princes Highway and contains residential development (noise sensitive development). Satisfactory referral advice, comment and/or recommended conditions were provided with respect to Road Noise and vibration in this instance.

2.1.4 STATE ENVIRONMENTAL PLANNING POLICY (BUILDING SUSTAINABILITY INDEX: BASIX) 2004

SEPP BASIX applies to the development. In accordance with Schedule 1 of the Regulations and the requirements of the SEPP, a BASIX Certificate has been submitted in support of the application demonstrating that the proposed development achieves the BASIX targets.

2.1.5 STATE ENVIRONMENTAL PLANNING POLICY (KOALA HABITAT PROTECTION) 2020

The City of Wollongong is identified within Schedule 1 as land to which this Policy applies. Wollongong is located within the South Coast Koala Management Area.

The Koala SEPP only applies to development applications considered by councils on land over 1 hectare in size or on land if it is included in an approved council Koala Plan of Management. The lot size is less than one hectare and Council does not have an approved Koala Plan of Management for the land at the time of preparing this report. As such, no further consideration of this SEPP is required.

2.1.6 WOLLONGONG LOCAL ENVIRONMENTAL PLAN 2009

Part 1 Preliminary

Clause 1.4 Definitions

Demolition: In relation to a building means wholly or partly destroy, dismantle or deface the building.

Shop top housing means one or more dwellings located above ground floor retail premises or business premises.

Note. Shop top housing is a type of ***residential accommodation***.

Part 2 Permitted or prohibited development

Clause 2.2 – zoning of land to which Plan applies

The zoning map identifies the land as being zoned ***B3 Commercial Core***.

Figure 3: WLEP 2009 zoning map

Clause 2.3 – Zone objectives and land use table

The objectives of the B3 Commercial Core zone are as follows:

- *To provide a wide range of retail, business, office, entertainment, community and other suitable land uses that serve the needs of the local and wider community.*
- *To encourage appropriate employment opportunities in accessible locations.*
- *To maximise public transport patronage and encourage walking and cycling.*
- *To strengthen the role of the Wollongong city centre as the regional business, retail and cultural centre of the Illawarra region.*
- *To provide for high density residential development within a mixed use development if it—*

  (a) is in a location that is accessible to public transport, employment, retail, commercial and service facilities, and

  (b) contributes to the vitality of the Wollongong city centre.

It is considered that the proposed shop top housing development is generally satisfactory with regards to the above objectives for Zone B3 Commercial Core.

ZONE B3 Commercial Core permitted uses:

The land use table permits the following uses in the zone.

Advertising structures; Amusement centres; Boarding houses; Car parks; Centre-based child care facilities; Commercial premises; Community facilities; Educational establishments; Entertainment facilities; Exhibition homes; Function centres; Helipads; Hostels; Hotel or motel accommodation; Information and education facilities; Medical centres; Oyster aquaculture; Passenger transport facilities; Places of public worship; Recreation areas; Recreation facilities (indoor); Recreation facilities (outdoor); Registered clubs; Respite day care centres; Restricted premises; Roads; Self-storage units;

Seniors housing; Service stations; Sex services premises; ***Shop top housing****; Tank-based aquaculture; Tourist and visitor accommodation; Veterinary hospitals; Wholesale supplies*

The proposal is categorised as ***shop top housing*** as defined above and is permissible in the zone with development consent. Demolition and tree removal are ancillary works to facilitate the proposal and as such are also permissible.

Clause 2.7 Demolition requires development consent

Demolition of a building may be carried out only with development consent. The demolition of the existing structures on the land is required to facilitate the development as proposed.

Part 4 Principal development standards

Clause 4.3 Height of buildings

The maximum building height of 30m does not exceed the maximum 30m permissible for the site.

Clause 4.4 Floor space ratio

The proposed development does not comprise additional gross floor area to the site.

Maximum FSR permitted for the site: 2.5:1

FSR provided for Site: 3720.2m²/1489.1m² = 2.498:1

The floor space ratio does not exceed the maximum permissible for the site.

Part 5 Miscellaneous provisions

Clause 5.10 Heritage conservation

The subject site is opposite the Dapto Hotel which is listed as a local heritage item (61022) under the WLEP 2009. Details of the application were referred to Council's Heritage Officer for comment.

Initial concerns were raised regarding the articulation of the shopfronts and façade. Amended plans were provided that break down the façade into three distinct elements to reflect the original subdivision pattern and interpret the existing interwar buildings by the applicant that resolves these concerns and the proposal is now considered conditionally satisfactory.

Part 7 Local provisions – general

Clause 7.1 Public utility infrastructure

The proposal has been assessed against Clause 7.1 of WLEP2009 and it is considered that the subject site is already serviced by public utilities. It is expected that the existing utility services can be augmented to support the proposed development.

Clause 7.5 Acid Sulfate Soils

The subject site is identified as being affected by Class 5 acid sulphate soils. However, as the proposed works for the development are to be located at and above 14m A.H.D and are not likely to lower the water table beyond 1m it is considered that there is minimal impact. As such no special conditions are required in relation to Acid Sulphate Soils.

Clause 7.13 Certain land within business zones

This Clause applies to development in the B3 Commercial Core Zone and the objective of this clause is to ensure active uses are provided at the street level to encourage the presence and movement of people. The proposal provides two (2) retail spaces at ground level which is considered to provide an active use at ground floor level as required.

2.2 SECTION 4.15(1)(A)(II) ANY PROPOSED INSTRUMENT

Draft Environment SEPP

The Explanation of Intended Effect for the Environment SEPP was on exhibition from 31 October 2017 until the 31 January 2018.

This consolidated SEPP proposes to simplify the planning rules for a number of water catchments, waterways, urban bushland, and Willandra Lakes World Heritage Property.

Changes proposed include consolidating the following seven existing SEPPs:

- State Environmental Planning Policy No. 19 – Bushland in Urban Areas
- State Environmental Planning Policy (Sydney Drinking Water Catchment) 2011
- State Environmental Planning Policy No. 50 – Canal Estate Development
- Greater Metropolitan Regional Environmental Plan No. 2 – Georges River Catchment
- Sydney Regional Environmental Plan No. 20 – Hawkesbury-Nepean River (No.2-1997)
- Sydney Regional Environmental Plan (Sydney Harbour Catchment) 2005
- Willandra Lakes Regional Environmental Plan No. 1 – World Heritage Property.

Changes are also proposed to the Standard Instrument – Principal Local Environmental Plan. Some provisions of the existing policies will be transferred to new Section 9.1 Local Planning Directions where appropriate.

Engagement is now closed and feedback is being considered by the Department.

It is considered the draft SEPP is of limited relevance at this point in time

Draft Remediation of Land SEPP

The Explanation of Intended Effect for the Remediation of Land SEPP and the Managing Land Contamination guidelines were exhibited between 25 January 2018 and 13 April 2018.

The proposed SEPP provides a state-wide planning framework for the remediation of land requires consent authorities to consider the potential for land to be contaminated when determining development applications clearly lists the remediation works that require development consent introduces certification and operational requirements for remediation works that can be undertaken without development consent.

Engagement is now closed and feedback is being considered by the Department.

It is considered the draft SEPP is of limited relevance at this point in time.

It should be noted that In accordance with Clause 7(2) of SEPP 55 Council's Environmental Officer has reviewed the history of the site in conjunction with these documents. Advice received is that the proposal is considered acceptable subject to conditions. Council's Environment Officer noted that the proposed development includes two levels of basement car parking across most of the site, Douglas Partners Consulting considered that any soils impacted by residual contamination that may be present associated with the former land uses, will be excavated and removed from site as part of the proposed development.

Based on PSI the report considered that the site can be rendered suitable for the proposed mixed use development on the understanding that the proposed basement excavation will remove the top 7 to 8 m of material across most of the site including the area surrounding the former location of the printing office

The site is therefore considered that the site can be made suitable for the proposed development and consistent with the assessment considerations of SEPP 55. See **Attachment 8** as relates to the environmental consultants address to clause 7 matters.

Draft Design and Place SEPP

Public exhibition of the Design and Place SEPP Explanation of Intended Effect closed in April 2021.

The Design and Place SEPP will establish principles for the design and assessment of places in urban and regional NSW: PRINCIPLE 1. Design places with beauty and character that people feel proud to belong to PRINCIPLE 2. Design inviting public spaces to support engaged communities PRINCIPLE 3. Design productive and connected places to enable thriving communities PRINCIPLE 4. Design sustainable and greener places for the wellbeing of people and the environment PRINCIPLE 5. Design resilient and diverse places for enduring communities

The draft Design and Place SEPP will go on public exhibition later in 2021 to provide more opportunities for feedback. Supporting guidance and tools, drafts of which will also go on exhibition with the draft SEPP. These guides include revisions to the Apartment Design Guide and improvements to the Building Sustainability Index (BASIX), as well as the proposed Urban Design Guide, and Design Review Guide. The Department is currently conducting workshops with Council's around the State.

It is considered the draft SEPP is of limited relevance at this point in time.

Draft Housing SEPP

Public exhibition of the Housing SEPP Explanation of Intended Effect was exhibited between 29 July and 9 September 2020. The NSW Housing Strategy: Housing 2041 is the NSW Government's plan to meet the State's housing needs over the next 20 years. The Housing SEPP will support delivery on this strategy by driving the development of affordable and diverse housing

The new Housing SEPP will:

- consolidate five existing housing-related SEPPs:
- State Environmental Planning Policy (Affordable Rental Housing) 2009 (ARHSEPP);
- State Environmental Planning Policy (Housing for Seniors and People with a Disability) 2004 (Seniors SEPP);
- State Environmental Planning Policy No 70 – Affordable Housing (Revised Schemes) (SEPP 70);
- State Environmental Planning Policy No 21—Caravan Parks; and
- State Environmental Planning Policy No 36—Manufactured Home Estates.
- include the recently made provisions for short term rental accommodation and build-to-rent housing;
- include the recently updated social housing provisions;
- introduce provisions for co-living housing, a form of housing that provides small private rooms (which may or may not include private kitchen and bathroom facilities), offset by access to managed communal spaces;
- incorporate amendments to boarding house and seniors housing provisions
- amend some local environmental plans in relation to secondary dwellings in rural zones, and the permissibility of boarding houses in R2 zones.

The Housing SEPP is intended to be finalised in October 2021.

It is considered the draft SEPP is of limited relevance at this point in time.

2.3 SECTION 4.15(1)(A)(III) ANY DEVELOPMENT CONTROL PLAN

2.3.1 WOLLONGONG DEVELOPMENT CONTROL PLAN 2009

The development has been assessed against the relevant chapters of WDCP 2009. Compliance tables can be found at **Attachment 4** to this report. The proposal does involve variations to the natural ventilation and floor configuration development control plans. Variation request statements with justification have been provided by the applicant in accordance with clause 8 of Chapter A1 of WDCP 2009 and are included at **Attachment 5**. These variations have been considered and is capable of support in this instance as discussed within **Attachment 4** of this report.

2.3.2 WOLLONGONG CITY WIDE DEVELOPMENT CONTRIBUTIONS PLAN 2020

The estimated cost of works is $14,709,706 and a levy of 1% is applicable under this plan as the threshold value is $100,000.

2.4 SECTION 4.15(1)(A)(IIIA) ANY PLANNING AGREEMENT THAT HAS BEEN ENTERED INTO UNDER SECTION 7.4, OR ANY DRAFT PLANNING AGREEMENT THAT A DEVELOPER HAS OFFERED TO ENTER INTO UNDER SECTION 7.4

There are no planning agreements entered into or any draft agreement offered to enter into under S7.4 which affect the development

2.5 SECTION 4.15(A)(IV) THE REGULATIONS (TO THE EXTENT THAT THEY PRESCRIBE MATTERS FOR THE PURPOSES OF THIS PARAGRAPH)

92 What additional matters must a consent authority take into consideration in determining a development application?

A condition at **Attachment 9** requires compliance with AS 2601 for demolition works.

93 Fire safety and other considerations

Not Applicable

94 Consent authority may require buildings to be upgraded

Not Applicable

2.6 SECTION 4.15(1)(B) THE LIKELY IMPACTS OF DEVELOPMENT

Context and Setting:

In regard to the matter of context, the planning principle in Project Venture Developments v Pittwater Council [2005] NSWLEC 191 is relevant in that it provides guidance in the assessment of compatibility. The two major aspects of compatibility are physical impact and visual impact. In assessing each of these the following questions should be asked:

- Are the proposals physical impacts on surrounding development acceptable? The physical impacts include constraints on the development potential of surrounding sites.
- Is the proposals appearance in harmony with the buildings around it and the character of the street?

In response to the first question, matters such as overshadowing, privacy concerns, bulk scale and setbacks are relevant. The proposed development is for a shop top housing. It is considered that the building has been reasonably sited such that it satisfies the objectives of Council's boundary setback requirements so as to have minimal impact on the adjoining properties in terms of privacy and overshadowing and to allow reasonable solar access to the units and adjoining commercial and retail development.

In regard to the visual impact the proposal is not considered to be in harmony with the surrounding buildings given the area is characterised by one and two storey commercial buildings. However, the proposal is not considered unreasonable as the proposal is considered reflective of the likely character expected to emerge over time in the Dapto Town Centre when the Floor Space Ratio and Building Height mapping at **Attachment 2** are taken into consideration. It is likely that the area will undergo transition into the future. It is noted that the proposal will not set a precedent for significant mixed use development in the Dapto Town Centre noting the approval under DA-2019/1462 for a nine (9) storey mixed use development on the Dapto Hotel site opposite the subject site.

The proposed development satisfies Council's Floor Space Ratio and Building Height development standards as identified in the WLEP 2009, and overall, the bulk and scale of the proposed development is considered acceptable in this circumstance.

It is considered that the scale of the development as viewed from the street will be comparable to other developments in the locality.

In summary, the proposal has been assessed with regard to the amenity impacts from the development, the zoning, and existing and future character of the area, and is considered to be compatible with the local area.

Access, Transport and Traffic:

Access to the site will be via an approved driveway to Council's formed roadway which adjoins Council's Local Road. The development is considered not to result in an adverse impact on the traffic movement and access to the site. Council's Traffic Officer has no objections to the proposed access arrangements subject to conditions included at **Attachment 9**.

Public Domain:

New paving is proposed to the site frontages as well as the pedestrian thoroughfare which would have a positive impact on the public domain.

Utilities:

The proposal is not envisaged to place an unreasonable demand on utilities supply. Existing utilities can be augmented to service the proposal.

Heritage:

No nearby heritage items are expected to be affected by the proposed development. Details of the application submission were referred to Council's Heritage Officer and Design Expert for assessment. Advice received indicates that the proposal is considered conditionally satisfactory.

Other land resources:

The proposal is considered to contribute to orderly development of the site and is not envisaged to impact upon valuable land resources.

Water:

The site is presently serviced by Sydney Water, which can be readily extended to meet the requirements of the proposed development.

The proposal is not envisaged to have unreasonable water consumption.

Soils:

It is expected that, with the use of appropriate erosion and sedimentation controls during construction, soil impacts will not be unreasonably adverse.

The soil profile is considered to be acceptable for the construction of the proposed development. Council's Geotechnical, Environment and Stormwater Officer have assessed the application submission and considered it satisfactory subject to conditions.

Air and Microclimate:

The proposal is not expected to have a negative impact on air or microclimate.

Flora and Fauna:

Tree removal is proposed with this application. The proposal is not expected to adversely impact fauna. Council's Landscape Officer has reviewed the application submission including the landscape plan. Advice received is that the application is considered conditionally satisfactory.

For Council's Landscape Officers response please see Section 1.6.1 of the report.
Waste: Waste management during works can be managed through proper arrangements. A condition is proposed requiring the use of an appropriate receptacle for any waste generated during the construction and compliance with the Site Waste Management and Minimisation Plan provided with the DA.
Energy: The proposal is not envisaged to have unreasonable energy consumption. A BASIX certificate has been provided for the proposal.
Noise and vibration: Noise and vibration impacts during demolition, excavation and construction are unavoidable. If the development is approved, a suite of conditions are recommended for imposition (see **Attachment 9**) to minimise nuisance during demolition and construction. See also section 2.1.3 for commentary related to ISEPP 2007.
Natural hazards: There are no natural hazards affecting the site that would prevent the proposal.
Technological hazards: There are no technological hazards affecting the site that would prevent the proposal. The proposal is identified as being affected by class 5 acid sulphate soils. However, as the proposed works for the development are to be located at and above 14m A.H.D and are not likely to lower the water table beyond 1m it is considered that there is minimal impact. As such no special conditions are required in relation to Acid Sulphate Soils.
Safety, Security and Crime Prevention: This application does not result in greater opportunities for criminal or antisocial behaviour.
Social Impact: The proposal is not expected to create negative social impacts.
Economic Impact: The proposal is not expected to create negative economic impacts.
Site Design and Internal Design: The proposal does involve an exception to WLEP 2009 development standard for Minimum site width. The exception is considered to have been adequately justified via the submission of an appropriate justification statement and capable of support. The application identifies variations to the Clause 4.20.2(2) Natural Ventilation in Chapter B3 WDCP 2009, Clause 9.2.1(4) Floor Configuration in Chapter B4 of WDCP2009 and Clauses 3D Communal and public open space, 3E Deep Soil Zone and 3F Visual Privacy of the ADG. These variations have been considered in section 2.3.1 as being adequately justified and are thus capable of support.
Construction: Conditions of consent are recommended in relation to construction impacts such as hours of work, erosion and sedimentation controls, works in the road reserve, excavation, demolition and use of any crane, hoist, plant or scaffolding.

A condition will be attached to any consent granted that all works are to be in compliance with the Building Code of Australia.
Cumulative Impacts: The development is considered consistent with the amenity of the neighbourhood and to be consistent with the surrounding development.

2.8 SECTION 4.15(1)(C) THE SUITABILITY OF THE SITE FOR DEVELOPMENT

Does the proposal fit in the locality?

The proposal is considered appropriate with regard to the zoning of the site and is not expected to result in negative impacts on the amenity of the locality or adjoining developments.

Are the site attributes conducive to development?

There are no site constraints that would prevent the proposal.

2.9 SECTION 4.15(1)(D) ANY SUBMISSIONS MADE IN ACCORDANCE WITH THIS ACT OR THE REGULATIONS

See section 1.5 of this report.

2.10 SECTION 4.15(1)(E) THE PUBLIC INTEREST

The proposal is not expected to result in unreasonable impacts on the environment or the amenity of the locality. It is considered appropriate with consideration to the zoning and the future character of the area and is therefore considered to be in the public interest.

3 CONCLUSION

The proposed development has been assessed with regard to the relevant prescribed matters for consideration outlined in Section 4.15 of the Environmental Planning & Assessment Act 1979, the provisions of Wollongong Local Environmental Plan 2009 and all relevant Council DCPs, Codes and Policies.

Shop top housing is permitted in the B3 land use zone with development consent pursuant to the WLEP 2009.

The development is consistent with most of the applicable provisions of the relevant planning instruments including SEPP 65 and Wollongong LEP 2009.

The proposal does involve Development Control Plan variations to the natural ventilation and floor configuration and Apartment Design Guide variations to 3D Communal and public open space, 3E Deep Soil Zone and 3F Visual Privacy. Variation request statements with justification have been provided by the applicant in accordance with clause 8 of Chapter A1 of WDCP 2009. These variations have been considered and are capable of support in this instance as discussed within section 2.3.1 of this report.

All internal referrals are satisfactory and there are no outstanding issues.

It is considered that the proposed development is unlikely to result in adverse impacts on the character or amenity of the surrounding area, environment and adjoining development.

4 RECOMMENDATION

DA-2020/1255 be approved pursuant to Section 4.16(1) of the Environmental Planning & Assessment Act 1979 subject to the conditions provided at **Attachment 9**.

5 ATTACHMENTS

1 Plans

2 Site Inspection Photos and WLEP 2009 floor space ratio and building height maps

3 Apartment Design Guide Assessment

4 Compliance table for Wollongong Development Control Plan 2009

5 Clause 8 Variation to Development Control Statements

6 SEPP 65 Design Report and Design Verification Statement

7 DRP Notes 21 June 2021

8 Environmental Consultants address to SEPP 55 Clause 7

9 Conditions

Attachment 1

PROPOSED SHOPTOP HOUSING DEVELOPMENT AT 63-73 PRINCES HIGHWAY DAPTO

SITE & STATUTORY INFORMATION		
AREA	**1489.1 sqm SURVEYED**	
LOT	LOT22 DP 535273 & LOTS B&C DP 421554	
ZONING	B3 Commercial Core	
FSR	2.5 : 1	
HOB	30 metres	
HERITAGE	Other side of road 61022, 61021	
ACID S S	Class 5	

ARCHITECTURAL DOCUMENTS			
NUMBER	**DRAWING**	**SIZE**	**SCALE**
A101	COVERSHEET	A1	NTS
A102	SITE ANALYSIS PLAN	A1	1:200
A103	SITE RESPONSE PLAN	A1	1:200
A201	GA PLAN B2	A1	1:100
A202	GA PLAN B1	A1	1:100
A203	GA PLAN L1 - STREET LEVEL	A1	1:100
A204	GA PLAN L2	A1	1:100
A205	GA PLAN L3 - L5	A1	1:100
A206	GA PLAN L6 - L8	A1	1:100
A207	GA PLAN ROOF	A1	1:100
A301	SECTIONS A - A	A1	1:100
A401	ELEVATIONS WEST & EAST	A1	1:100
A402	ELEVATIONS NORTH	A1	1:100
A403	ELEVATIONS SOUTH	A1	1:100
A411	WEST ELEVATIONS WITH STREETSCAPE	A1	1:200
A412	STREET VIEWS	A1	NTS
A413	AERIAL VIEWS	A1	NTS
A415	PHOTOMONTAGE	A1	NTS
A501	ADAPTABLE LAYOUT	A1	1:50
A611	SHADOW ANALYSIS - 1	A1	1:1000
A612	SHADOW ANALYSIS - 2	A1	1:1000

PROPOSAL INFORMATION									
LEVEL	**1 BED**	**2 BED**	3BED	**TOTAL**	**CARS**	RET'L	COM'L	GFA	NSA
	<70	>70	>70						
B2					32				
B1					25				
1					8			609.5	480
2	0	2	0	2				612.2	381
3	0	5	0	5				411.2	376
4	0	5	0	5				416.5	376
5	0	5	0	5				416.5	376
6	1	3	1	5				416.8	374
7	1	3	1	5				416.8	374
8	1	3	1	5				416.8	374
ROOF								5.5	
TOTAL	3	26	3	32	65			3721.8	3182
FSR	2.499	:1							

PARKING	DCP	Cl 7.4 (-30%)	PROVIDED
RETAIL	533 / 25	21.32	15	15
COMMERCIAL	432 / 40	10.80	8	8
RESIDENTIAL	29*0.75+3	25	-	35
VISITOR	32 / 5	7	-	7
TOTAL		61	55	65

CONSULTANT DOCUMENTS			
DISCIPLINE	**COMPANY**	**CONTACT**	DOCUMENT
ACCESS	ABSAccess	A Moutrie	
BASIX	SynergyESD	A Segovia	
HERITAGE	Austral Archeology	A Beben	
LANDSCAPE	Ochre Landscape	T Whiteman	
PHOTOMONTAGE	Lucid Metal	K Sullivan	
PLANNER	MMJ	L Rawlinson	
QS	PBA	A Antidormi	
SURVEYOR	CEH Consulting	M Smith	
TRAFFIC	MCLAREN TRAFFIC	M Elliard	

REVISIONS

R	DATE	DESCRIPTION
A	11SEP20	DA SUBMISSION
B	07MAY21	CALCULATIONS

ARCHITECT

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PROJECT
MIXED USE DEVELOPMENT
63-73 PRINCES HIGHWAY
DAPTO NSW

DRAWING
COVERSHEET

1933	A101-B	NTS
PRE-DA		ML

PHOTO 1

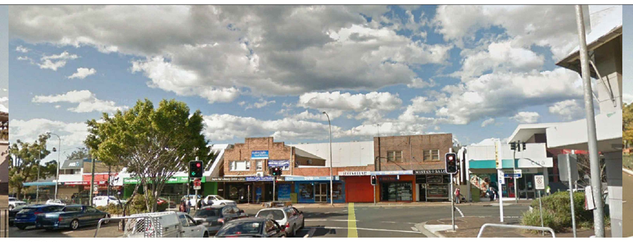

PHOTO 2

PHOTO 3

SITE INFLUENCES

1. EAST-WEST FACING SITE, SOLAR ACCESS OVER SITE TO THE NORTH
2. TRAFFIC NOISE FROM PRINCES HIGHWAY TO WEST
3. SERVICES LANE TO EAST
4. VIEWS TO MOUNTAINS TO THE WEST
5. SIGNIFICANT CORNER WITH BUILDINGS RECOGNISING CORNERS

REVISIONS

R	DATE	DESCRIPTION
A	11SEP20	DA SUBMISSION

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T 9922 1939 E office@mijollo.com
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PROJECT
MIXED USE DEVELOPMENT
63-73 PRINCES HIGHWAY
DAPTO NSW

DRAWING
SITE ANALYSIS PLAN

1933	A102-A	1:200
PRE-DA		ML

SITE RESPONSES

1. TOWER SETBACK FROM NORTHERN BOUNDARY TO ALLOW SOLAR ACCESS TO NORTH EAST CORNER
2. TOWER SETBACK FROM PRINCES HIGHWAY BOUNDARY
3. LANDSCAPING TO IMPROVE VISUAL AMENITY
4. MOST UNITS FACING MOUNTAIN VIEWS
5. ANGLED INDENT AT ENTRY TO PODIUM

DA 2019 / 1462
MIXED USE DEVELOMENT PROPOSAL

DP 726772
1
DP 535989
11
POTENTIAL ORDERLY DEVELOPMENT ENVELOPE
NOON SHADOW
21
DP 535273
5858
9408
DAPTO SQUARE LANE
PRINCES HIGHWAY
BONG BONG ROAD
'FAIRLEYS'
(HERITAGE ITEM 61021)
POTENTIAL ORDERLY DEVELOPMENT ENVELOPE
DAPTO MALL
(SHOPPING CENTRE)
TRUE NORTH
0 1 2 3 4 5 10

PLAN
LEVELS ROOF
A207-P7
1:100@A1

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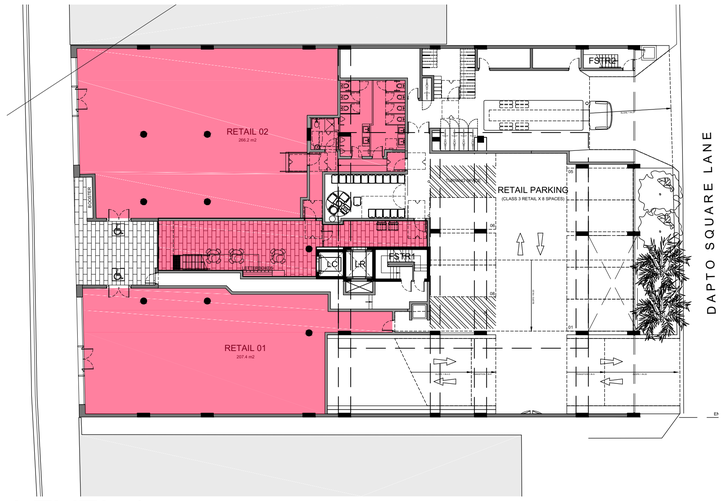
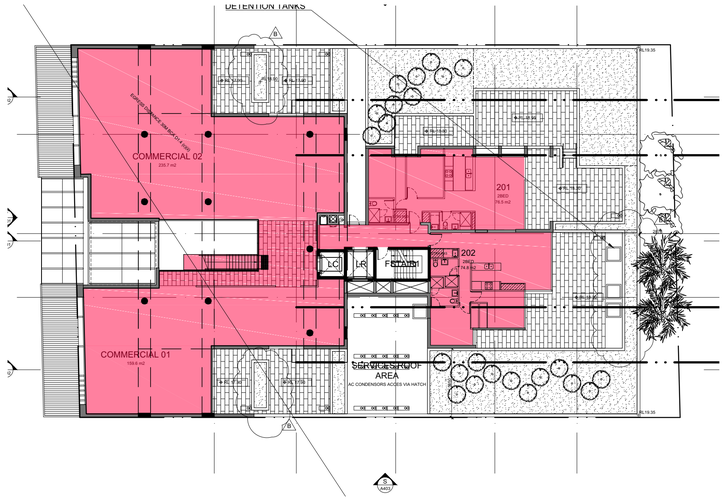
63-73 PRINCES HIGHWAY
DAPTO NSW

DRAWING
SITE RESONSE PLAN

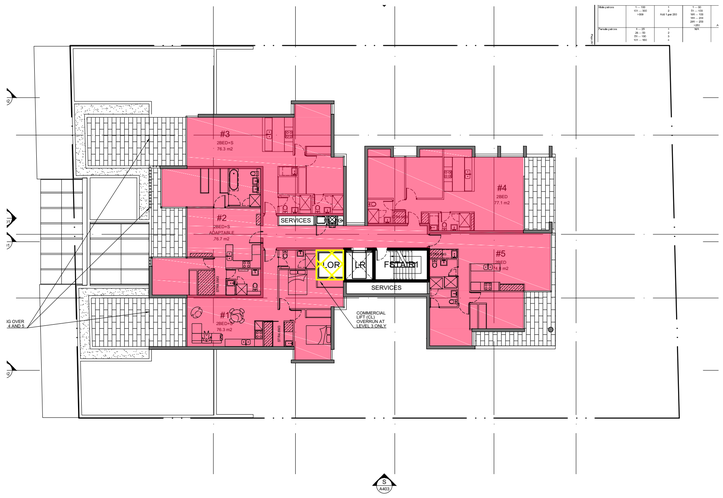
1933	A103-A	1:200
PRE-DA		ML



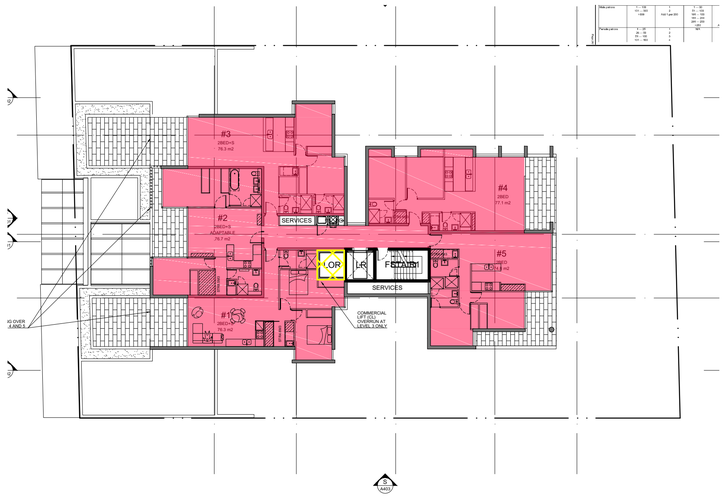
LEVEL 1 609.5 sqm



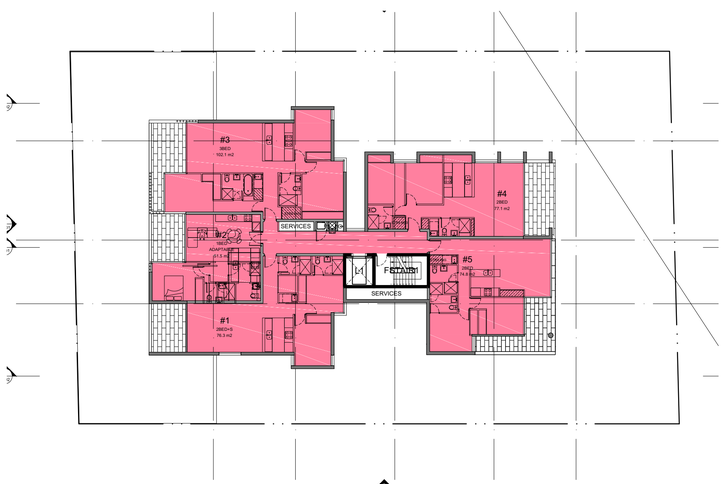
LEVEL 2 612.2 sqm



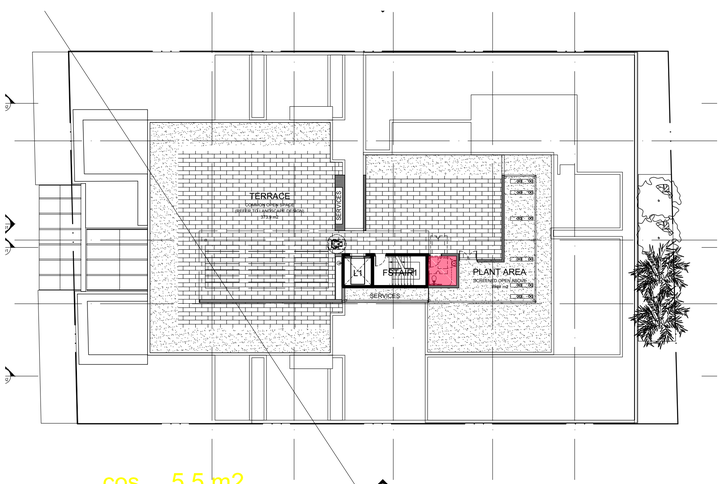
LEVEL 3 411.2sqm



LEVELS 4&5 416.5 sqm



LEVELS 6-8 416.8 sqm



cos 5.5 m2

LEVELS ROOF 5.5 sqm

REVISIONS

R	DATE	DESCRIPTION
A	11SEP20	DA SUBMISSION

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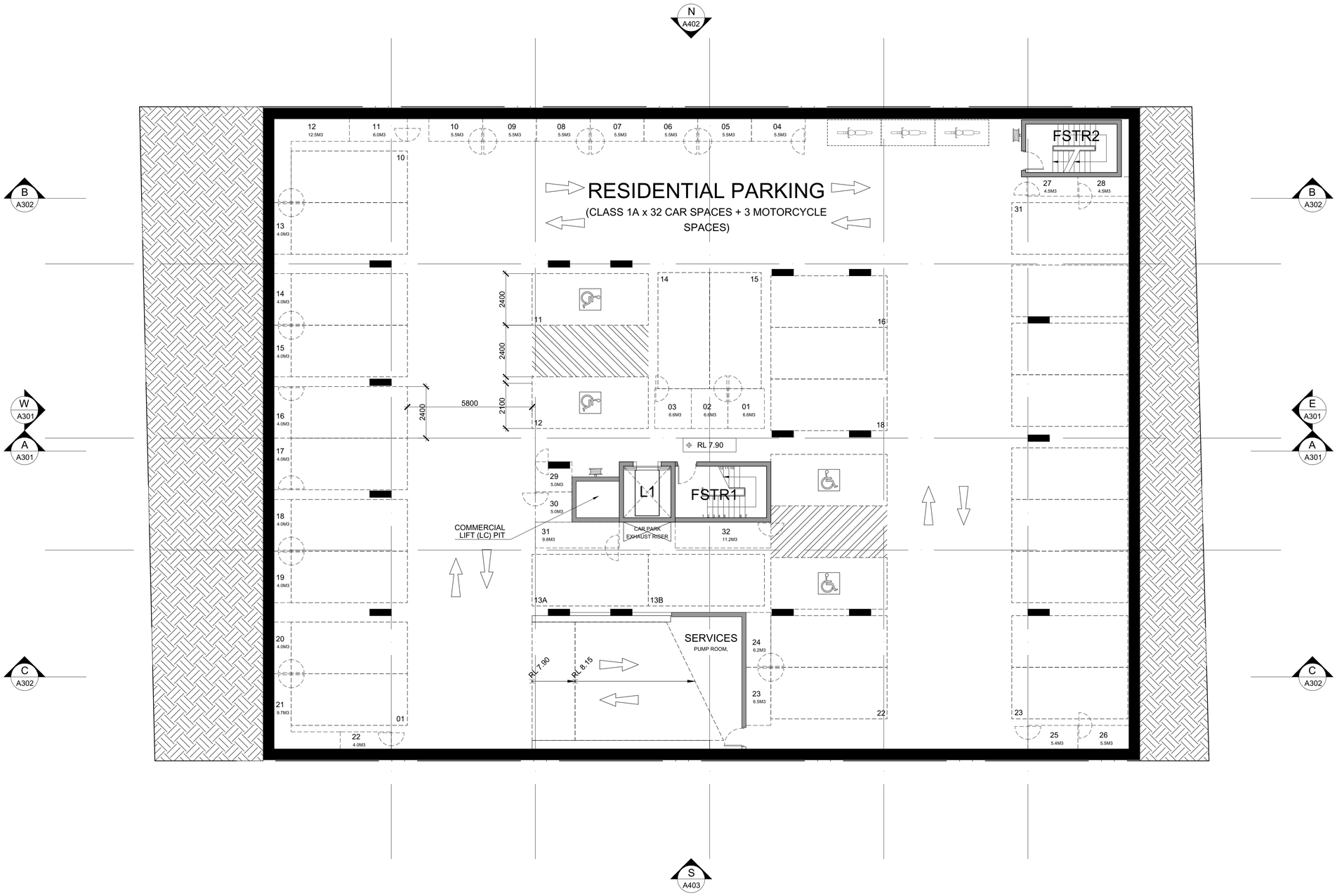
PROJECT
MIXED USE DEVELOPMENT
63-73 PRINCES HIGHWAY
DAPTO NSW

DRAWING
GFA DIAGRAMS

1933	A104-A	NTS
PRE-DA		ML



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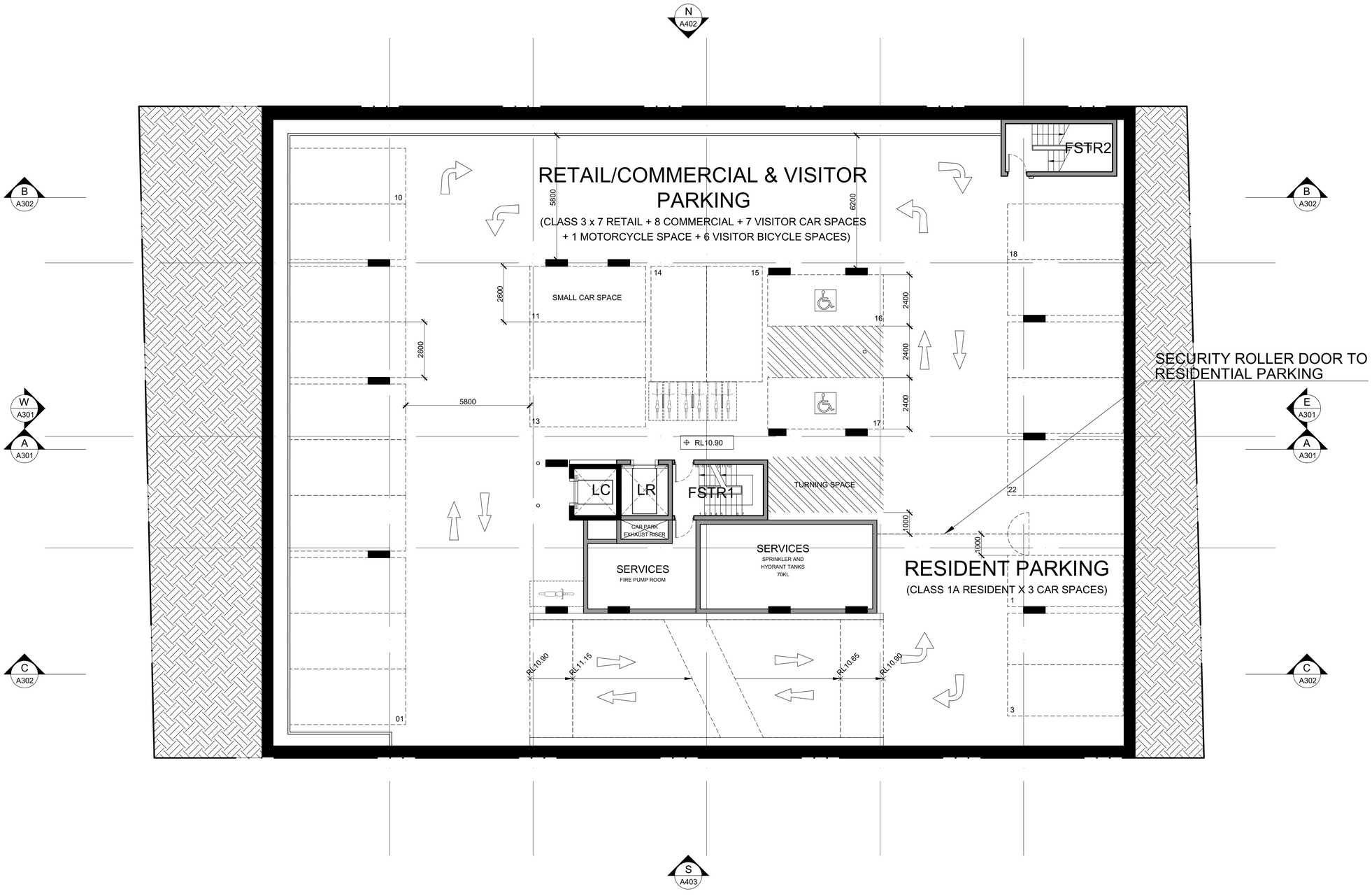
63-73 PRINCES HIGHWAY
DAPTO NSW

DRAWING
PLAN
LEVEL B2

1933	A201-A1	1:100@A1
PRE-DA		ML



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REVISIONS

R	DATE	DESCRIPTION
A	11SEP20	DA SUBMISSION

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DAPTO NSW

DRAWING
PLAN
LEVEL B1

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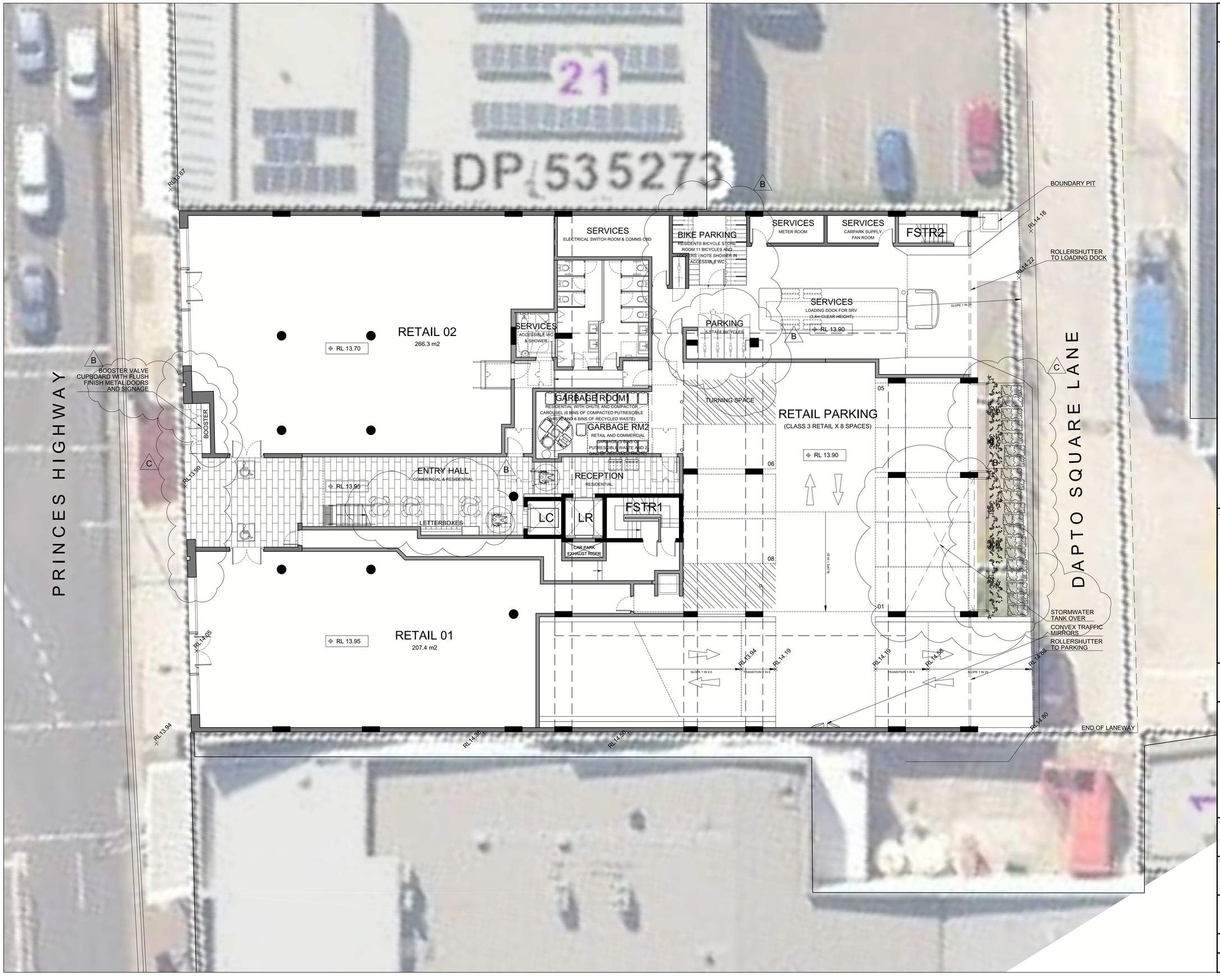
PRE-DA		ML



REVISIONS

R	DATE	DESCRIPTION
A	11SEP20	DA SUBMISSION
B	07MAY21	SERVICE ACCESS TO STORMWATER TANKS AROUND PODIUM
C	14JUL21	STREET FACADE, LANEWAY PLANTING

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PROJECT
MIXED USE DEVELOPMENT
63-73 PRINCES HIGHWAY
DAPTO NSW

DRAWING
PLAN
LEVEL 1

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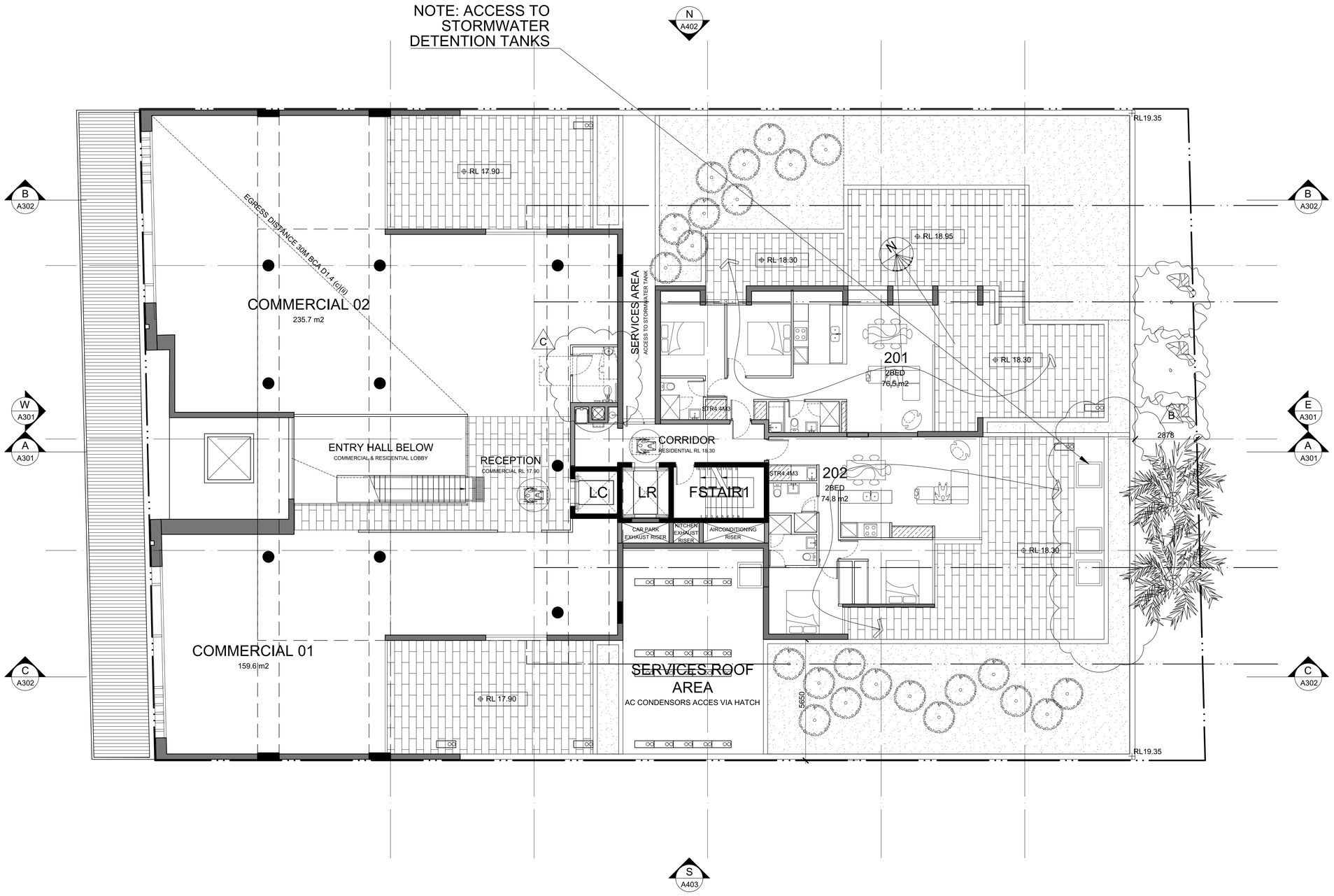
PRE-DA		ML



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REVISIONS		
R	DATE	DESCRIPTION
A	11SEP20	DA SUBMISSION
B	07MAY21	SERVICE ACCESS TO STORMWATER TANKS AROUND PODIUM
C	14JUL21	STREET FACADE, DDA WC TO COMMERCIAL

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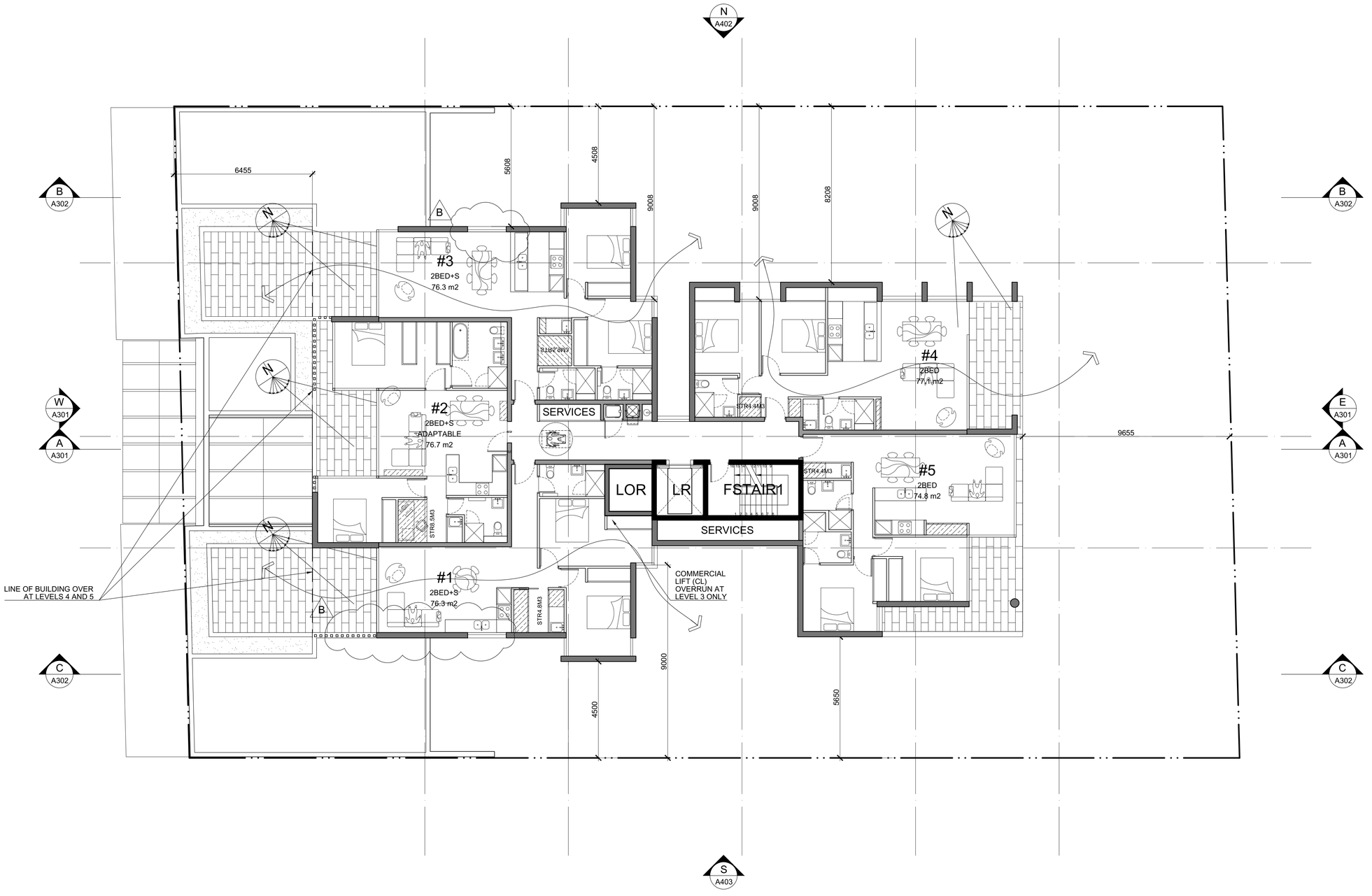
PROJECT
MIXED USE DEVELOPMENT
63-73 PRINCES HIGHWAY
DAPTO NSW

DRAWING
PLAN
LEVEL 2

1933	A204-C	1:100@A1
PRE-DA		ML



0 1 2 3 4 5 10

REVISIONS

R	DATE	DESCRIPTION
A	11SEP20	DA SUBMISSION
B	14JUL21	WINDOW TO #01 &#03 AND SCREEN TO BALCONY OF #01

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PROJECT
MIXED USE DEVELOPMENT
63-73 PRINCES HIGHWAY
DAPTO NSW

DRAWING
PLAN
LEVEL 3 (4- 5 SIMILAR)

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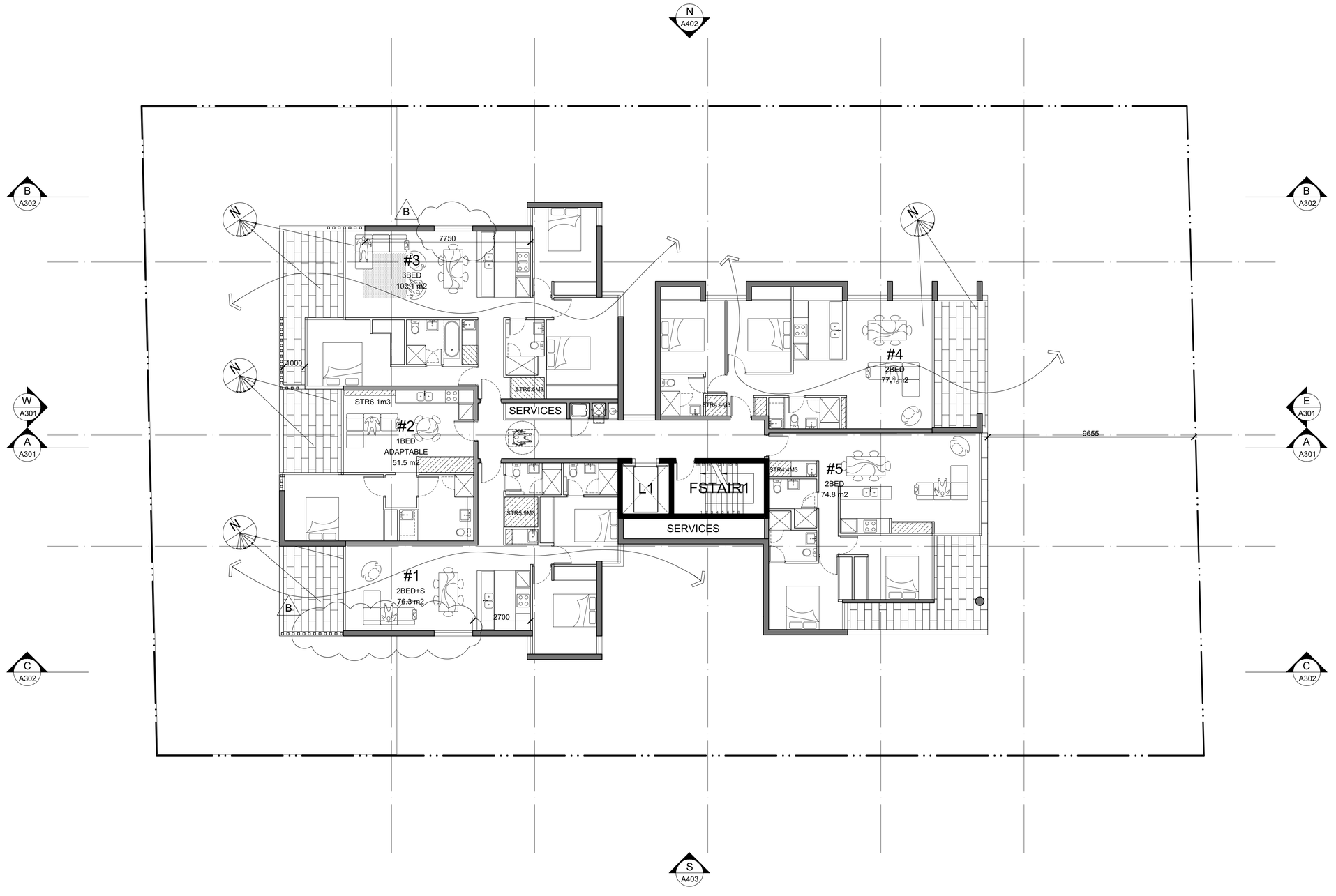
PRE-DA		ML



0 1 2 3 4 5 10

REVISIONS

R	DATE	DESCRIPTION
A	11SEP20	DA SUBMISSION
B	14JUL21	WINDOW TO #01 &#03 AND SCREEN TO BALCONY OF #01

ARCHITECT

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CLIENT
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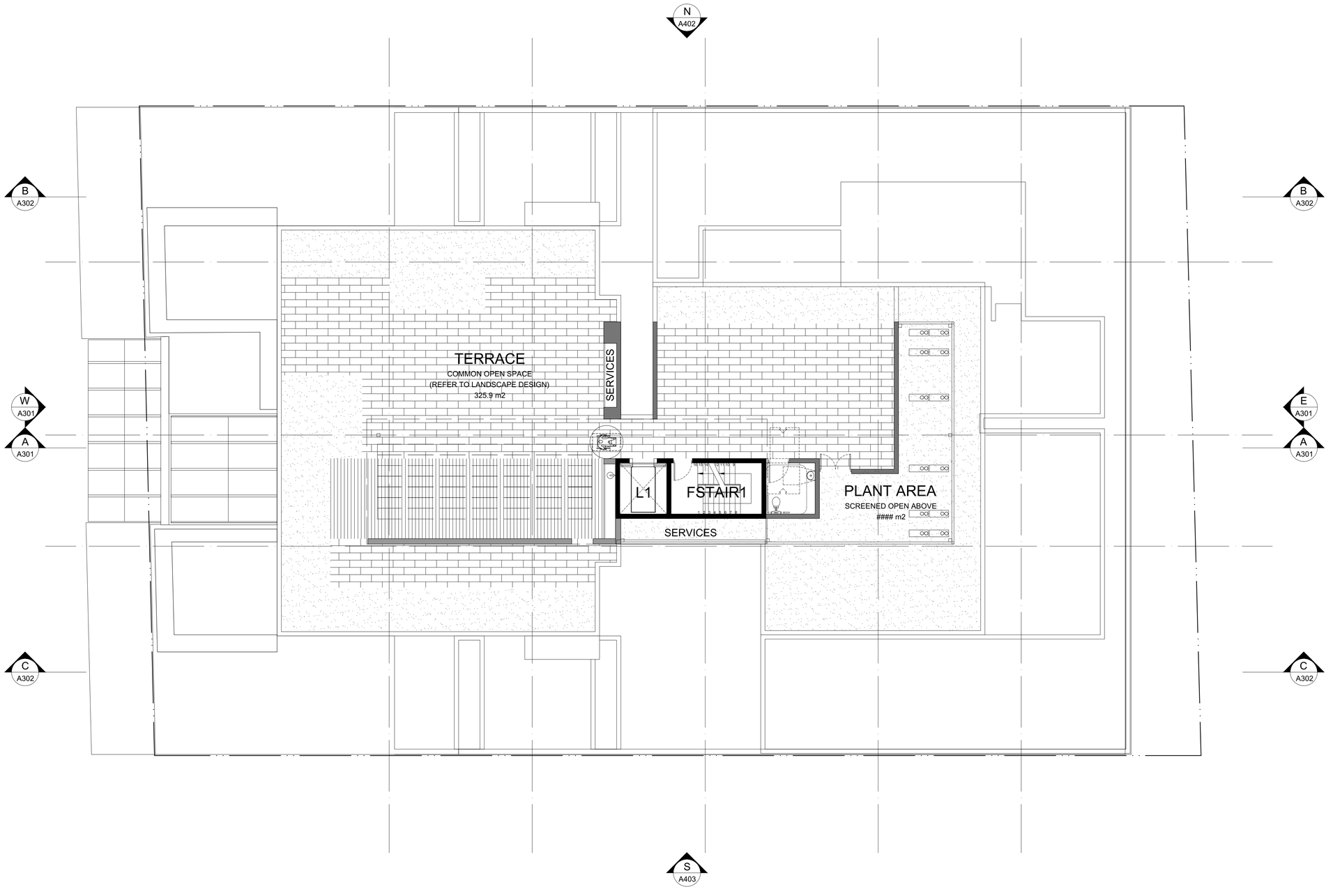
PROJECT
MIXED USE DEVELOPMENT
63-73 PRINCES HIGHWAY
DAPTO NSW

DRAWING
PLAN
LEVELS 6 - 8

1933	A206-B	1:100@A1
PRE-DA		ML



REVISIONS

R	DATE	DESCRIPTION
A	11SEP20	DA SUBMISSION
B	14JUL21	PAVING AND PLANTING TO NORTH WEST CORNER

ARCHITECT

mijollo INTERNATIONAL

PRELIMINARY

NOT FOR CONSTRUCTION

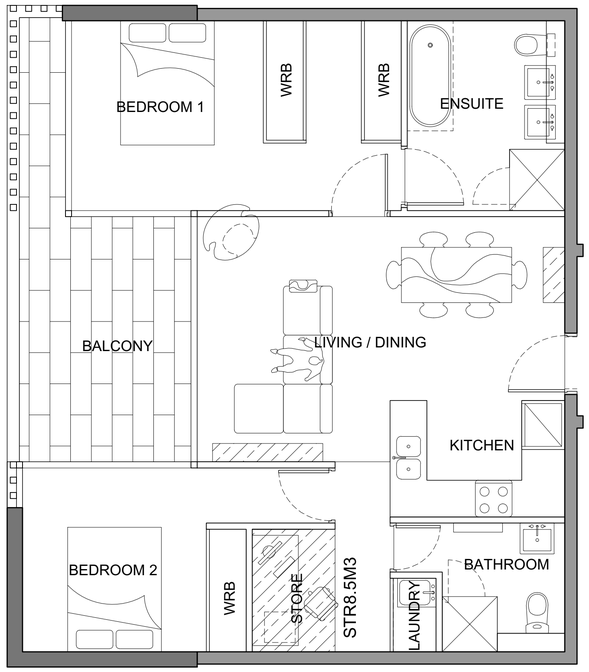
MIJOLLO INTERNATIONAL PTY. LTD.
ABN 50 145 079 090
PO BOX 295 MILSONS POINT NSW 1565
T 9922 1939 E office@mijollo.com

CLIENT
JSS DAPTO PROPERTY GROUP PTY LTD

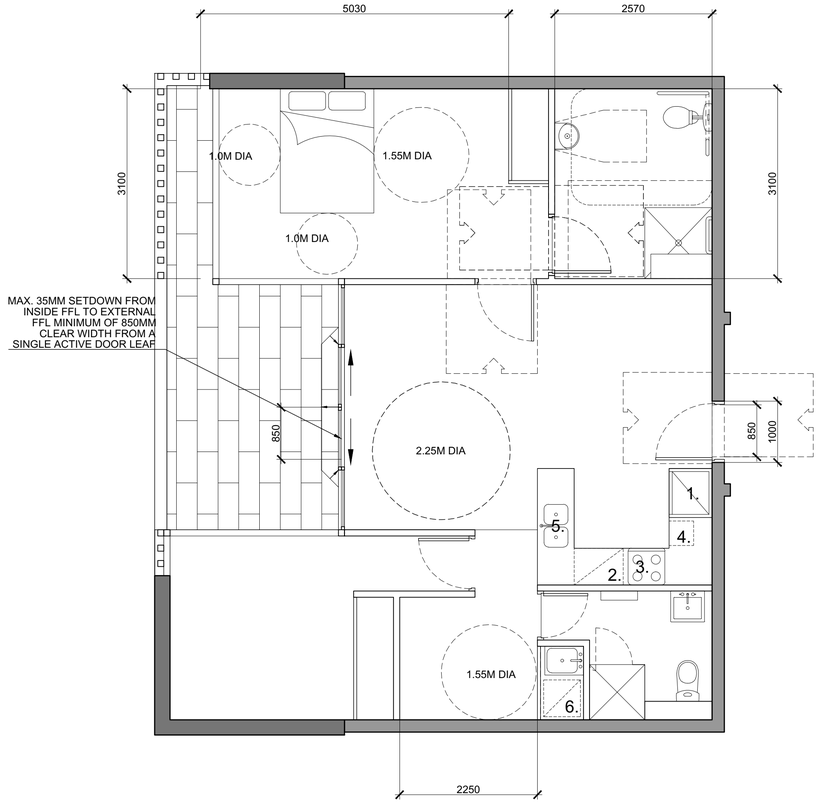
PROJECT
MIXED USE DEVELOPMENT
63-73 PRINCES HIGHWAY
DAPTO NSW

DRAWING
PLAN
LEVELS ROOF

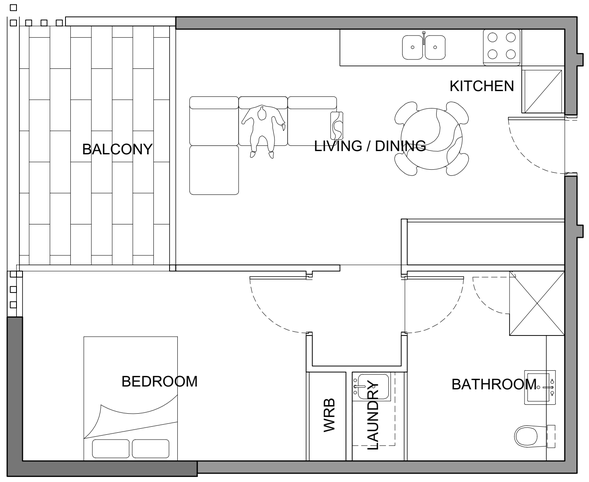
1933	A207-B	1:100@A1
PRE-DA		ML



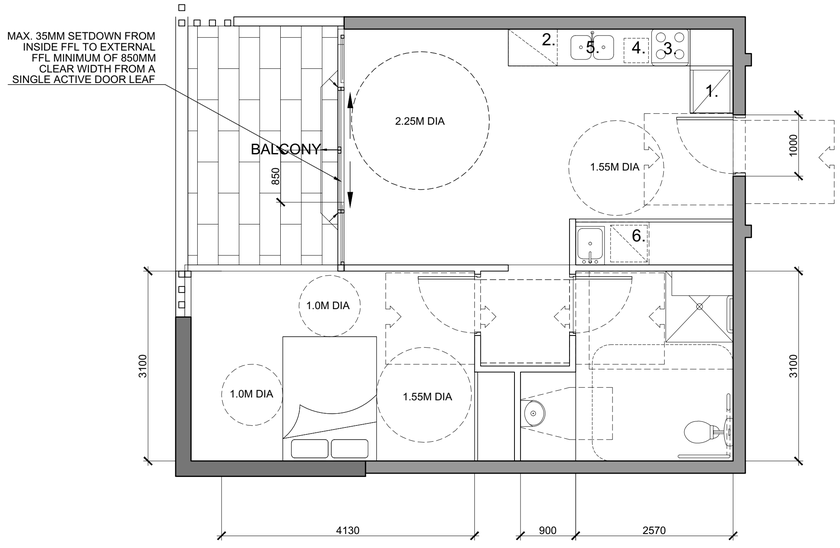
A A501 PRE-ADAPTION LAYOUT - UNITS 42 & 52
SCALE 1:50 @ A1



B A501 POST-ADAPTION LAYOUT - UNITS 42 & 52
SCALE 1:50 @ A1



C A501 PRE-ADAPTION LAYOUT - UNIT 62 & 72
SCALE 1:50 @ A1



D A501 POST-ADAPTION LAYOUT - UNIT 62 & 72
SCALE 1:50 @ A1

ACCESS & ADAPTABLE UNITS

NOTES

1. ALL GPO'S TO BE INSTALLED SO THAT RAISING TO 600MM HIGH IN POSTADAPTION IS EASILY ACHIEVABLE
2. ALL ROBES TO HAVE ADJUSTABLE SHELVES, RAILS AND HOOKS
3. BATHROOM & LAUNDRY: PROVIDE PLYWOOD BACKING TO ALL STUD WALLS FOR FIXING ACCESSORIES AND GRAB RAILS. REFER TO A601 FOR HEIGHTS.
4. ISOLATION SWITCH FOR FRIDGES + MICROWAVES. REFER TO ELECTRICAL DRAWINGS.

LEGEND

1. FRIDGE SPACE
2. 800MM WIDE ADJUSTABLE WORK SPACE
3. COOKTOP
4. MICROWAVE PROVISION
5. SINK - ADJUSTABLE IN HEIGHT - REMOVABLE CABINET UNDER
6. CLOTHES DRYER

SPECIFICATION

General

1 Level I accessible sartary facility will allow a 530mm latch side nib and I 10mm hinge side nib to the door to achieve the circulation space at the door in accordance th AS 1428.1-2W9.

2. Tactile ground surface indicators will be installed at the top and bottom of stairways (other than fire isolated stairways), and where an overhead obstruction is less than 2 metres above the floor level- Tactile ground surface indicators wit comply with Sections 1 and 2otASiNZS 1428.4. 1

3 On an accessway where there is no chair rail, handrail or transom, all frameless or fully glazed doors, sidelights or glazing capable of being mistaken for a doorway or opening will be clearly marked and comply with Clause 6.8 of AS14281-2009. A solid non-transparent contrasting tine not less than 75mm wide is to extend across the full width of the glazing panel The tower edge of the contrasting line is to be located between 900mm and 1000mm above the plane of the finithed floor level. The contrasting tine is to provide a minimum of 301/o luminance contrast when viewed against the floor surface or surfaces within 2 metres of the glazing on the opposite side

4. At doorways will have a minimum luminance contrast of 30% In accordance with Clause 13.1 of AS1428. 1-2009.

5. Fixtures and fittings in accessible sanitary facilities wilt be provided and installed in accordance Clause 15 of AS1428. 1-2009.

8 Walkways will comply with Clause 10 of AS 14281-2009.

7 For the walkways the floor or ground surface abutting the sides of the walkway Will be firm and level of e different material to that of the walkway at the same level and follow the grade of the walkway and extend horizontally for a minimum of 600mm, or be provided With a kerb or kerb rail in accordance with Clause 10.2 of AS1428.2009

Il Stairways Will comply With Clause 11 of AS14281-2009.

9_ The fire isolated stairs Will comply with Clause 11.1 (f) and (g) of AS14281-2009. i0_ Handrails will comply with Clause 12 of AS1428i-2009

11. Grabrails will comply with Clause IT of AS 1428-1-2009

12 Accessible car spaces will achieve compliant headroom clearances in accordance with Clause 24 of AS/NZS 28906-2009.

13. Bollards Will be provided in the shared disabled car space area in accordance wit Clause 221(e) oIASiNZS 2890.8-2009. Refer to Annexure 61 for a diagrammatic explanation.

14. Switches and power points will comply with Clause 14 of AS14281-2009.

15. Floor and ground floor surfaces on accessible paths and circulation spaces including the external areas will comply with Clause 7 of AS 1428.1-2009-

16 Braille and tactile signage will comply with BCA2012 Clause 03.6.

17. Signage will to comply with Clause 13 of A81428.1-2009.

18. The passenger lifts will comply with BCA2012 Table E3.6b and AS1735.12.

19. The unobstructed height of a continuous accessible path of travel will be a minimum of 2000mm and 1980mm at doorways.

20. Door handles and the like, will be in accordance with Clause 13.5 of AS1428.1- 2009.

Adaptable Housing Units

1. All ground surfaces will be slip resistant to comply with AS3661.1.

2. Letterboxes will be on a hard stand area connected to an accessible pathway in accordance with Clause 3.8 of AS4299.

3* The unit entry doors to the adaptable units will comply with the circulation spaces required under AS1428.2 in accordance with Clause 4.3.1 of AS4299.

4. Door hardware will be compliant with AS 1428.1 and all external doors will be keyed alike in Clause 43.4 of AS4299.

5. Internal door openings within the adaptable units will have a clear opening of 820mm with door circulation spaces complying with AS1428.1 in accordance with Clauses 4.3.3 and 4.3.7 respectively of AS4299.

6 Atelephone outlet will be provided adjacent to GPO in living/dining area in accordance with Clause 414 of AS4299.

7. The kitchen cabinet design will allow for the removal of the cabinets under the sink and adjacent work suiface in accordance with Clause 45.6 of AS4299

8. Cook tops to be provisioned with isolating switches or gas stop valves that can be

. easily and safely operated with the cook top is in use in accordance with Clause 4_5_7 of AS4299

9, GPcYs wiV comply with AS 14281 with at least one double GPO provided within 3OOnvn of front of work surface and a GPO for reThgerator will be easily reachable When the reflor is in its operating posi&n in accordance with Clause 4.5.1 1 of AS4299.

10. The adaptable bathroom will be provisioned for the fit-out to comply with A51428.1 in accordance with 441 of AS4299

it The shower of the adaptable bathroom will behob-less in accordance with Clause 44.4(f) of A54299

12. The bathrooms Will be waterproofed to comply with AS3740.

13 The soap holder will be recessed in accordance with Clause 4A-4(f) Of A84299. 14. Shower heads and taps will be located at a height and clearance compliant with AS1428.1 in accordance with clause 44.4Ø) Of AS4299.

15_ Provision for the it stai1atici of all grabrails, shower hardware, and folding seat will be provided in the adaptable bathroom in accordance with cause 44A(h)of AS4299.

16. Provision for the instalation of washbasin with clearances as required by AS1428.1 will be provided in accordance with clause 4.4.4(g) of AS4299.

IT A double GPO will be provided beside the mirror in the adaptable bathroom in accordance with Clause 44A(d) O1AS4299.

18. Provision for the toilet to comply with AS1428.1, will be provided. inducing locating the pan in the correct position, and the provision for the installation of all grabrafis in accordance with Clauses 4.4.1. 44.3 and 4.4A(h)of AS4299.

19. Where a clothes line is provided and accessible path Of travel will be provided to this in accordance with Cl 8(a) of AS4299.

20. A double GPO will be provided in the laundry, as will a shelf at a height of 1200mm maximum in accordance with Cl 4.8 of AS4299.

21. Lighting will be pIOVIcled to the adaptable units in accordance with Clause 410 of AS4299.

REVISIONS

R	DATE	DESCRIPTION
A	11SEP20	DA SUBMISSION

ARCHITECT

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PRELIMINARY

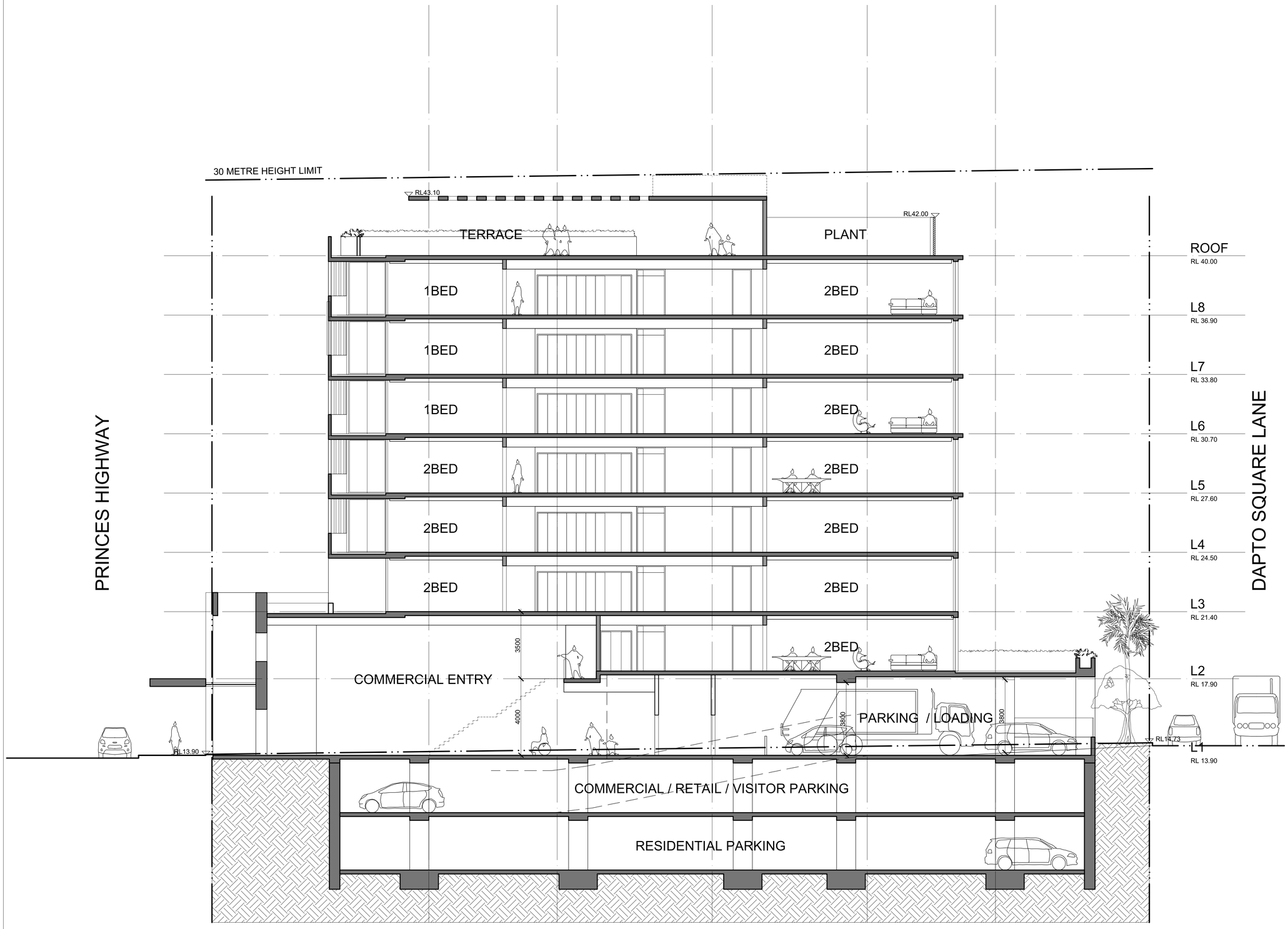
NOT FOR CONSTRUCTION

CLIENT
JSS DAPTO PROPERTY GROUP PTY LTD

PROJECT
MIXED USE DEVELOPMENT
63-73 PRINCES HIGHWAY
DAPTO NSW

DRAWING
PART PLANS
ADAPTABLE LAYOUTS

1933	A501-A	1:50@A1
PRE-DA		ML



REVISIONS

R	DATE	DESCRIPTION
A	11SEP20	DA SUBMISSION

ARCHITECT

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ALL DIMENSIONS TO BE CHECKED ON SITE BEFORE COMMENCEMENT OF WORK. ALL DISCREPANCIES TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT. LARGER SCALE DRAWINGS AND WRITTEN DIMENSIONS TAKE PREFERENCE.

CLIENT
JSS DAPTO PROPERTY GROUP PTY LTD

PROJECT
MIXED USE DEVELOPMENT
63-73 PRINCES HIGHWAY
DAPTO NSW

DRAWING
SECTION
AA

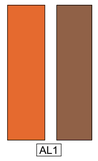
1933	A301-A	1:100@A1
PRE-DA		ML

MATERIALS / COLOURS

FACE BRICKWORK

WL1

METAL BATTENS

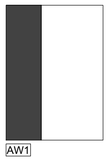


AL1

GLASS BALUSTRADE

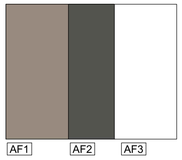
BL1

GLAZED WINDOWS



AW1

APPLIED FINISH



AF1 AF2 AF3

METAL LOUVRES

AL2

METAL CLADDING

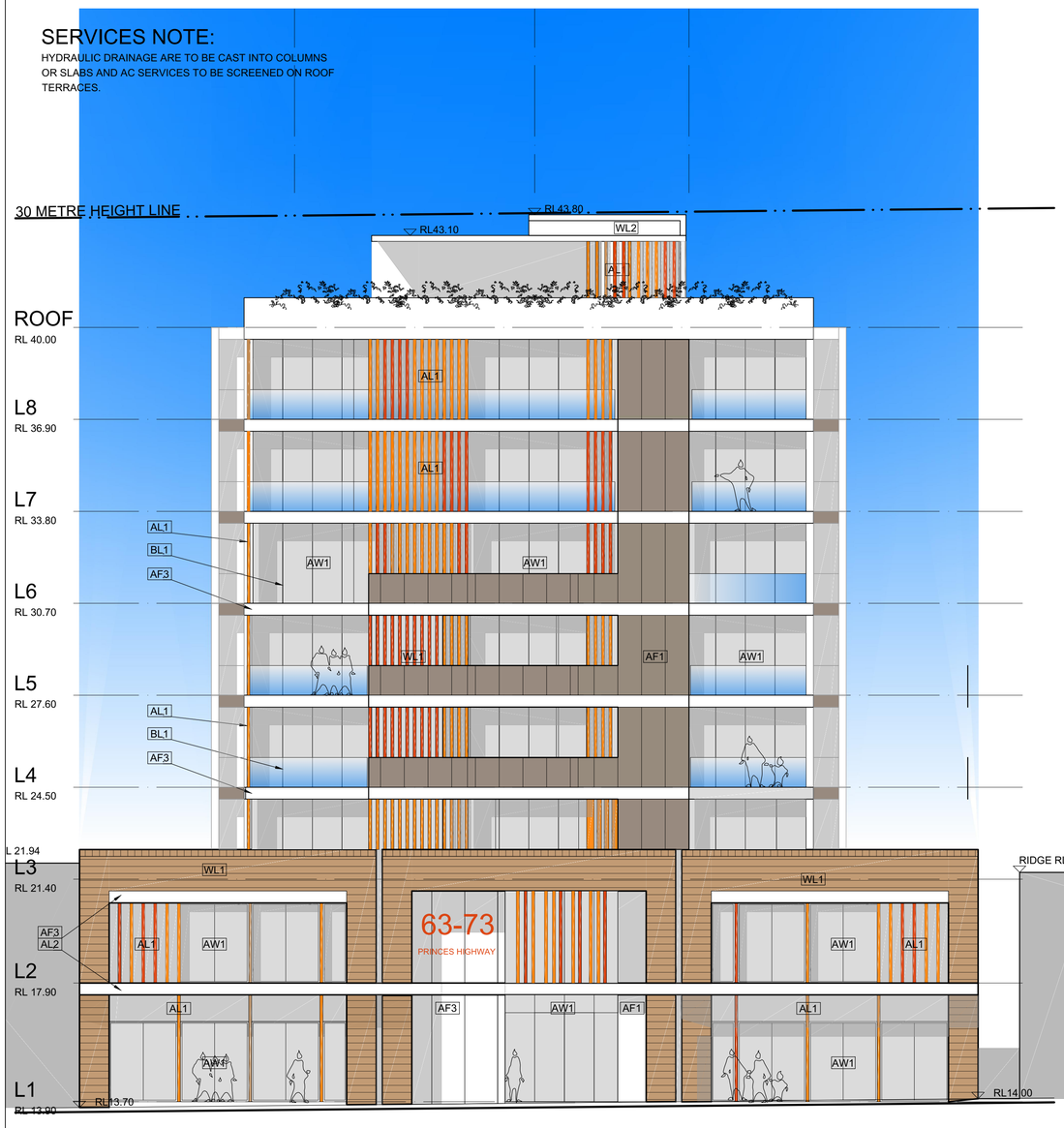
WL2

NOTES TO ELEVATIONS

SERVICES PIPEWORK TO BE CONCEALED WITHIN BUILDING

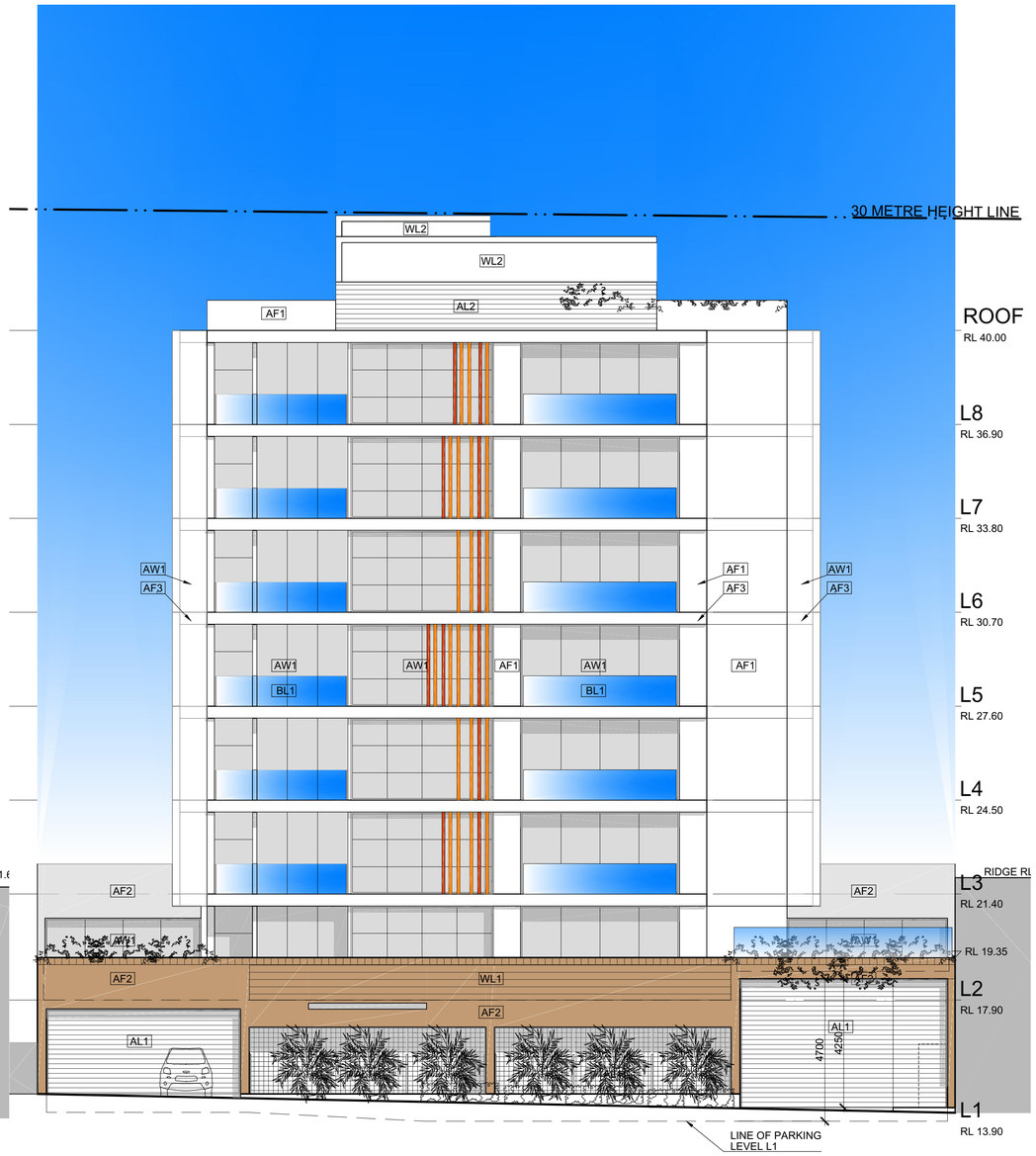
SERVICES NOTE:

HYDRAULIC DRAINAGE ARE TO BE CAST INTO COLUMNS OR SLABS AND AC SERVICES TO BE SCREENED ON ROOF TERRACES.



A A301 WEST ELEVATION (PRINCES HIGHWAY)

1:100@A1 - MATERIAL COLOURS INDICATED



A A301 EAST ELEVATION (LANEWAY)

1:100@A1

REVISIONS

R	DATE	DESCRIPTION
A	11SEP20	DA SUBMISSION
B	07MAY21	STORMWATER TANK OVERFLOW SHOWN
C	14JUL21	STREET FACADE REAR LANDSCAPE

ARCHITECT

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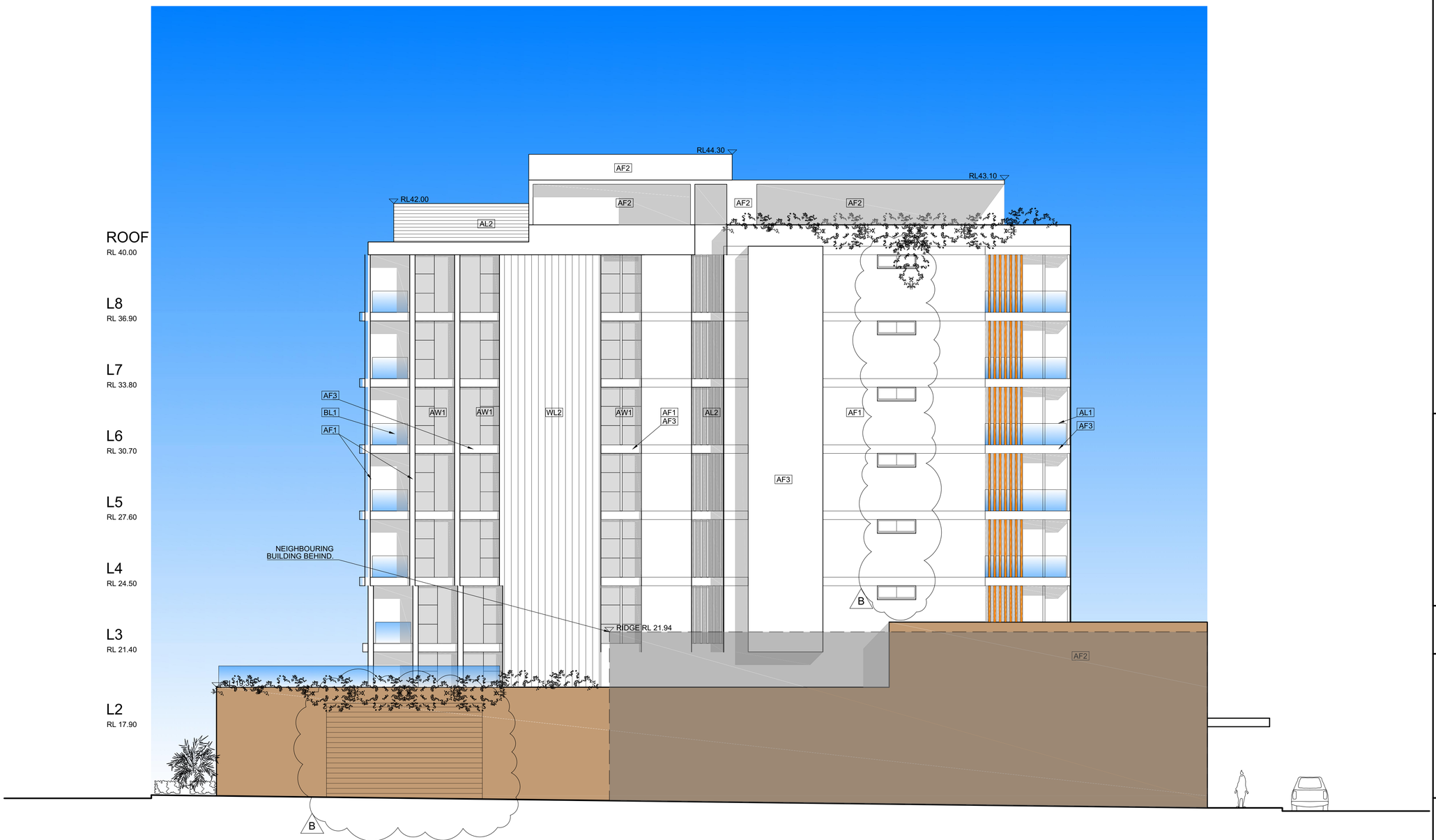
CLIENT
JSS DAPTO PROPERTY GROUP PTY LTD

PROJECT
MIXED USE DEVELOPMENT
63-73 PRINCES HIGHWAY
DAPTO NSW

DRAWING
ELEVATION EAST & WEST (PRINCES HWY)

1933	A401-C	1:100@A1
PRE-DA		ML



REVISIONS

R	DATE	DESCRIPTION
A	11SEP20	DA SUBMISSION
B	14JUL21	NORTH WALL EASTERN END ARTICULATION, WINDOW, LANDSCAPE TO LANEWAY

ARCHITECT

mijollo INTERNATIONAL

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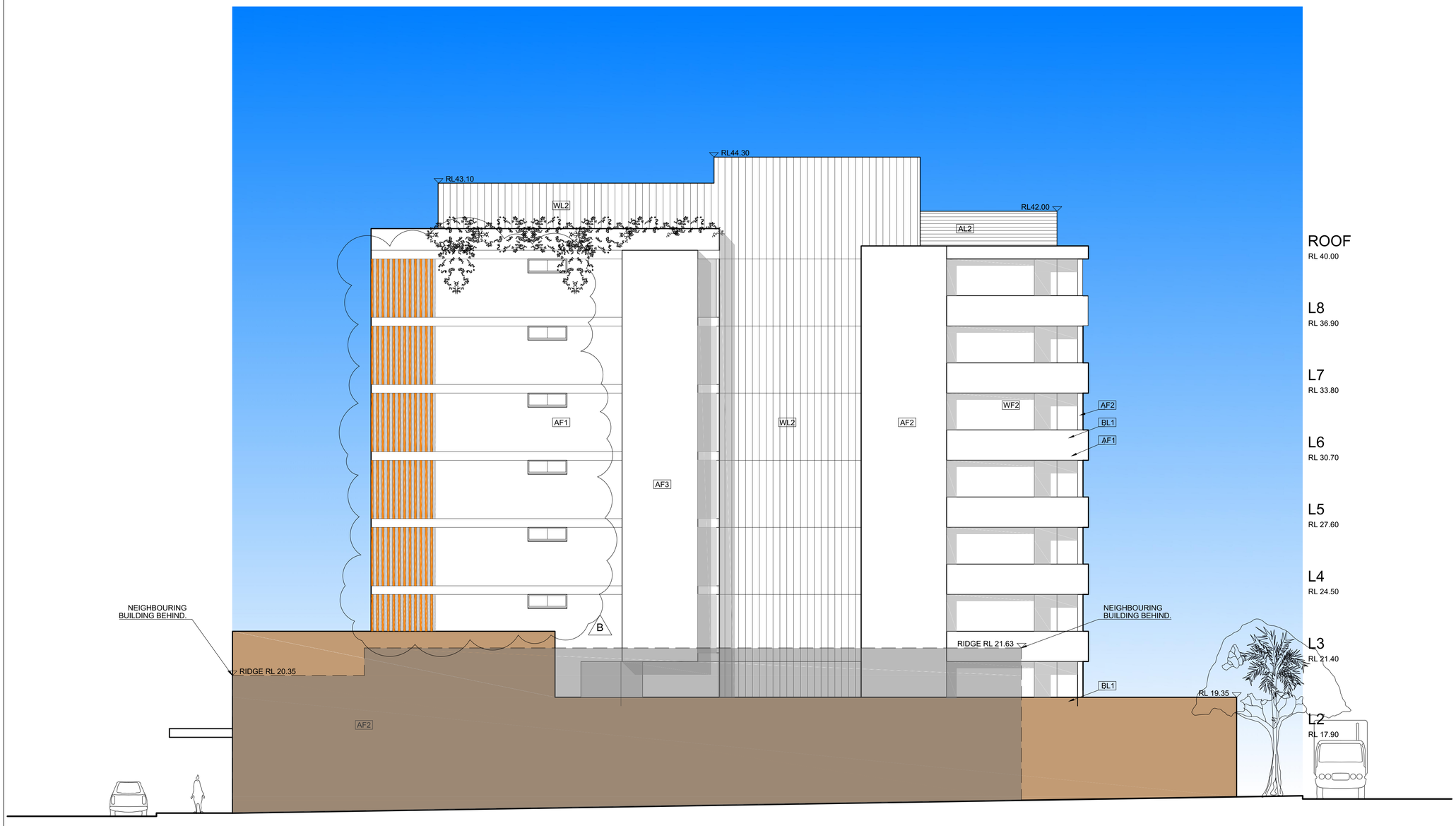
CLIENT
JSS DAPTO PROPERTY GROUP PTY LTD

PROJECT
MIXED USE DEVELOPMENT
63-73 PRINCES HIGHWAY
DAPTO NSW

DRAWING
ELEVATION NORTH

1933	A402-B	1:100@A1
PRE-DA		ML



REVISIONS

R	DATE	DESCRIPTION
A	11SEP20	DA SUBMISSION
B	14JUL21	WINDOW AND SCREEN TO BALCONY

ARCHITECT

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INTERNATIONAL

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CLIENT
JSS DAPTO PROPERTY GROUP PTY LTD

PROJECT
MIXED USE DEVELOPMENT
63-73 PRINCES HIGHWAY
DAPTO NSW

DRAWING
ELEVATION SOUTH

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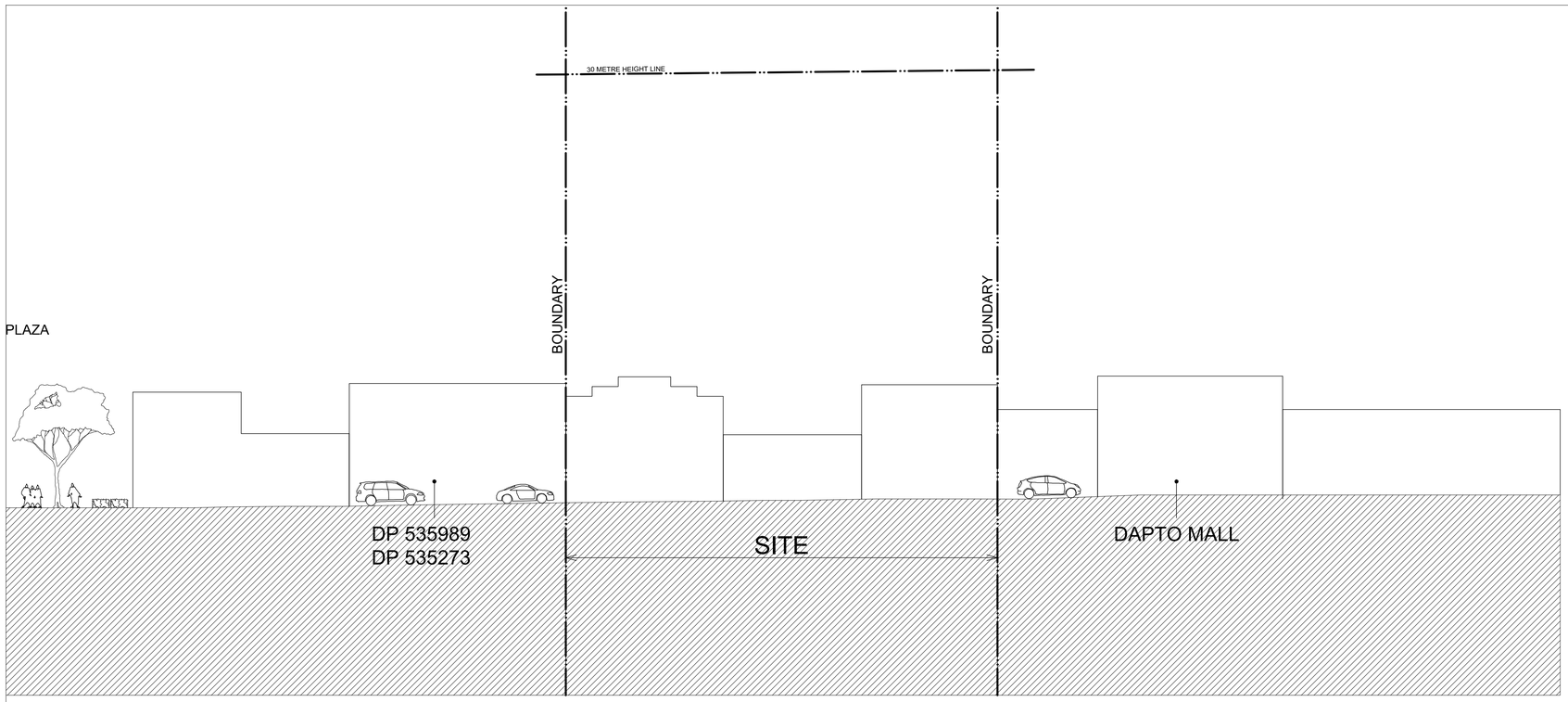
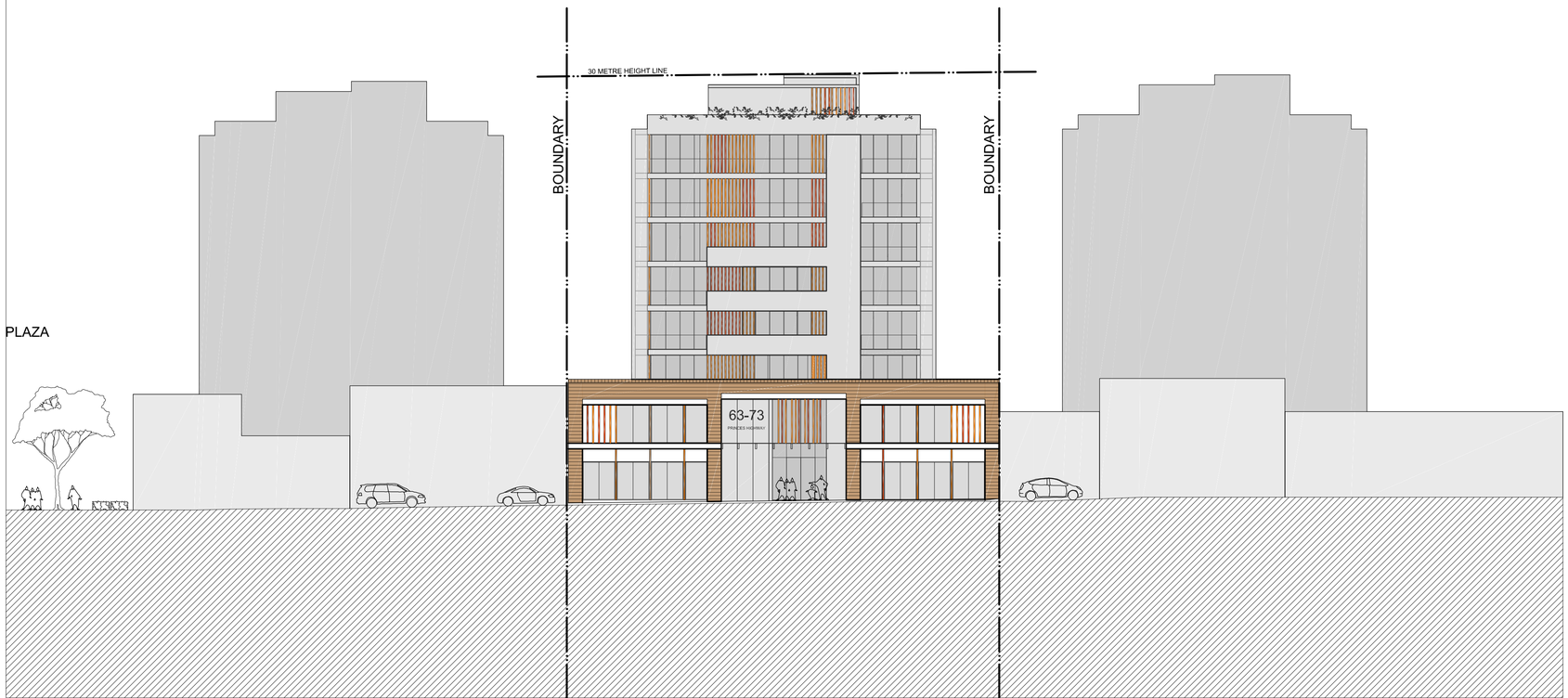
PRE-DA		ML



A - WEST ELEVATIONS WITH STREETSCAPE (EXISTING)
SCALE 1:200



B - WEST ELEVATIONS WITH STREETSCAPE (PROPOSED)
SCALE 1:200

REVISIONS

R	DATE	DESCRIPTION
A	11SEP20	DA SUBMISSION

ARCHITECT

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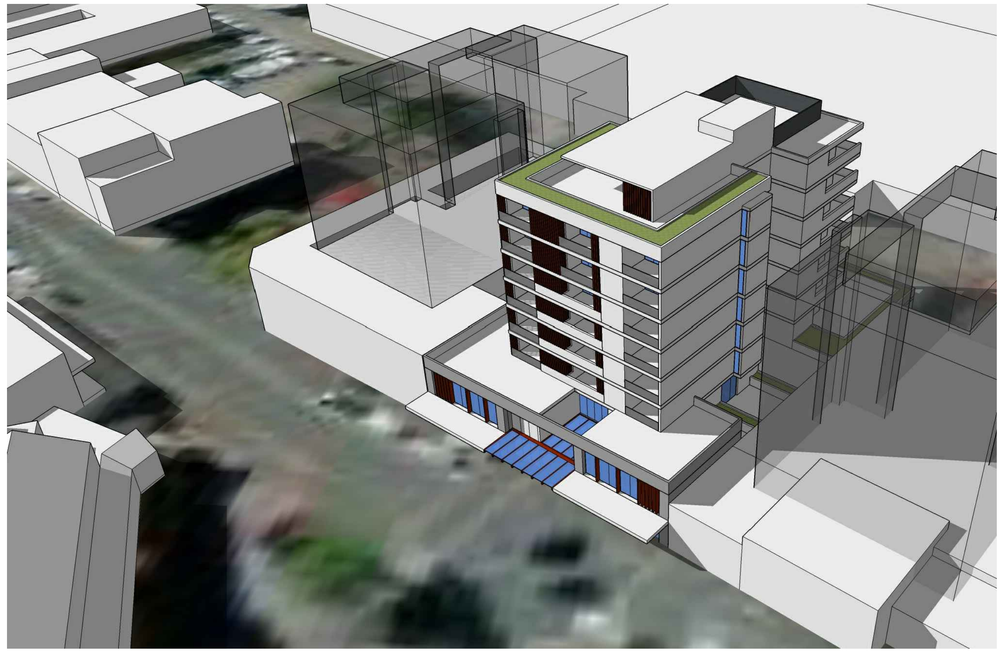
CLIENT
JSS DAPTO PROPERTY GROUP PTY LTD

PROJECT
MIXED USE DEVELOPMENT
63-73 PRINCES HIGHWAY
DAPTO NSW

DRAWING
WEST ELEVATIONS WITH STREETSCAPE

1933	A411-A	1:200@A1
PRE-DA		ML

A - VIEW 3
AERIAL VIEW FROM NORTH



C - VIEW 5
AERIAL VIEW FROM WEST

B - VIEW 4
AERIAL VIEW FROM EAST

D - VIEW 6
AERIAL VIEW FROM SOUTH

REVISIONS

R	DATE	DESCRIPTION
A	11SEP20	DA SUBMISSION

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CLIENT
JSS DAPTO PROPERTY GROUP PTY LTD

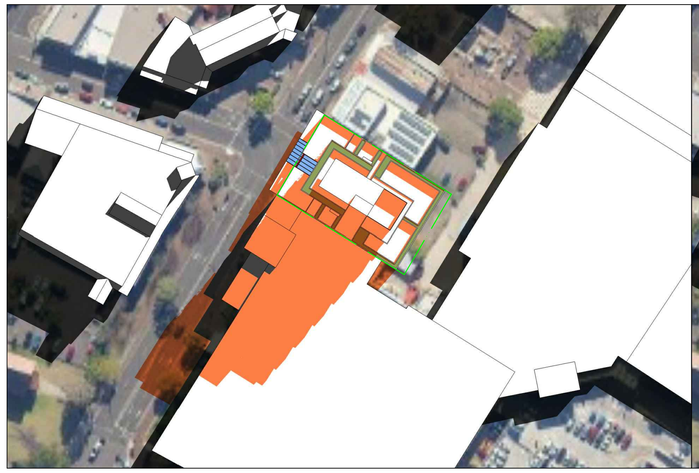
PROJECT
MIXED USE DEVELOPMENT
63-73 PRINCES HIGHWAY
DAPTO NSW

DRAWING
MODEL
AERIAL VIEWS

1933	A413-A	NTS
PRE-DA		ML


DAPTO HOTEL
TAB
63
BIB·07V
KEEP LEFT
MED
CEN
X-ray


R&W
4261 3822 R&W
Companion Animal Veterinary Hospital
Parking at Rear
www.companionanimalvet.com.au | 42 819 838
Parking & Entry
At Rear
VET
cua



21ST JUNE - 0900

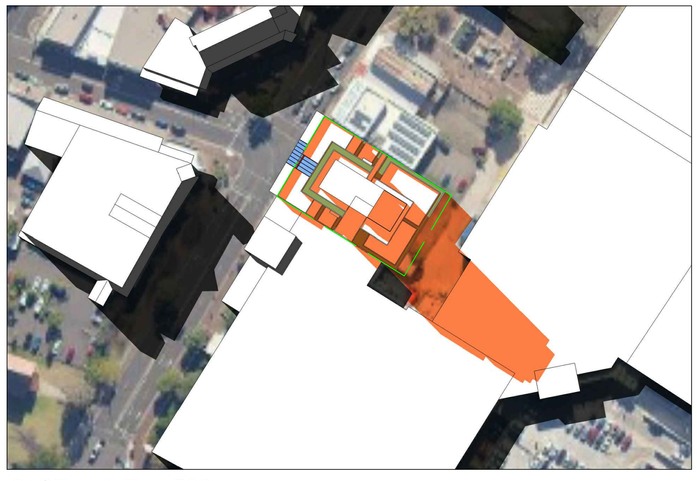
21ST JUNE - 1000

21ST JUNE - 1100

21ST JUNE - 1200

21ST JUNE - 1300

21ST JUNE - 1400



21ST JUNE - 1500

SITE BOUNDARY

ADDITIONAL SHADOW FROM PROPOSED DEVELOPMENT

REVISIONS

R	DATE	DESCRIPTION
A	11SEP20	DA SUBMISSION

ARCHITECT

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CLIENT
JSS DAPTO PROPERTY GROUP PTY LTD

PROJECT
MIXED USE DEVELOPMENT
63-73 PRINCES HIGHWAY
DAPTO NSW

DRAWING
SHADOW ANALYSIS - 1

1933	A611-A	1 :1000@A1
PRE-DA		ML

21ST MAR - 0900

21ST MAR - 1000

21ST MAR - 1100

21ST MAR - 1200

21ST MAR - 1300

21ST MAR - 1400

21ST MAR - 1500

SITE BOUNDARY

ADDITIONAL SHADOW FROM PROPOSED DEVELOPMENT

REVISIONS

R	DATE	DESCRIPTION
A	11SEP20	DA SUBMISSION

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CLIENT
JSS DAPTO PROPERTY GROUP PTY LTD

PROJECT
MIXED USE DEVELOPMENT
63-73 PRINCES HIGHWAY
DAPTO NSW

DRAWING
SHADOW ANALYSIS - 2

1933	A612-A	1 :1000@A1
PRE-DA		ML

Note:

1. Contour Interval 0.2m Minor And 1m Major
2. Only Visible Services Have Been Surveyed
   Refer To Dial Before You Dig
3. Boundary Positions Are Approximate Only
   And Should Be Verified By A Cadastral Survey
4. A Title Search Has Not Been Done To Determine
   Any Affecting Easements Or Restrictions
5. Datum Level Corsnet A.H.D.

CEH Consulting Pty Ltd.

A . B . N . 81 056 544 604

CONSULTING LAND, ENGINEERING AND MINING SURVEYORS, TOWN PLANNERS

' THE LINK ' 44 BAAN BAAN STREET DAPTO NSW 2530

PHONE 02 42 614366 msmith@cehconsulting.com.au FAX 02 42 615243

DETAIL SURVEY

OF LOTS 21 AND 22 IN DP 535273
PRINCES HWY, DAPTO

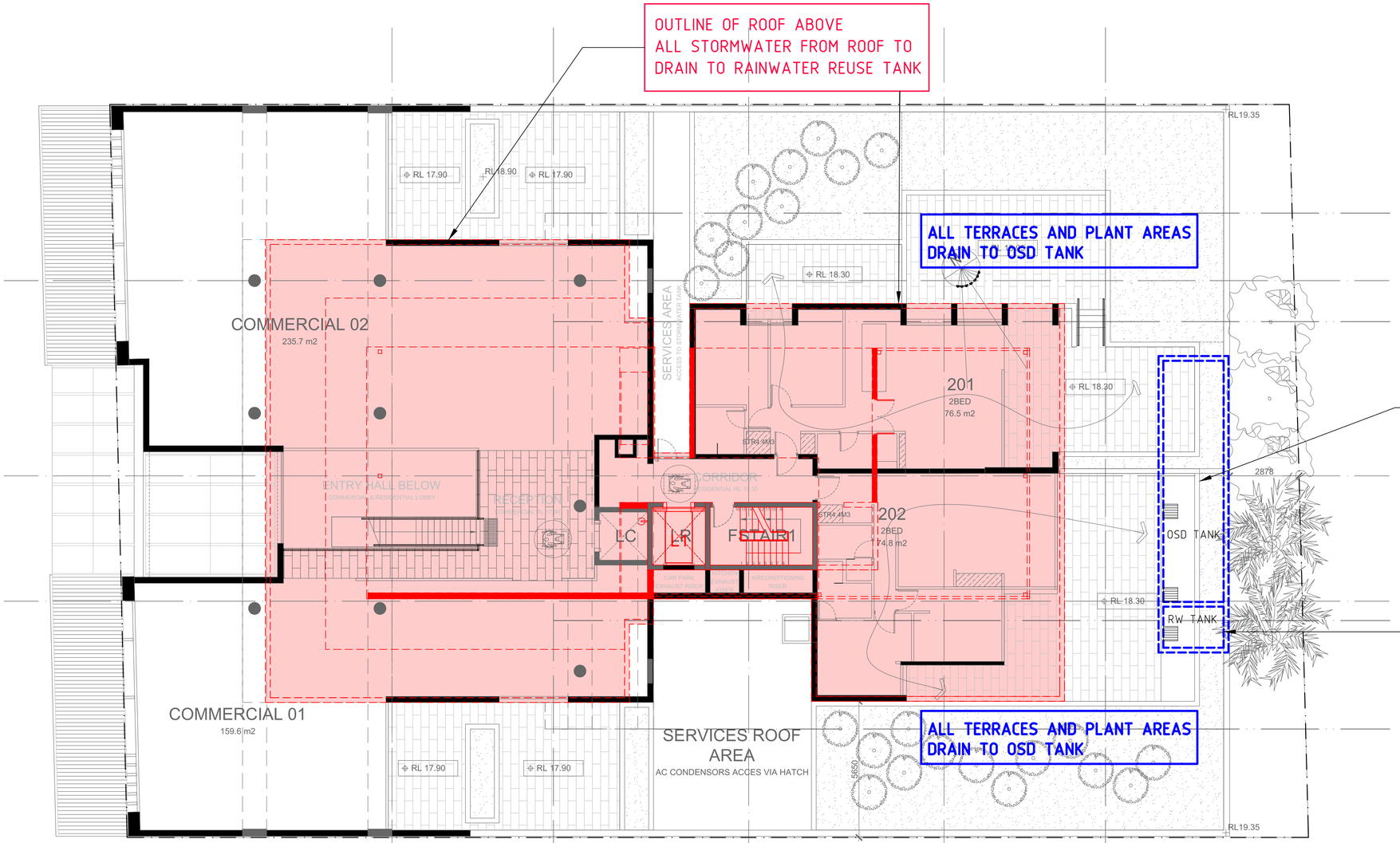
DATE	17/01/2020	AMENDMENTS	SURVEY FILE
SURVEYOR	MB		DWG FILE
DRAWN	MS		
CHECKED	MS		

DRAWING No.

A1-D22005

SCALE 1:200 @ A1

Sheet 1 of 1 Sheets



NORTH

DRAINAGE CONCEPT PROPOSAL LEVEL 2 PLAN

LEGEND

DIRECTION OF FALLS FOR DRAINAGE LINES

NEW Ø100 U.P.V.C. SEWER CLASS DRAINAGE LINE WITH A MINIMUM FALL OF 1.0 % UNLESS NOTED OTHERWISE

GENERAL NOTES

1. PROVIDE ALL SURFACE DRAINAGE WITHIN LANDSCAPED AREAS TO SUIT THE LANDSCAPE LAYOUT TO ARCHITECTS & LANDSCAPE ARCHITECTS REQUIREMENTS
2. PROVIDE CLEANOUT POINTS AT ALL CHANGES IN DIRECTION OF DRAINAGE LINES.
3. BUILDER TO ENSURE ALL PIPES ARE FLUSHED CLEAN PRIOR TO HANDOVER.
4. BUILDER SHALL ENSURE ALL AREAS REQUIRING STORMWATER HAVE OVERFLOWS, WHETHER SHOWN ON THE DRAWINGS OR NOT. PROVIDE ONE 100mmØ OVERFLOW FOR EACH 100m² OF CATCHMENT AREA.
5. BUILDER TO PROVIDE ALL DRAINAGE REQUIREMENTS TO COMPLY WITH AS 3500.

ON-SITE DETENTION CALCULATIONS

• TOTAL SITE AREA	1672m²
• ASSUMED 70% OF UNDEVELOPED SITE DRAINS TO PRINCES HIGHWAY, 30% TO REAR	
• CALCULATED STORAGE VOLUME REQUIRED	14.2m³
• STORAGE VOLUME PROVIDED	15m³
• MIN. ORIFICE PLATE DIAMETER	Ø185
• CALCULATED PERMITTED SITE DISCHARGE	70l/s

ALL DETAILS OF OSD TANKS ARE TO COMPLY WOLLONGONG COUNCILS STANDARD DETAILS ALL ASPECTS OF DRAINAGE SYSTEMS TO BE INSTALLED TO AS3500 & COUNCILS REQUIREMENTS

RAINWATER REUSE TANK USAGE:

- WATERING OF COMMON LANDSCAPED AREA;
- OUTDOOR TAPS.

REFER TO COUNCILS TECHNICAL GUIDELINES FOR RAINWATER REUSE TANK REQUIREMENTS & DETAILS

ALL DETAILS OF RAINWATER TANKS ARE TO COMPLY WITH WOLLONGONG COUNCIL AND SYDNEY WATER SPECIFICATIONS AND DETAILS. ALL ASPECTS OF DRAINAGE SYSTEMS TO BE INSTALLED TO SYDNEY WATER AND COUNCILS REQUIREMENTS.

NOTES

- ALL ROOF TERRACE WATER DRAINS TO RAINWATER REUSE TANK THEN OSD TANK, OVERFLOW TO KERB & GUTTER AT REAR.
- ALL PIPES TO CATER FOR THE 100 YEAR ARI.
- SEEPAGE WATER IN BASEMENT IS TO DRAIN INTO SEEPAGE PIT AND DRAIN TO BOUNDARY GROSS POLLUTANT CONTROL PIT.

BUILDER TO PROVIDE ALL DRAINAGE REQUIREMENTS TO COMPLY WITH AS 3500 & COUNCIL REQUIREMENTS.

REV	DATE	DESCRIPTION
A	24.05.21	FOR COUNCIL SUBMISSION

ARCHITECT

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PROJECT

MIXED USE DEVELOPMENT
63-73 PRINCES HIGHWAY
DAPTO, NSW

DRG

DRAINAGE CONCEPT PROPOSAL LEVEL 2 PLAN

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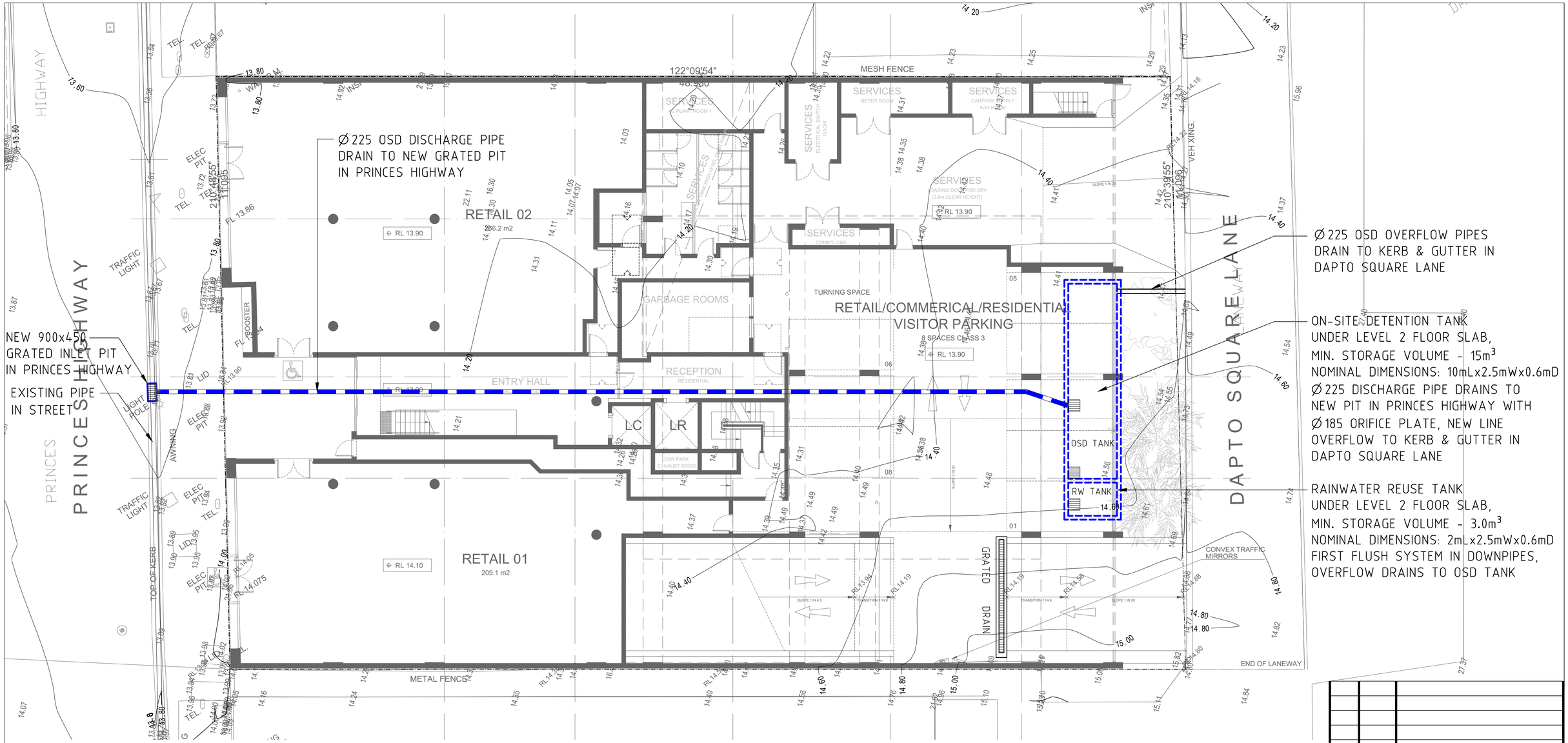
postal address: po box 591 northbridge, nsw 1560

DESIGNED

SCALE	DATE	DRG No.	REV
1:100	August,2020	63894 DCP1	A



NOTE:

THIS IS A COMPILATION ENGINEERING AND SURVEY DRAWING DEPICTING STRUCTURAL ELEMENTS OVERLAYED ON AN EXISTING SITE SURVEY.
SITE SURVEY PREPARED BY :
CEH CONSULTING P/L
REF: A1-D22005 DATE: 17/01/2020
Ph - 4261 4366

NORTH

DRAINAGE CONCEPT PROPOSAL LEVEL 1 PLAN

LEGEND

- DIRECTION OF FALLS FOR DRAINAGE LINES
- NEW U.P.V.C. SEWER CLASS DRAINAGE LINE WITH A MINIMUM FALL OF 1.0% UNLESS NOTED OTHERWISE
- ACCESS HATCHES 600 x 600

GENERAL NOTES

1. PROVIDE ALL SURFACE DRAINAGE WITHIN LANDSCAPED AREAS TO SUIT THE LANDSCAPE LAYOUT TO ARCHITECTS & LANDSCAPE ARCHITECTS REQUIREMENTS
2. PROVIDE CLEANOUT POINTS AT ALL CHANGES IN DIRECTION OF DRAINAGE LINES.
3. BUILDER TO ENSURE ALL PIPES ARE FLUSHED CLEAN PRIOR TO HANDOVER.
4. BUILDER SHALL ENSURE ALL AREAS REQUIRING STORMWATER HAVE OVERFLOWS, WHETHER SHOWN ON THE DRAWINGS OR NOT. PROVIDE ONE 100mmØ OVERFLOW FOR EACH 100m² OF CATCHMENT AREA.
5. BUILDER TO PROVIDE ALL DRAINAGE REQUIREMENTS TO COMPLY WITH AS 3500.

ON-SITE DETENTION CALCULATIONS

• TOTAL SITE AREA	1672m²
• ASSUMED 70% OF UNDEVELOPED SITE DRAINS TO PRINCES HIGHWAY, 30% TO REAR	
• CALCULATED STORAGE VOLUME REQUIRED	14.2m³
• STORAGE VOLUME PROVIDED	15m³
• MIN. ORIFICE PLATE DIAMETER	Ø185
• CALCULATED PERMITTED SITE DISCHARGE	70l/s

ALL DETAILS OF OSD TANKS ARE TO COMPLY WOLLONGONG COUNCILS STANDARD DETAILS ALL ASPECTS OF DRAINAGE SYSTEMS TO BE INSTALLED TO AS3500 & COUNCILS REQUIREMENTS

RAINWATER REUSE TANK USAGE:

- WATERING OF COMMON LANDSCAPED AREA;
- OUTDOOR TAPS.

REFER TO COUNCILS TECHNICAL GUIDELINES FOR RAINWATER REUSE TANK REQUIREMENTS & DETAILS

ALL DETAILS OF RAINWATER TANKS ARE TO COMPLY WITH WOLLONGONG COUNCIL AND SYDNEY WATER SPECIFICATIONS AND DETAILS. ALL ASPECTS OF DRAINAGE SYSTEMS TO BE INSTALLED TO SYDNEY WATER AND COUNCILS REQUIREMENTS.

NOTES

- ALL ROOF TERRACE WATER DRAINS TO RAINWATER REUSE TANK THEN OSD TANK, OVERFLOW TO KERB & GUTTER AT REAR.
- ALL PIPES TO CATER FOR THE 100 YEAR ARI.
- SEEPAGE WATER IN BASEMENT IS TO DRAIN INTO SEEPAGE PIT AND DRAIN TO BOUNDARY GROSS POLLUTANT CONTROL PIT. BUILDER TO PROVIDE ALL DRAINAGE REQUIREMENTS TO COMPLY WITH AS 3500 & COUNCIL REQUIREMENTS.

REV	DATE	DESCRIPTION
A	24.05.21	FOR COUNCIL SUBMISSION

ARCHITECT

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PROJECT

MIXED USE DEVELOPMENT
63-73 PRINCES HIGHWAY
DAPTO, NSW

DRG

DRAINAGE CONCEPT PROPOSAL LEVEL 1 PLAN

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DESIGNED

SCALE	DATE	DRG No.	REV
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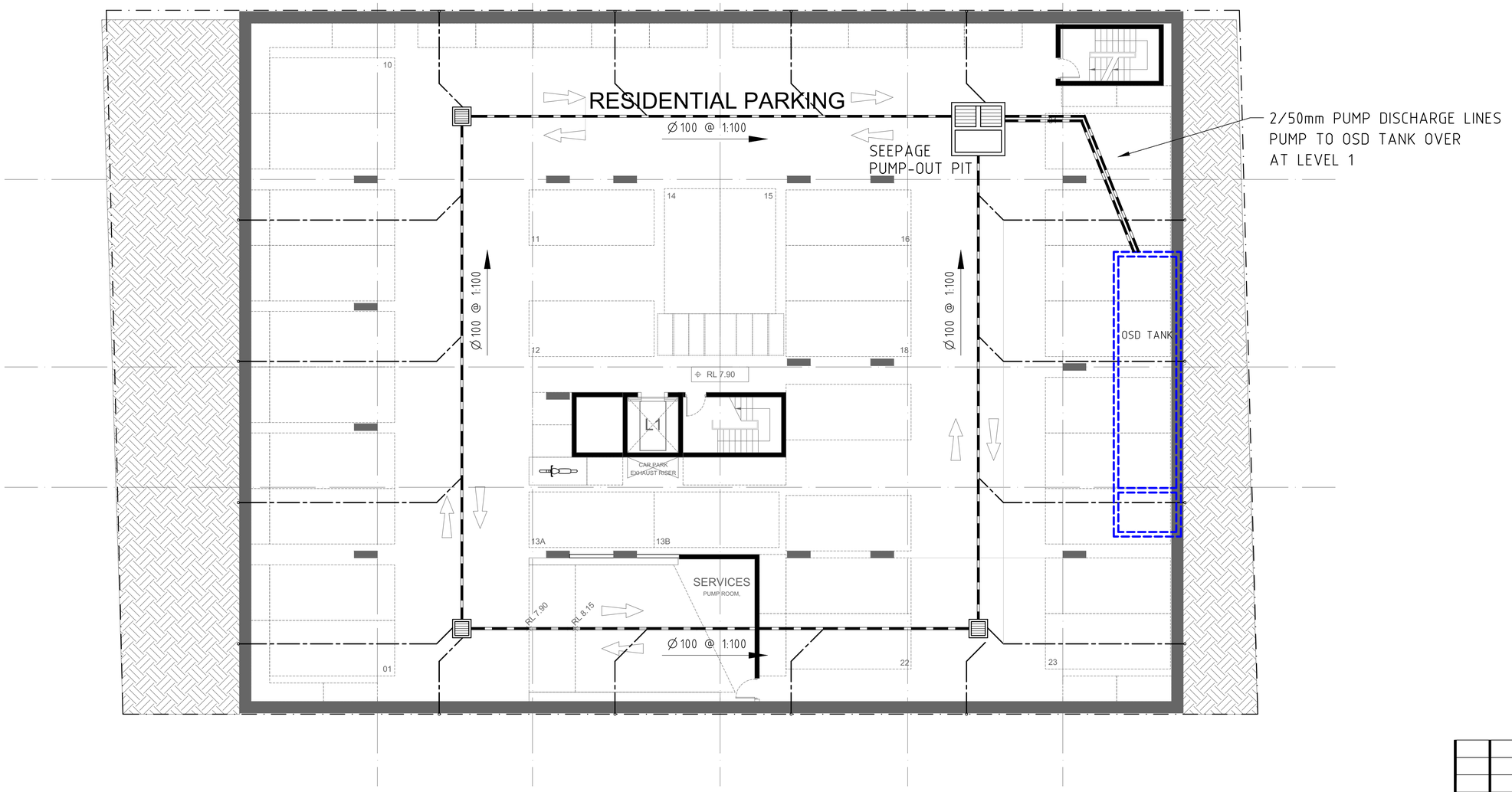

NORTH

DRAINAGE CONCEPT PROPOSAL
BASEMENT B2 PLAN

LEGEND

DIRECTION OF FALLS FOR DRAINAGE LINES.

100mm Ø U.P.V.C. SEWER CLASS DRAINAGE LINE WITH A MINIMUM FALL OF 1.0 % UNLESS NOTED OTHERWISE.

90mm Ø AG PIPE IN BED OF SCREENINGS

STORMWATER PIT

PUMP OUT PIT
2 x 8l/s PUMP ON ROTATION

REV	DATE	DESCRIPTION
A	24.05.21	FOR COUNCIL SUBMISSION

ARCHITECT

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PROJECT

MIXED USE DEVELOPMENT
63-73 PRINCES HIGHWAY
DAPTO, NSW

DRG

DRAINAGE CONCEPT PROPOSAL
BASEMENT B2 PLAN

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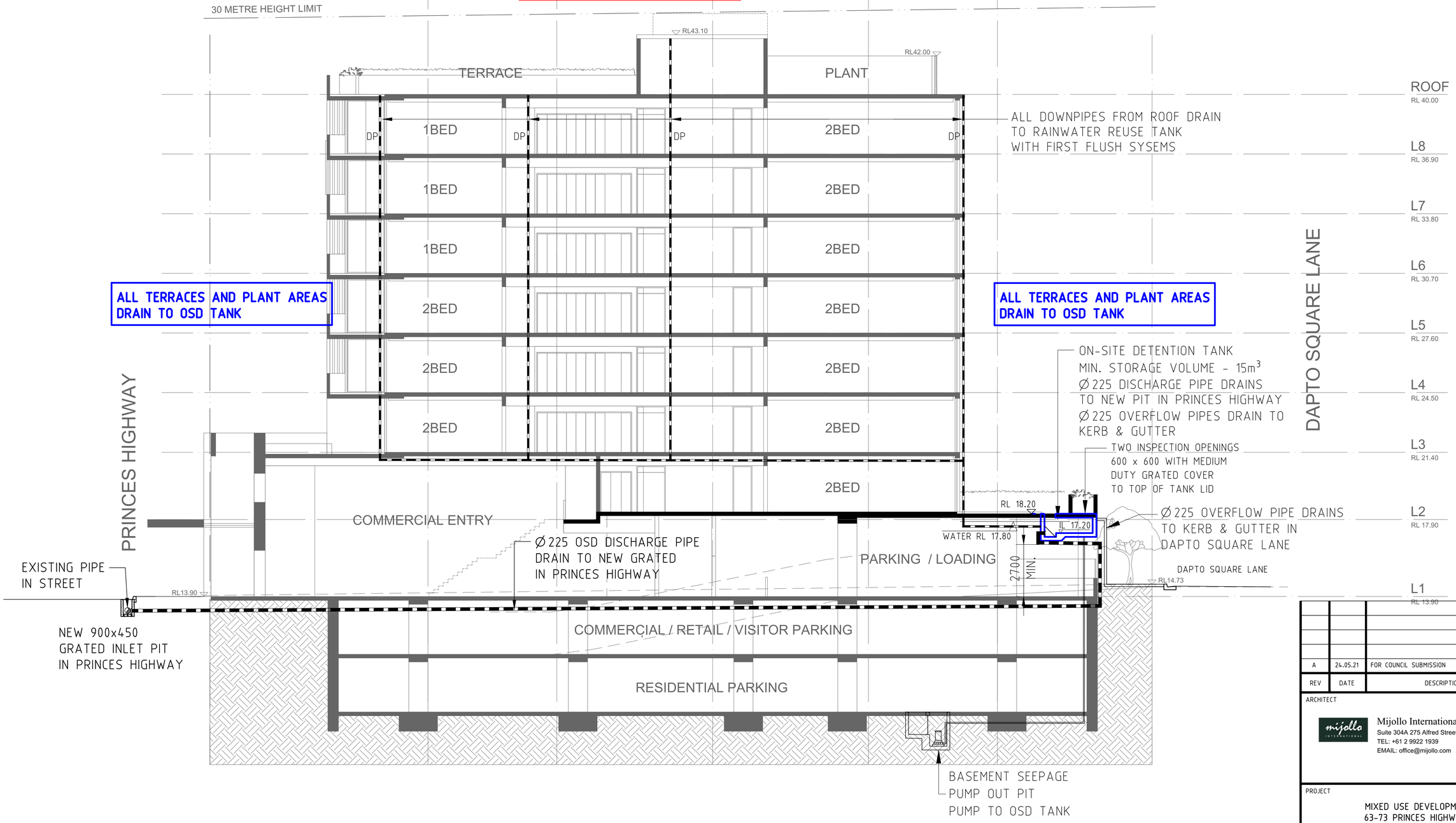
DESIGNED

SCALE	DATE	DRG No.	REV
1:100	August,2020	63894 DCP3	A

ALL STORMWATER FROM ROOF TO DRAIN TO RAINWATER REUSE TANK



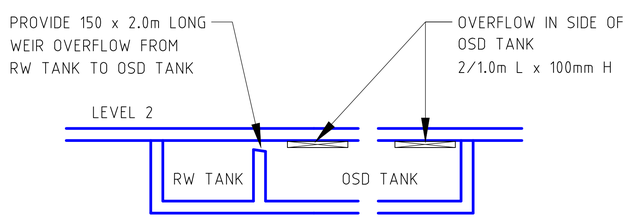
NORTH

DRAINAGE CONCEPT PROPOSAL TYPICAL SECTION

LEGEND

DIRECTION OF FALLS FOR DRAINAGE LINES.

NEW U.P.V.C. SEWER CLASS DRAINAGE LINE WITH A MINIMUM FALL OF 1.0 % UNLESS NOTED OTHERWISE.



TYPICAL OVERFLOW DETAIL

REV	DATE	DESCRIPTION
A	24.05.21	FOR COUNCIL SUBMISSION

ARCHITECT

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EMAIL: office@mijollo.com

PROJECT

MIXED USE DEVELOPMENT
63-73 PRINCES HIGHWAY
DAPTO, NSW

DRG

DRAINAGE CONCEPT PROPOSAL TYPICAL SECTION

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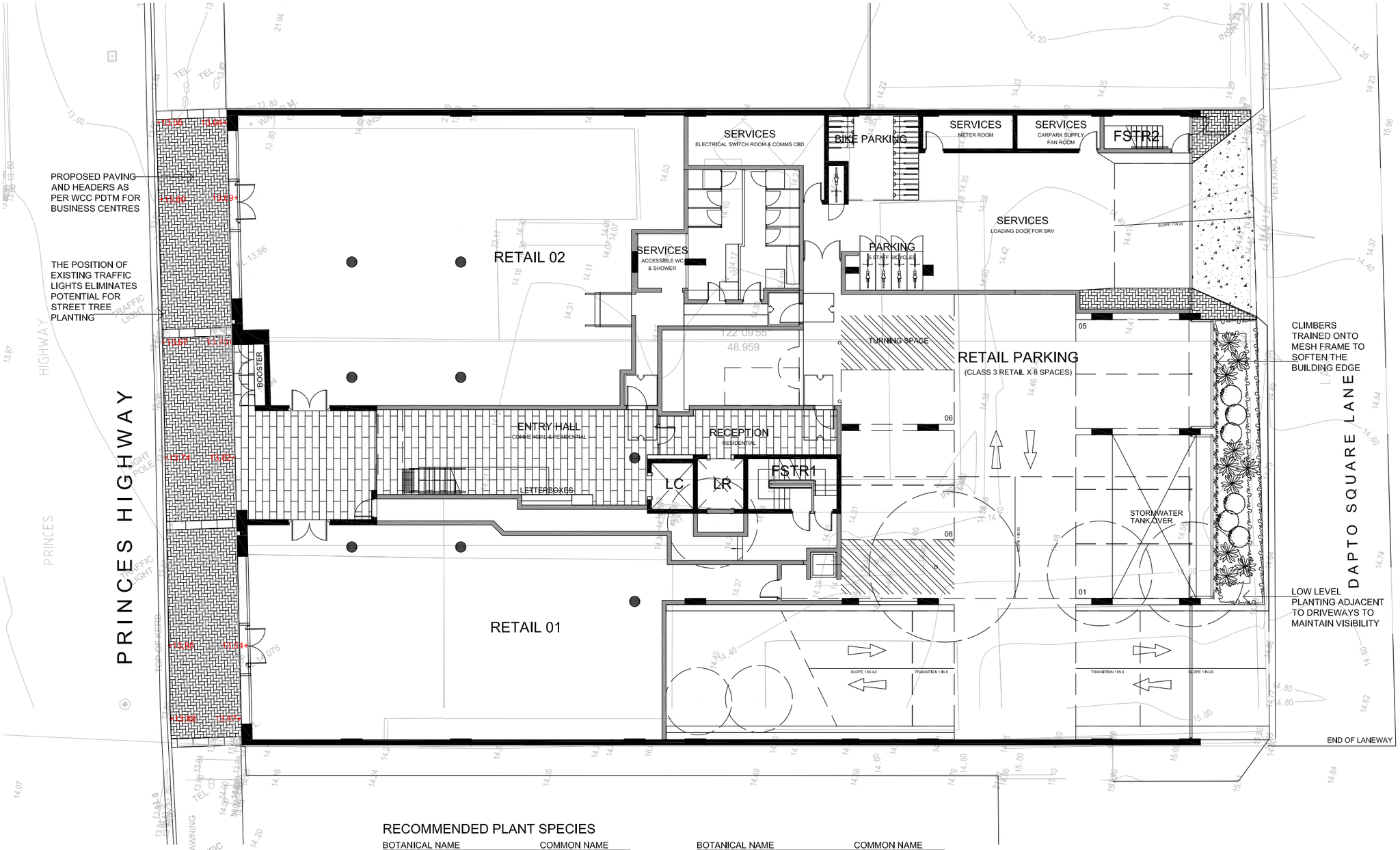
CONSULT AUSTRALIA MEMBER

DESIGNED

SCALE	DATE	DRG No.	REV
1:100	August,2020	63894 DCP4	A



LEGEND

- Existing levels and contours
- +13.50 — Proposed spot levels
- Existing trees to be removed
- Climbers trained onto vertical mesh frame
- Proposed mass shrub planting
- 90 degree herringbone paving as per Business Centres Public Domain Manual
- Basalt feature banding as per Business Centres Public Domain Manual
- Proposed charcoal coloured concrete driveway

RECOMMENDED PLANT SPECIES

BOTANICAL NAME	COMMON NAME
TREES	
Acmena smithii 'Minor'	Lilly Pilly
Largerstroemia 'Sioux'	Dwarf Crepe Myrtle
Michelia 'Bubbles'	Port Wine Magnolia
Magnolia 'Little Gem'	Magnolia
Magnolia 'Teddy Bear'	Magnolia
Tristaniopsis laurina 'Luscious'	Water Gum
Syzigium australe 'Straight and Narrow'	Lily Pily
LARGE SHRUBS	
Acmena 'Cherry Surprise'	Dwarf Lilly Pilly
Backhousia citriodora	Lemon Myrtle
Murraya paniculata	Mexican Orange Blossum
Syzigium 'Resilience'	Dwarf Brush Cherry
Photinia 'Red Robin'	Photinia
Callistemon citrinus cvs	Bottlebrush
Metrosideros 'Dalese'	Dwarf NZ Xmas Bush
SMALL SHRUBS	
Acmena 'Allyn Magic'	Dwarf Lilly Pilly
Raphiolepis 'Snow Maiden'	Dwarf Hawthorn
Escallonia macrantha 'Apple Blossum'	Escallonia
Gardenia augusta 'Florida'	Gardenia
Zamia furfuracae	Cardboard Plant
Banksia 'Roller Coaster'	Dwarf Banksia
Correa alba	White Correa
Rahiolepis 'Oriental Pearl'	Dwarf Hawthorn
Westringia 'Mundii'	Dwarf Coastal Rosemary
Westringia 'Grey Box'	Dwarf Coastal Rosemary
Carissa 'Emerald Star'	Carissa

BOTANICAL NAME	COMMON NAME
ACCENT PLANTS	
Agave attenuifolia	Agave
Arthropodium 'Matapouri Bay'	Arthropodium
Echium fastuosum	Pride of Madeira
Cycas revoluta	Japanese Sago
ACCENT PLANTS	
Clematis aristata	Old Mans Beard
Hibbertia scandens	Snake Vine
Pandorea pandorana	Wonga Wonga Vine
Kennedia rubicunda	Running Postman
GROUND COVERS, GRASSES AND SUCCULENTS	
Disphyllum 'Sunburn'	Native Disphyllum
Senecio 'Trident Blue'	Blue Chalksticks
Santolinia chamaecyparissus	Cotton Lavender
Casuarina 'Cousin It'	Dwarf Casuarina
Echeveria agavoides	Red Edge Echeveria
Echeveria elegans	Mexican Snowball
Grevillea lanigera 'Mt Tamboritha'	Spider Flower
Myoporum parvifolium	Creeping Boobialla
Lomandra 'Little Con'	Fine Leaf Mat Rush
Dianella 'Silver Streak'	Paroo Lily
Dianella 'King Alfred'	Paroo Lilly
Dianella 'Cassa Blue'	Paroo Lilly
Gardenia radicans	Dwarf Gardenia
Liriope muscari	Turf Lilly
Westringia 'Zena'	Dwarf Coastal Rosemary

0 1 2 3 4 m 6 8 10

ISSUE: Amended Development Application 20.07.21
ISSUE: Amended Development Application 20.05.21
ISSUE: Amended Development Application 23.03.21
ISSUE: Development Application 17.09.20
ISSUE: For Co-ordination 03.09.20, 04.09.20

REV.B: Amend planting 20.07.21
REV.A: Amended building and landscape 20.05.21

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Innovation Campus, North Wollongong
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PROJECT
Proposed Mixed Use Development
63-73 Princes Highway
DAPTO

DRAWING TITLE
Landscape Concept Plan - Level 1

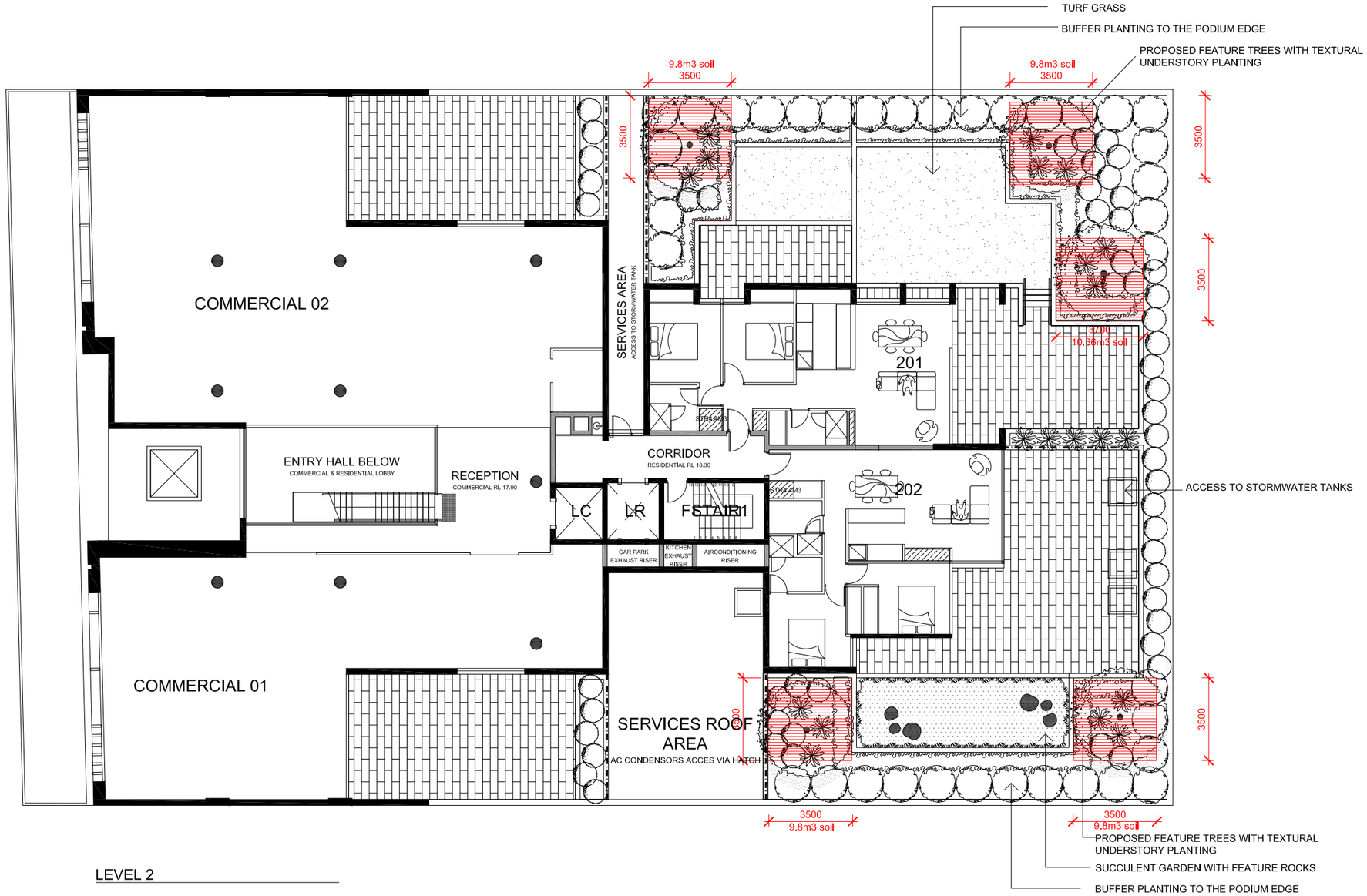
CLIENT
DSS Dapto Property Group Pty Ltd

DRAWING NO.
1918-LD01B

SCALE: 1:100 @ A1, 1:200 @ A3

CHECKED: TW

DATE. 20.08.20



LEVEL 2

LEGEND

- Proposed tree planting
- Proposed mass shrub planting
- Proposed turf
- Proposed succulent garden
- Proposed select tile paving
- Proposed slatted fence 1800mm high
- Proposed raised planter to engineers detail

0 1 2 3 4 m 6 8 10

ISSUE: Amended Development Application 20.07.21
ISSUE: Amended Development Application 23.03.21
ISSUE: For Co-ordination 11.02.21
ISSUE: Development Application 17.09.20
ISSUE: For Co-ordination 03.09.20, 04.09.20

REV.C: Amend Commercial planters 20.07.21
REV.B: Amend building and landscape 20.05.21
REV.A: Amend planters, add soil volume dims. 10.02.21

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PROJECT
Proposed Mixed Use Development
63-73 Princes Highway
DAPTO

DRAWING TITLE
Landscape Concept Plan - Level 2

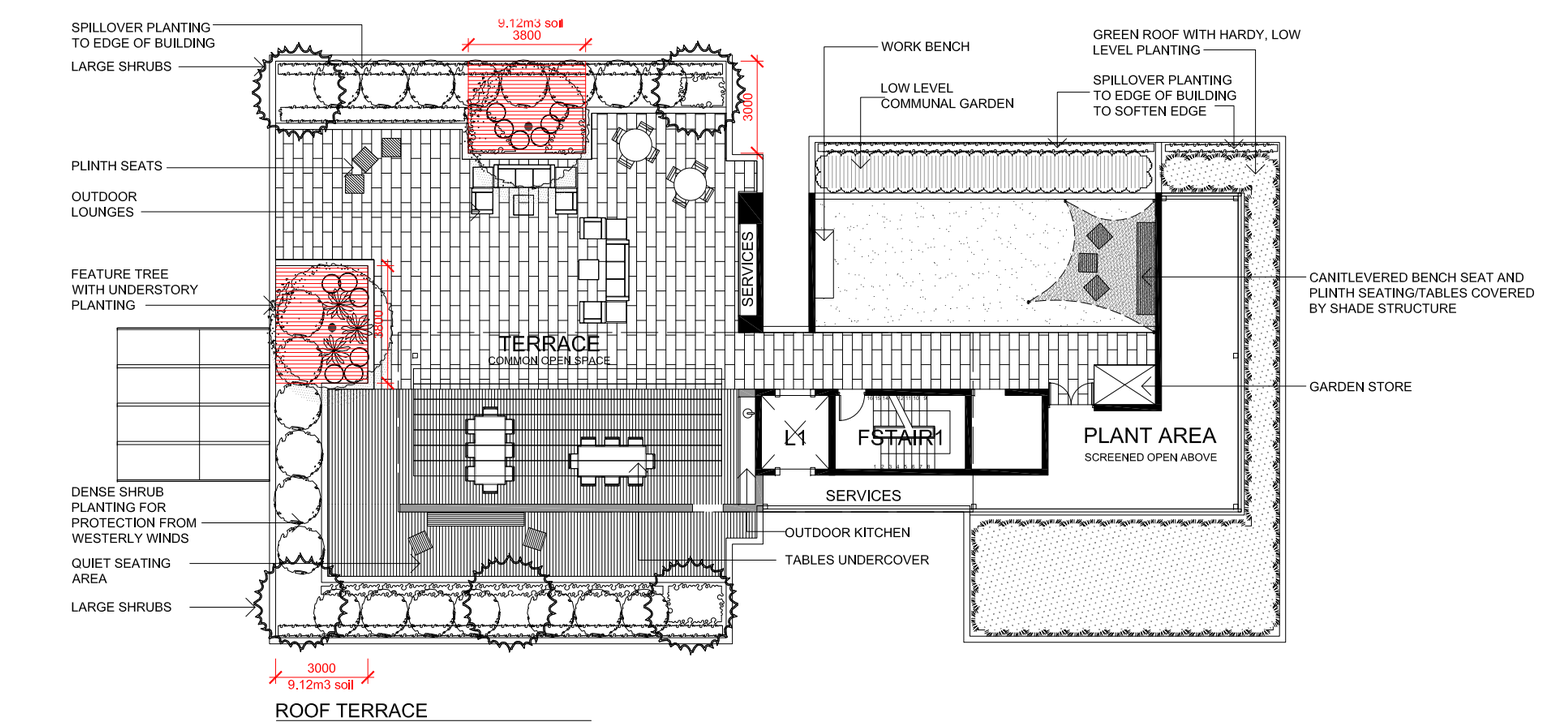
CLIENT
DSS Dapto Property Group Pty Ltd

DRAWING NO.
1918-LD02C

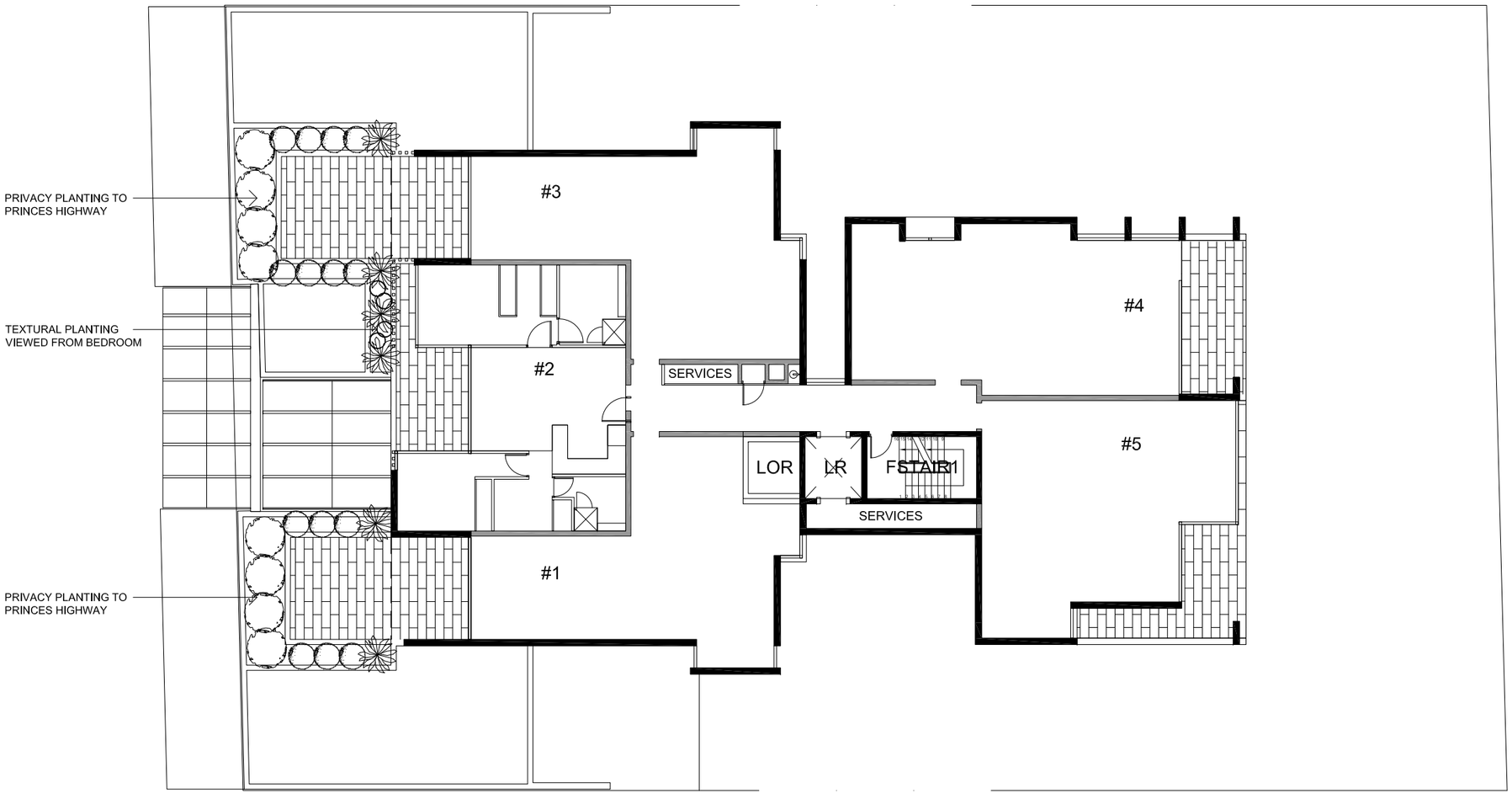
SCALE: 1:100 @ A1, 1:200 @ A3

CHECKED: TW

DATE. 20.08.20



ROOF TERRACE



LEVEL 3

LEGEND

- Proposed tree planting
- Proposed mass shrub planting
- Proposed turf
- Proposed select tile paving
- Proposed timber look tiles
- Proposed furniture
- Proposed furniture
- Proposed furniture
- Proposed shade structure
- Proposed raised planter to engineers detail
- Proposed communal garden
- Proposed green roof

0 1 2 3 4 m 6 8 10

ISSUE: Amended Development Application 20.07.21
ISSUE: Amended Development Application 20.05.21
ISSUE: Amended Development Application 23.03.21
ISSUE: For Co-ordination 11.02.21
ISSUE: Development Application 17.09.20
ISSUE: For Co-ordination 03.09.20, 04.09.20

REV.C: Amend landscape20.07.21
REV.B: Amend landscape 20.05.21
REV.A: Amend roof terrace COS, add soil volume dims 10.02.21

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PROJECT
Proposed Mixed Use Development
63-73 Princes Highway
DAPTO

DRAWING TITLE
Level 3 and Roof Terrace
Landscape Concept Plan

CLIENT
DSS Dapto Property Group Pty Ltd

DRAWING NO.
1918-LD03C

SCALE: 1:100 @ A1, 1:200 @ A3

CHECKED: TW

DATE. 20.08.20

ATTACHMENT 2 – FSR and Building Height Extracts and Site Photographs

Wollongong Local Environmental Plan 2009, Floor Space Ratio (FSR) Map

Wollongong Local Environmental Plan 2009, Building Height Map

SITE PHOTOGRAPHS

Date: 8 April 2021
Description: View South west along Dapto Square Lane. Photo taken East of Dapto Square

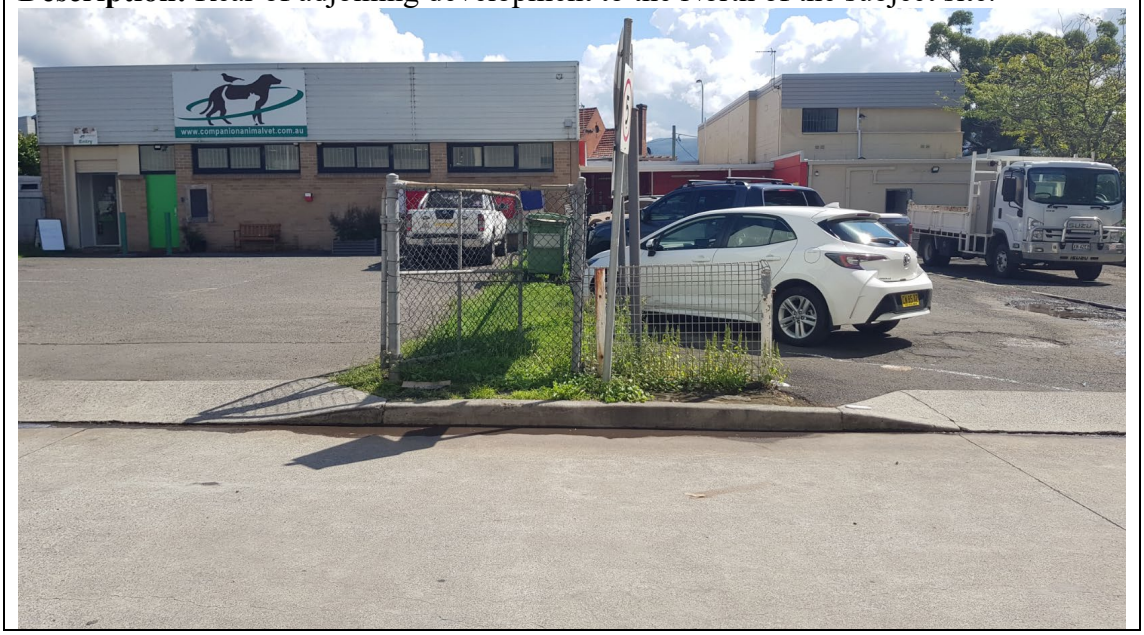
Date: 8 April 2021
Description: View South along Dapto Square Lane. Photo taken East of Dapto Square

Date: 8 April 2021
Description: View South along Dapto Square Lane. Photo taken East of Dapto Square.

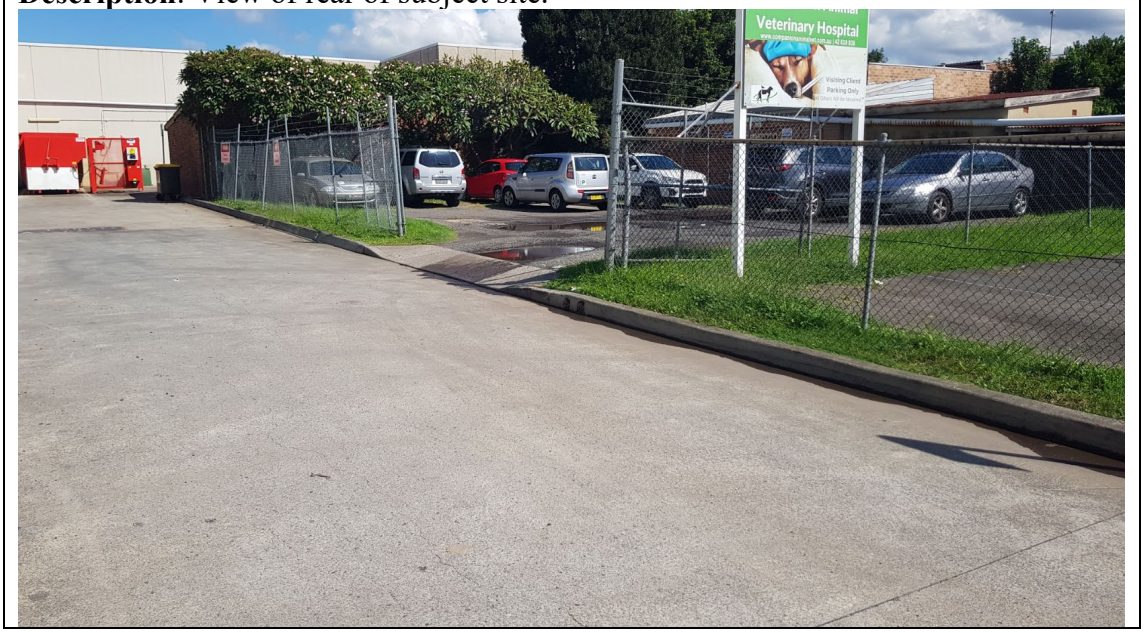
Date: 8 April 2021
Description: Dapto Square as viewed from Dapto Square Lane.

Date: 8 April 2021
Description: Rear of development North of the subject site.

Date: 8 April 2021
Description: Rear of adjoining development to the North of the subject site.



Date: 8 April 2021
Description: View of rear of subject site.



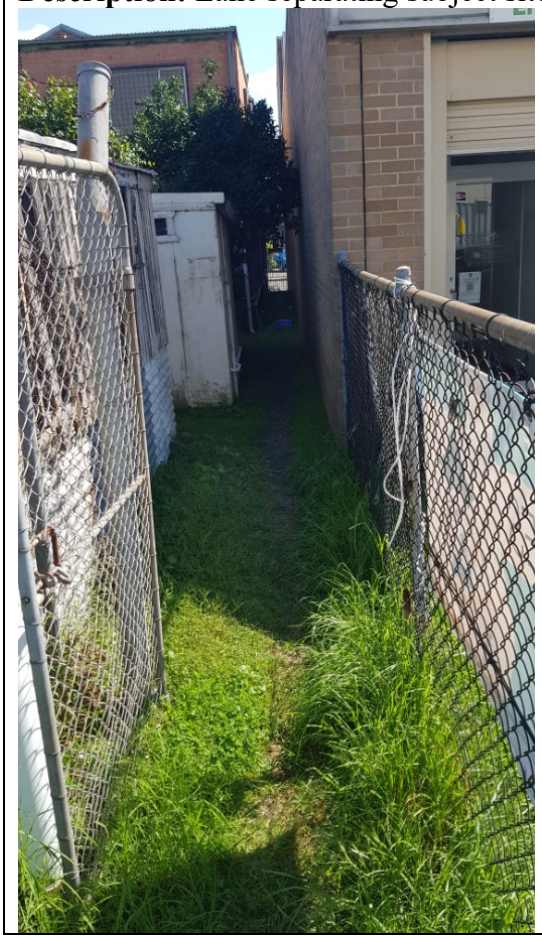
Date: 8 April 2021
Description: Rear of subject site as viewed from Dapto Square Lane

Date: 8 April 2021
Description: Rear of subject site as viewed from Dapto Square Lane

Date: 8 April 2021
Description: Rear of adjoining development to the North of the subject site. Photo taken to the rear of the subject site.

Date: 8 April 2021
Description: Rear of adjoining development to the North of the subject site. Photo taken from the rear of the subject site

Date: 8 April 2021
Description: Lane separating subject site from adjoining property to the North.

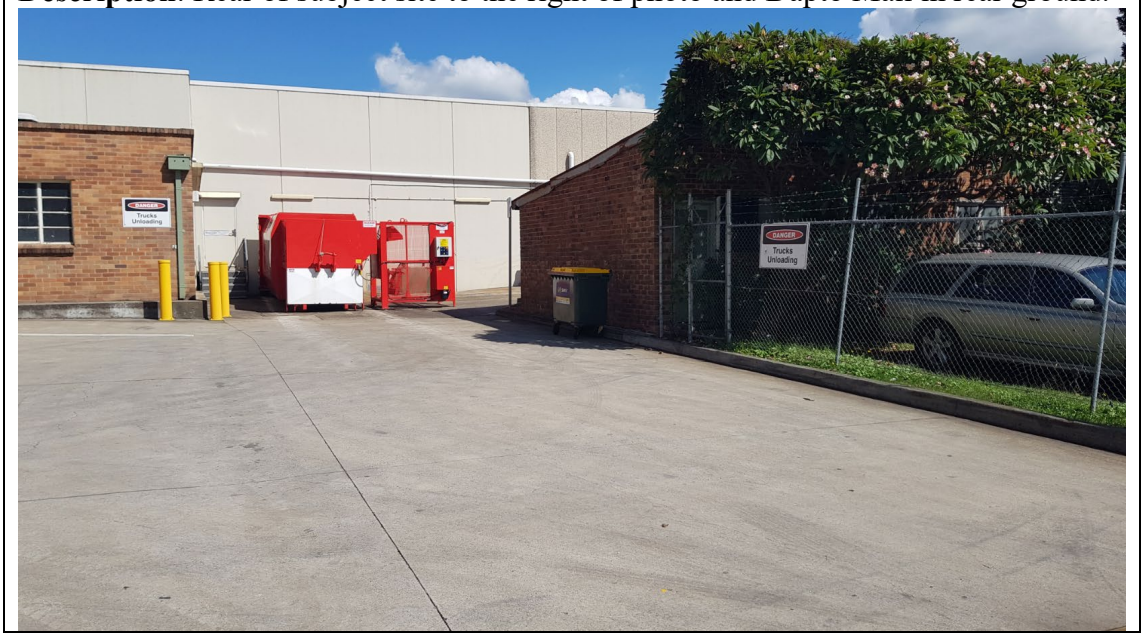


Date: 8 April 2021
Description: Structures to the rear of the subject site to be demolished**.**

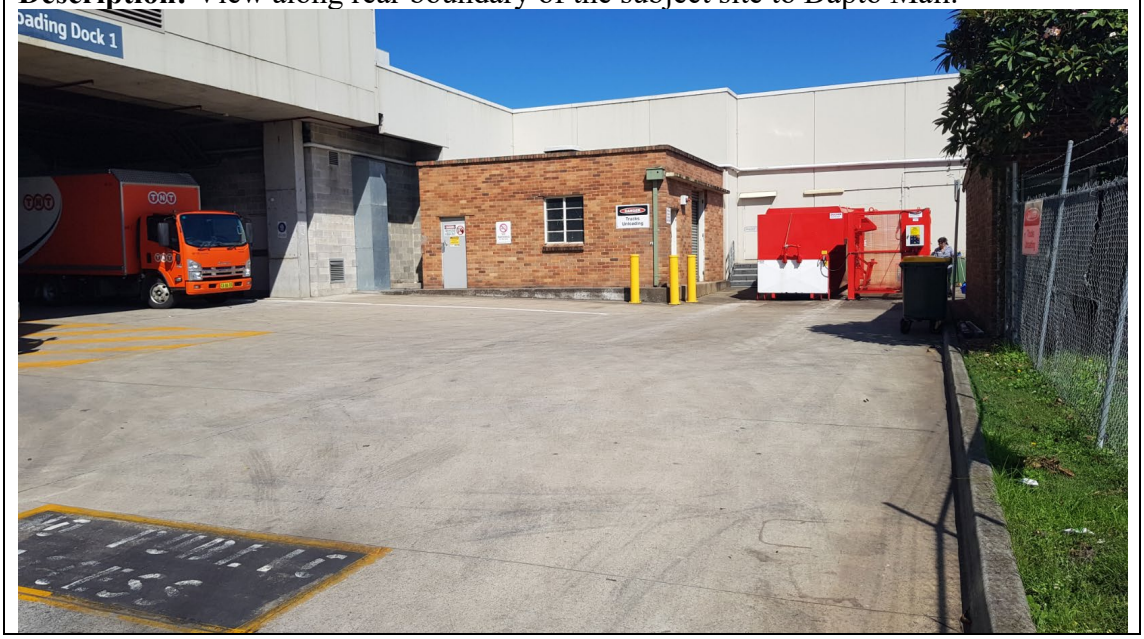
Date: 8 April 2021
Description: Compactor for Dapto Mall to the rear of the subject site.

Date: 8 April 2021
Description: View North along Dapto Square Lane. Photo taken from rear of the subject site.

Date: 8 April 2021
Description: Rear of subject site to the right of photo and Dapto Mall in rear ground.



Date: 8 April 2021
Description: View along rear boundary of the subject site to Dapto Mall.



Date: 8 April 2021
Description: Rear boundary of the subject site to the left of photo. Photo taken facing North**.**

Date: 8 April 2021
Description: View North along Dapto Square Lane. Subject site to the left of photo.

Date: 8 April 2021
Description: Adjoining property to the South of the subject site.

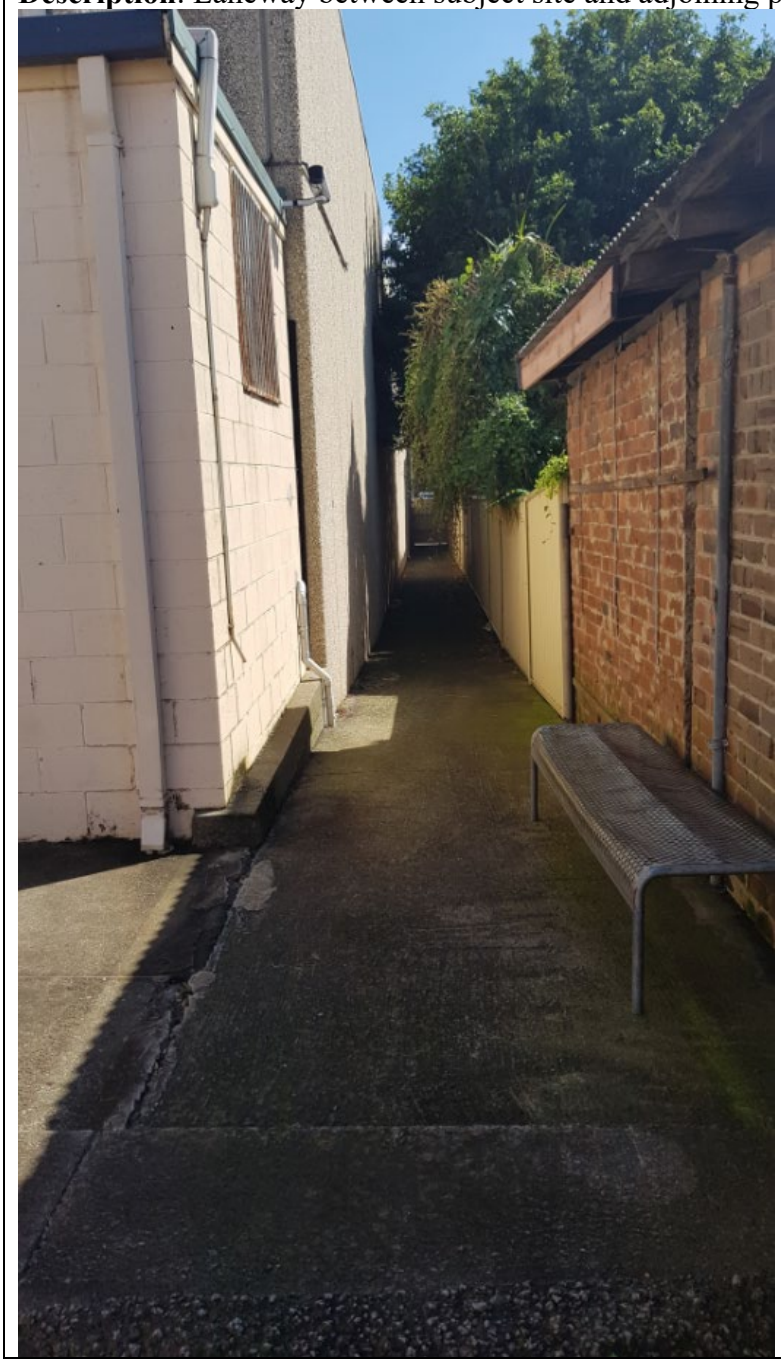
Date: 8 April 2021
Description: Rear of adjoining property to the South of the subject site.

Date: 8 April 2021
Description: Structures on subject site as viewed from rear parking of adjoining property to the South.

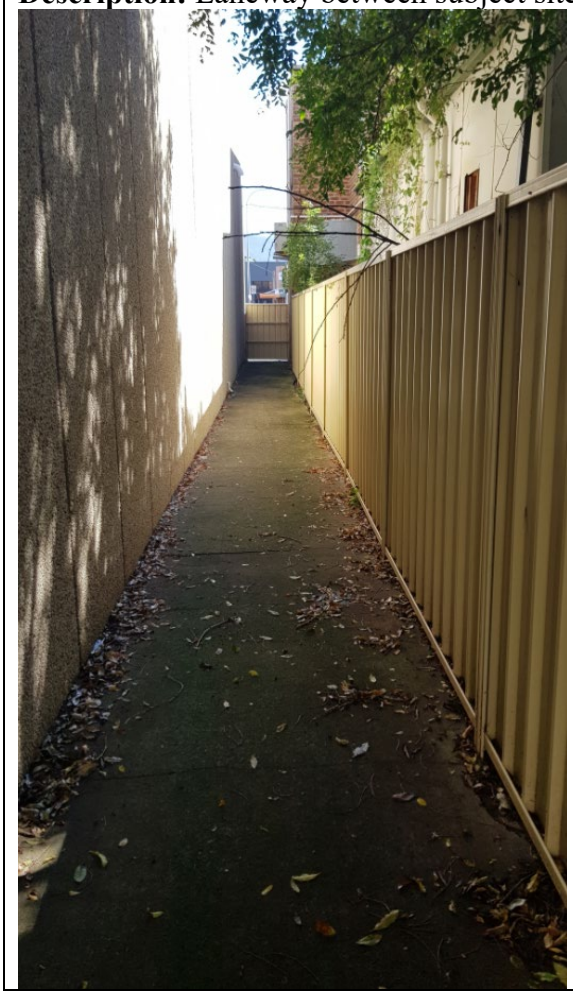
Date: 8 April 2021
Description: View East from rear of adjoining property to the South. Subject site to the left of photo.

Date: 8 April 2021
Description: Laneway between subject site and adjoining property to the South.

Date: 8 April 2021
Description: Laneway between subject site and adjoining property to the South.

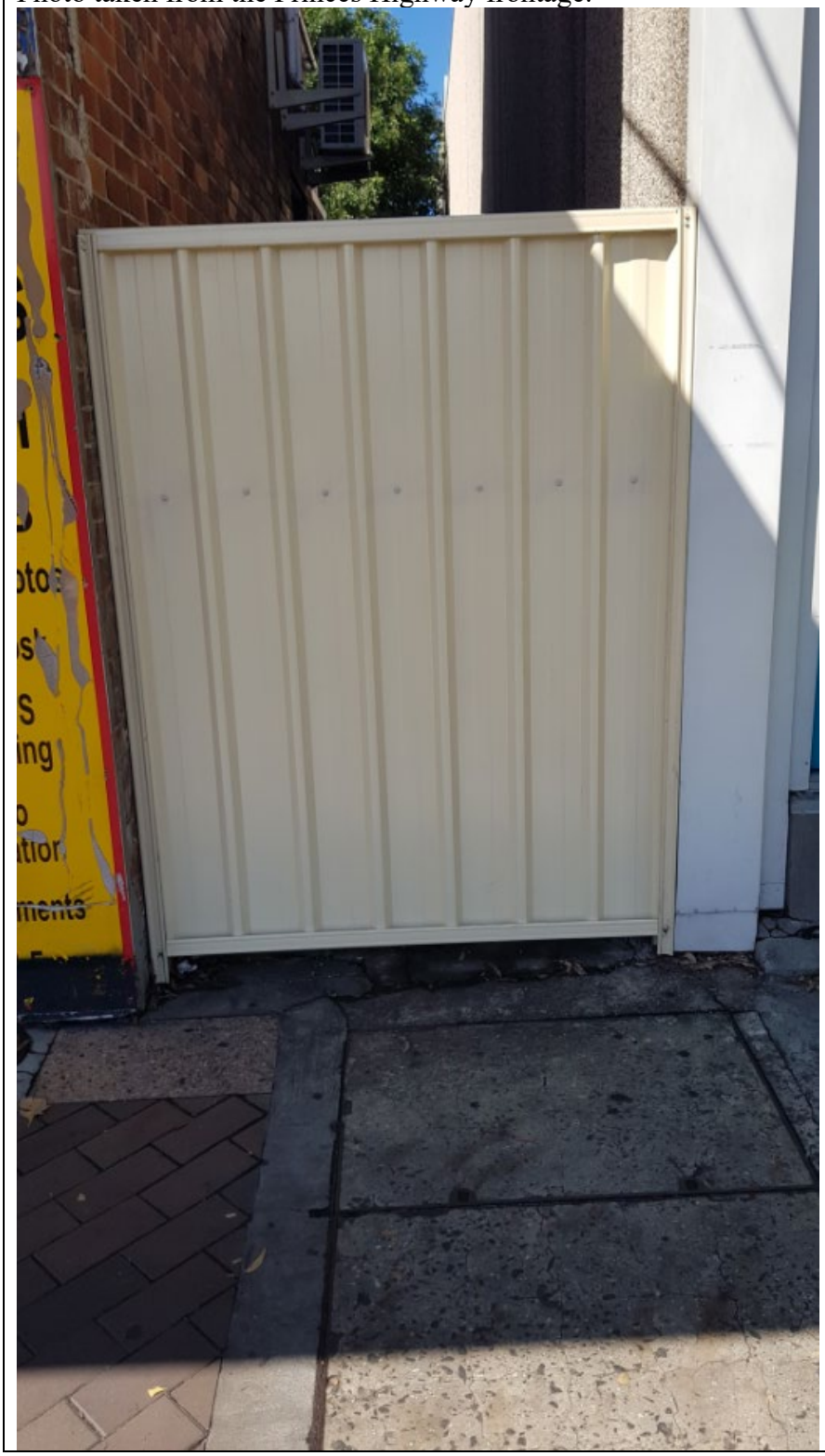


Date: 8 April 2021
Description: Laneway between subject site and adjoining property to the South.



Date: 8 April 2021
Description: Princes Highway frontage of adjoining property to the South, subject site to the left of photo.

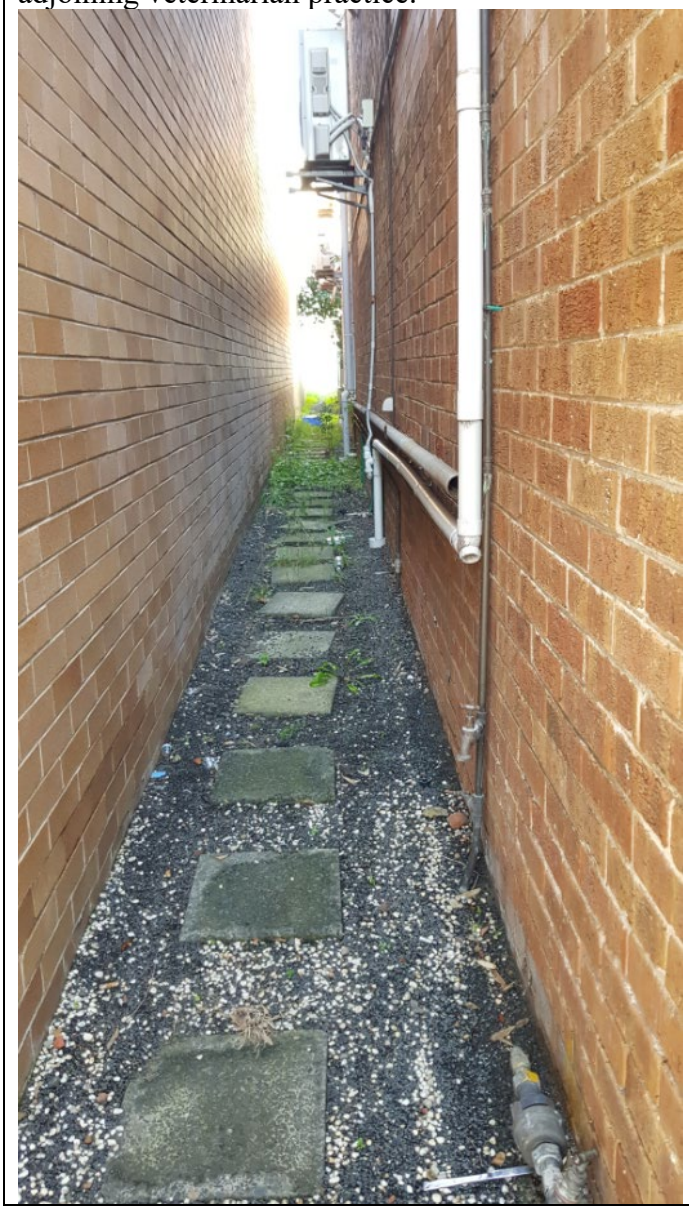
Date: 8 April 2021
Description: Laneway between subject site and adjoining property to the South. Photo taken from the Princes Highway frontage.



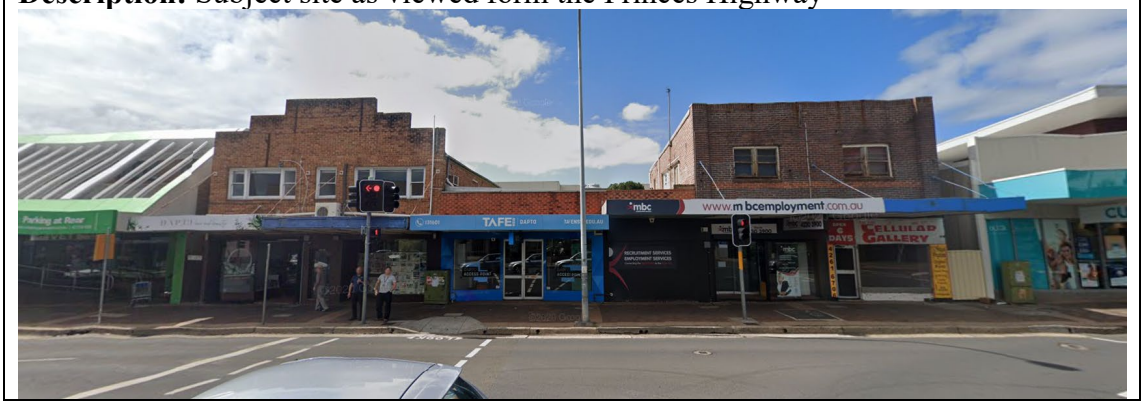
Date: 8 April 2021
Description: Streetscape along Princes Highway. Photo taken forward of the adjoining property to the North of the subject site facing South.

Date: 8 April 2021
Description: View East along the Northern laneway between the subject site and the adjoining veterinarian practice

Date: 8 April 2021
Description: View East along the Northern laneway between the subject site and the adjoining veterinarian practice.



Description: Subject site as viewed form the Princes Highway



Attachment 3 - Apartment Design Guide

Standards/controls	*Comment*	*Compliance*
Part 3 Siting the development		
3A Site analysis Site analysis uses the following key elements to demonstrate that design decisions have been based on opportunities and constraints of the site conditions and their relationship to the surrounding context: - Site location plan - Aerial photograph - Local context plan - Site context and survey plan - Streetscape elevations and sections - Analysis A written statement explaining how the design of the proposed development has responded to the site analysis must accompany the development application.	Site analysis plan provided Provided with application.	Yes
3B Orientation Design Guidance - Buildings should define the street by facing it and providing direct access. Design Guidance - Living areas, POS and COS should receive solar access with section 3D and 4A - Solar access to living rooms, balconies and POS of neighbouring properties should be considered - Overshadowing should be minimised to the south or downhill by increased upper level setbacks - A minimum of 4 hours of solar access should be retained to solar collectors on neighbouring buildings	The development has been designed to front both the Princes Highway (front) and Dapto Square Lane (rear). Solar access is considered below at **3D** and **4A.**	Yes

Standards/controls	*Comment*	*Compliance*
<u>3C Public domain interface</u> <u>Design Guidance</u> - Terraces, balconies and courtyards should have direct street entry, where appropriate - Upper level balconies should overlook the public domain. - Length of solid walls should be limited along street frontages. - Opportunities should be provided casual interaction between residents and the public domain e.g. seating at building entries, near letterboxes etc. - Development with multiple entries should be differentiated to improve legbility for residents' - Opportunities for concealment to be minimised <u>Design Guidance</u> - Mailboxes should be located in lobbies perpendicular to street alignment or integrated into front fences. - Garbage storage areas, substations, pump rooms and other service requirements should be located in basement car parks or out of view - Durable, graffiti resistant materials should be used	All residential units above ground floor Upper level balconies overlook the public domain. The proposal minimises solid walls on street frontage. Opportunities for resident causal interaction in the public domain. Letterboxes provided in the combined residential and commercial lobby with adjacent seating area. Seating is also provided in the private residential lobby for casual interaction between residents. A combined commercial and residential entry has been provided, however residents have a separate and secure waiting area for the lifts that is accessible from the main entry and is legible. No potential opportunities for concealment present in the public domain Appropriately located letterbox area provided in main entry lobby. Garbage storage internal on ground floor level which is out of view from the public domain. Services are incorporated within the building design and appropriately located. High quality materials appear to be proposed.	Yes Yes
<u>3D Communal and public open space</u>		
<u>Design Criteria</u> 1.Communal open space has a minimum area of 25% of the site area	Site area = 1489.1sqm. 25% of the site area = 372.275sqm required COS indicated on roof top terrace as 283.6m^2. 19% provided which does not achieve minimum.	No - Variation considered justified and supportable.

Standards/controls	*Comment*	*Compliance*
	Plans submitted incorrectly includes raised landscape planter boxes along the terrace edges which are not useable areas. It is considered that the proposed COS allows for a range of activities, is safe and accessible. It is noted that alternate options are provided for developments located in business zones that do not meet the design criteria. This is discussed within the design guidance further below.	
2. 50% direct sunlight provided to principal usable part of communal open space for a minimum of 2 hours between 9am and 3pm on 21 June	Sufficient solar access to COS provided. The COS is easily identifiable and useable area located on roof top. Minimum dimensions noted and utilized to calculate total area.	Yes Yes
<u>Design Guidance</u> - Communal open space should be consolidated into a well-designed, usable area. - Minimum dimension of 3m - Should be co-located with deep soil areas - Direct & equitable access required - Where not possible at ground floor it should be located at podium or roof level. - Where developments are unable to achieve the design criteria, such as on small lots, sites within business zones, or in a dense urban area, they should: • provide communal spaces elsewhere such as a landscaped roof top terrace or a common room • provide larger balconies or increased private open space for apartments	N/A COS on roof top The COS is directly and equally accessible for all residents Located on roof top level The numerical requirements of design criteria 1 has not been achieved as discussed above. However, the development is located within the B3 – Commercial Core business zone. The following justification has been provided *the space is of an extremely high amenity with outlook, 6 hours of solar access, shelter, seating, cooking amenities and a* *WC all with lift access. Additionally, this is a building in a business use zone and has the following supplemental benefits; our private open space areas are all greater than the requirements of the ADG, 1bedroom 10m2 (8m2), 2 bedroom 11-14*	

<table>
<tr><th>Standards/controls</th><th>Comment</th><th>Compliance</th></tr>
<tr><td>

- demonstrate good proximity to public open space and facilities and/or provide contributions to public open space

<u>Design guidance</u>

- Facilities to be provided in communal open spaces for a range of age groups, and may incorporate seating, barbeque areas, play equipment, swimming pools

- Location of facilities responds to microclimate with access to sun in winter, shade in summer and shelter from strong windows and down drafts

<u>Design guidance</u>

- Communal open space should be visible from habitable rooms and POS while maintaining visual privacy
- Areas and should be well lit.

</td><td>

and up to 240m2 (10m2), 3 bedroom 14m2 (12m2) and this

site is well situated with access to large sporting fields less than 400 metres away.

The above is supported and considered to be consistent with the intent of the design guidance.

The COS is a useable area which is separated into multiple smaller spaces providing an outdoor kitchen/dining area, multiple seating areas including a quiet area and a community garden. The space is considered to have high amenity, with solar access and landscape planting.

Location of facilities are appropriate with regard to the microclimate on roof top with a roof structure providing shade and planting to also provide shade and act as a wind break.

COS is located on the roof top which is acceptable in consideration of the site location within Dapto Town Centre.

Appropriate conditions relating to CPTED lighting can be imposed.

</td><td>

Yes

Yes

</td></tr>
<tr><td>

<u>3E Deep soil zones</u>

<u>Design Criteria:</u>

Deep soil zones are to meet the following minimum requirements:

<table>
<tr><th>Site area</th><th>Minimum dimensions</th><th>Deep soil zone (% of site area)</th></tr>
<tr><td>less than 650m²</td><td>-</td><td rowspan="4">7%</td></tr>
<tr><td>650m² - 1,500m²</td><td>3m</td></tr>
<tr><td>greater than 1,500m²</td><td>6m</td></tr>
<tr><td>greater than 1,500m² with significant existing tree cover</td><td>6m</td></tr>
</table>

</td><td>

14/7% = 103.11m^2 required with 3m min dimensions.

Some deep soil zone planting provided along Dapto Square Lane at the rear.

The site is within a B3 zone located in the Dapto Town Centre. Existing development on the site and surrounding properties have nil setbacks along the Princes Highway and side boundaries which the proposed development is in keeping with. The only feasible area for a deep soil zone is along Dapto Square Lane which has been provided. Whilst the design does not meet minimum requirements under the design

</td><td>

No - Variation considered justified and supportable.

</td></tr>
</table>

<table>
<tr><th>Standards/controls</th><th>Comment</th><th>Compliance</th></tr>
<tr><td><u>Design guidance</u>
- Deep soil zones should be located to retain existing significant trees.</td><td>criteria, the reduced deep soil zone is considered acceptable in this specific instance.

The site contains existing trees which require removal. This has been addressed by Council's Landscape Officer and is considered acceptable.</td><td>Yes</td></tr>
<tr><td><u>3F Visual privacy</u></td><td></td><td></td></tr>
<tr><td><u>Design Criteria:</u>
1. Minimum required separation distances from buildings to the side and rear boundaries are as follows:
<table>
<tr><th>Building height</th><th>Habitable rooms and balconies</th><th>Non-habitable rooms</th></tr>
<tr><td>up to 12m (4 storeys)</td><td>6m</td><td>3m</td></tr>
<tr><td>up to 25m (5-8 storeys)</td><td>9m</td><td>4.5m</td></tr>
</table>
</td><td>The building is 8 storeys
Residential component:
North side boundary: 5.8m.
(Habitable window to boundary)
South side boundary: 4.5m
(Habitable blank wall to boundary)
Eastern rear boundary: 9.655m
(Balcony to boundary)
Variation submitted which is considered acceptable.
The northern side boundary has a non-compliant setback of 5.8m that does not meet the minimum of 9m required for habitable rooms.
It is considered that the proposed development will have minimal impact in terms of privacy on or from adjoining development.
It is noted that the DRP recommended the inclusion of windows along the northern elevation to enhance solar access to apartments which results in the non-compliance.</td><td>No - Variation considered justified and supportable.</td></tr>
<tr><td><u>Design Guidance</u>
- Generally one step in the built form as the height increases due to building separations is desirable. Additional steps should be careful to not cause a 'ziggurat' appearance.</td><td>One step in building form provided.</td><td>Yes</td></tr>
</table>

Standards/controls	*Comment*	*Compliance*
- Direct lines of sight should be avoided for windows and balconies across corners	No direct lines of sight apparent in design	
- No separation is required between blank walls	Noted	
<u>Design Guidance</u> - Communal open space, common areas and access paths should be separated from private open space and windows to apartments.	The proposed COS is located on the roof top away from POS or windows of apartments.	Yes
- Bedrooms, living spaces and other habitable rooms should be separated from gallery access and other open circulation space by the apartments service areas	Habitable rooms appropriately separated from gallery access and open circulation spaces	
- Balconies and private terraces should be located in front of living rooms to increase internal privacy	Balconies located in front of living rooms for apartments.	
- Windows should be offset from the windows of adjacent buildings	No adjacent buildings at comparable height to residential apartments.	
<u>3G Pedestrian access and entries</u> <u>Design Guidance</u> - Multiple entries (including communal building entries and individual ground floor entries) should be provided to activate the street edge	No residential apartments at ground floor. One main communal entry via Princes Highway	Yes
- Entry locations relate to street and existing pedestrian network	Pedestrian entry provided along Princes Highway which relates to existing pedestrian network to the Town Centre, train station and Dapto Square mall.	
- Buildings entries should be clearly identifiable and communal entries should be clearly distinguishable from private entries.	Communal residential building entry door clearly identifiable from front entry along Princes Highway. No private entries proposed.	
<u>Design Guidance</u> - Building access areas including lift lobbies, stairwells and hallways should be clearly visible from the public domain and communal spaces	A combined commercial and residential entry has been provided, however residents have a separate and secure waiting area for the lifts that is accessible from the main entry and is legible/clearly identifiable. Entrance door for fire access stairs clearly visible from Princes Highway	Yes

Standards/controls	*Comment*	*Compliance*
3H Vehicle access Design Guidance - Car park access should be integrated with the buildings overall facade - Car park entries should be located behind the building line - Car park located on secondary streets/lanes where available - Access point locations should avoid headlight glare to habitable rooms - Width and number of vehicle access points limited to minimum. - Garbage collection, loading and service areas should be screened - Pedestrian and vehicle access should be separated and clearly distinguishable	Car park access integrated to façade Ground level and basement car parking proposed. Entrance behind building line. Entry via Dapto Square Lane at rear The potential for glare impacts is considered minimal as the exit point does not align with any residential property. Access points kept to minimum. Door provided forward of the garbage collection and loading service areas along eastern elevation (Dapto Square Lane) Vehicle access via Dapto Square Lane. Pedestrian access via Princes Highway. Appropriately separated.	Yes
3J Bicycle and car parking Design Criteria 1. On land zoned B3 or B4 and located within 400m of land zoned B3 and B4, the minimum car parking requirement for residents and visitors is set out in the Guide for Traffic Generating Development, or Council's car parking requirement, whichever is less. The car parking needs for a development must be provided off street. Design Guidance - Conveniently located and sufficient numbers of parking spaces should be provided for motorbikes and scooters - Secure undercover bicycle parking should be provided that is easily accessible from both the public domain and common areas.	Land is zoned B3. The minimum car parking requirement for residents and visitors is the Guide for Traffic Generating Development. Car parking is discussed at Chapter E3 above. Parking spaces for motorbikes and scooters provided in the two basement levels. Refer to Chapter E3 above Bicycle parking provided undercover in the two basement levels. The spaces are closely located to the internal lift and in	Refer to WDCP 2009 Chapter E3 commentary at Attachment 4.

Standards/controls	*Comment*	*Compliance*
	accessible locations.	
Design Guidance - Supporting facilities within car parks (garbage rooms, storage areas, car wash bays) can be accessed without crossing parking spaces - A clearly defined and visible lobby or waiting area should be provided to lifts and stairs. - Car parking layout should be well organised using logical, efficient structural grids and double loaded aisles - On grade car parking should be avoided - Exposed parking should not be located along primary street frontages - Positive street address and active street frontages should be provided at ground level.	Supporting facilities accessed without crossing car parking spaces Waiting area provided forward of lifts and stairs for residents in basement levels. Car parking layout has double loaded aisles On grade car parking provided, however this is not visible from the primary street frontage along Princes Highway. Car parking on grade addresses Dapto Square Lane at rear. Screening is provided along this frontage as well as landscaping. Active street frontage with retail uses at ground level along primary street frontage.	Yes
Part 4 – Designing the building - Amenity		
4A Solar and daylight access Design Criteria 1. Living rooms and private open spaces of at least 70% of apartments in a building receive a minimum of two (2) hours direct sunlight between 9am and 3pm in mid-winter in Wollongong LGA. 2. A maximum of 15% of apartments in a building receive no direct sunlight between 9am and 3pm at mid-winter	At least 78% (25 units) receive direct sunlight.	Yes

Standards/controls	*Comment*	*Compliance*
<u>Design Guidance</u> - The design maximises north aspect and the number of single aspect south facing apartments is minimized	Northern aspect has been considered in design with living areas and balconies receiving northern sunlight where appropriate. No single aspect south facing units proposed.	Yes
- Single aspect, single storey apartments should have a northerly or easterly aspect	Single aspect apartments have a north westerly aspect.	
- To optimise the direct sunlight to habitable rooms and balconies, the following design features are used: Dual aspect Shallow apartment layouts Bay windows	Apartments are mostly dual aspect. Shallow layouts have been provided for single aspect apartments.	
- To maximise the benefit to residents, a minimum of $1m^2$ of direct sunlight measured at 1m above floor level, is achieved for at least 15 minutes.		
<u>*Objective 4A-2*</u> *Daylight access is maximised where sunlight is limited*	Solar access is considered appropriate.	Yes
<u>Design Guidance</u> - Courtyards, skylights and high level windows (sill heights of 1500m or greater) are used only as secondary light sources in habitable rooms	No courtyards, skylights or high level windows proposed as secondary light sources in apartments.	Yes
<u>*Objective 4A-3*</u> *Design incorporates shading and glare control, particularly for warmer months*		
<u>Design Guidance</u> Design features can include: - Balconies - Shading devices or planting - Operable shading - High performance glass that minimises external glare	Balconies provide some shade to summer sun. Vertical shading devices to north and west facades provided.	

Standards/controls	*Comment*	*Compliance*
4B Natural ventilation Design Guidance - A building's orientation should maximise the prevailing winds for natural ventilation in habitable rooms - The area of unobstructed window openings should be equal to at least 5% of the floor area served. - Doors and openable windows should maximise natural ventilation opportunities Design Guidance - Apartment depths are limited to maximise ventilation and airflow - Single aspect apartments should use design solutions to maximise natural ventilation. Design Criteria: 1. 60% of apartments are naturally cross ventilated in the first nine storeys 2. Overall depth of a cross-over or cross-through apartment does not exceed 18m, measured glass line to glass line.	Building orientation considered acceptable Achieved for each unit. Apartment depths are reduced for single aspect apartments. 62.5% of apartments (20) provided with cross ventilation Apartments are less than 18m in depth.	Yes Yes Yes
4C Ceiling heights 1. Minimum 2.7m for habitable rooms and 2.4m for non-habitable rooms Design Guidance - Ceiling heights of lower level apartments in centres should be greater than the minimum required by the design criteria allowing flexibility and conversion to non-residential uses.	Residential levels = 3.1m The ground floor (level 1) and the storey above (level 2) are commercial uses with 3.5m ceiling height	Yes
4D Apartment size and layout *Objective 4D-1* *The layout of rooms within an apartment is functional, well organised and provides a high standard of amenity*		

Standards/controls	*Comment*	*Compliance*
<u>Design Criteria:</u> 1. Minimum internal areas: The minimum internal areas include only 1 bathroom. Additional bathrooms increase the minimum internal areas by 5m^2 each. 2. Every habitable room must have a window in an external wall with a total minimum glass area of at least 10% of the floor area of the room <u>Design Criteria:</u> 1. Habitable room depths are limited to a maximum of 2.5 x ceiling height 2. In open plan layouts (where the living, dining and kitchen are combined) the maximum habitable room depth is 8m from a window. <u>Design Criteria:</u> 1. Master bedrooms have a minimum area of 10m^2 and other bedrooms 9m^2 (excl wardrobe space) 2. Bedrooms have minimum dimension of 3m (excl wardrobe) 3. Living rooms have minimum width of: - 3.6m for studio and 1 bed apartments and - 4m for 2+ beds. 4. The width of the crossover or cross through apartments are at least 4m internally to avoid deep narrow apartment layouts.	All apartments achieve compliance with minimum required areas. All habitable rooms have an external window >10% of the floor area of the room 2.5m x 3.1m = 7.75m max Habitable room depths comply. Habitable room depths comply for all units Minimum bedroom areas provided for all units Minimum dimensions within bedrooms provided for all units. Minimum widths achieved for living rooms	Yes Yes Yes Yes

Apartment type	Minimum internal area
Studio	35m^2
1 bedroom	50m^2
2 bedroom	70m^2
3 bedroom	90m^2

<table>
<tr><th>Standards/controls</th><th>Comment</th><th>Compliance</th></tr>
<tr><td><u>Design Guidance:</u>
- Access to bedrooms, bathrooms and laundries is separated from living areas
- Minimum 1.5m length for bedroom wardrobes
- Main bedroom apartment: minimum 1.8m long x 0.6m deep x 2.1m high wardrobe
- Apartment layouts allow for flexibility over time, including furniture removal, spaces for a range of activities and privacy levels within the apartments.</td><td>Access is separated from living areas in all units as required.

Minimum wardrobe dimensions achieved in all units.

Unit layouts are appropriate.</td><td>Yes</td></tr>
<tr><td><u>4E Private open space and balconies</u>

<u>Objective 4E-1</u>

Apartments provide appropriately sized private open space and balconies to enhance residential amenity

1. Minimum balcony area/depth:
<table><tr><th>Dwelling type</th><th>Minimum area</th><th>Minimum depth</th></tr><tr><td>Studio apartments</td><td>4m²</td><td>-</td></tr><tr><td>1 bedroom apartments</td><td>8m²</td><td>2m</td></tr><tr><td>2 bedroom apartments</td><td>10m²</td><td>2m</td></tr><tr><td>3+ bedroom apartments</td><td>12m²</td><td>2.4m</td></tr></table>The minimum balcony depth to be counted as contributing to the balcony area is 1m.

<u>Objective 4E-2</u>

<u>Design Guidance</u>
- Primary private open space and balconies should be located adjacent to the living room, dining room or kitchen to extend the living space.
- POS predominately face, north, east or west
- POS & Balconies should be oriented with the longer side facing outwards to optimise daylight access into adjacent rooms.</td><td>All apartments meet minimum requirements.

POS provided adjacent to living room for all apartments.

POS faces north, east or west for all apartments.

POS balconies designed with longer side facing outward for all apartments.

A combination of materials is proposed on</td><td>Yes

Yes</td></tr>
</table>

Standards/controls	*Comment*	*Compliance*
Design Guidance - A combination of solid and transparent materials balances the need for privacy with surveillance of the public domain - Full width glass balustrades alone are not desirable - Operable screens etc. are used to control sunlight and wind, and provide increased privacy for occupancy while allowing for storage and external clothes drying.	elevations. Clear glazing provided to activate the street frontage.	Yes
Objective 4E-4 *Private open space and balcony design maximises safety* Design Guidance - Changes in ground levels or landscaping are minimised. - Design and detailing of balconies avoiding opportunities for climbing and falls	Residential balconies start from level 2 of building. Safety considered generally acceptable.	Yes
4F Common circulation and spaces *Objective 4F-1* *Common circulation spaces achieve good amenity and properly service the number of apartments.* Design Criteria 1. The maximum number of apartments off a circulation core on a single level is eight	Maximum of 5 apartments off circulation core on a single level.	Yes
Design Guidance - Daylight and natural ventilation should be provided to all common circulation spaces that are above ground - Windows should be provided in common circulation spaces and should be adjacent to stair or lift core	Window provided to the common circulation space on each floor above ground level. Window adjacent to lift core in common circulation space on each level above ground. Corridors appear to be less than 12m measured from the lift core for upper	Yes

Standards/controls	*Comment*	*Compliance*
- Long corridors greater than 12m in length from the lift core should be articulated. Design solutions: • Series of foyer areas with windows and spaces for seating • Wider areas at apartment entry doors and varied ceiling heights	levels.	
- Design common circulation spaces to maximise opportunities for dual aspect apartments	Circulation spaces which provide direct access to apartments appear to be appropriate. Majority of apartments in design are dual aspect.	
- Primary living rooms or bedroom windows should not open directly onto common circulation spaces, whether open or enclosed. Visual and acoustic privacy from common circulation spaces should be controlled.	No primary living room or bedroom windows open onto common circulation spaces in design.	
Objective 4F-2 Design Guidance:		
- Direct and legible access should be provided between vertical circulation points and apartment entries by minimising corridor or gallery length to give short, straight clear sight lines	Direct and legible access provided from combined residential and commercial lobby on ground floor to the residential lift core. Corridors length from lift to individual units is acceptable and clear lines of sight are provided.	Yes
- Tight corners and spaces are avoided	Residential unit access is acceptable.	
- Circulation spaces should be well lit at night	Lighting details to be provided as part of DA package	
- Incidental spaces can be used to provide seating opportunities for residents and promotes opportunities for social interaction.	Incidental spaces for enhancing social interaction are indicated within the design Letterboxes provided in the combined residential and commercial lobby with adjacent seating area. Seating is also provided in the private residential lobby for casual interaction between residents.	

Standards/controls	*Comment*	*Compliance*
4G Storage *Objective 4G-1* *Adequate, well designed storage is provided in each apartment* 1. In addition to storage in kitchens, bathrooms and bedrooms, the following storage is provided At least 50% of required storage is to be located in the apartment Design Guidance - Storage is provided for larger and less frequently accessed items - Storage space in internal or basement car parks is provided at the rear or side of car spaces or in cages so that allocated car parking remains accessible	Storage areas indicated in apartments and storage cages within the basement. Storage areas are sufficient for each unit. Storage cages for larger items located in basement are at the rear/side of car parking spaces.	Yes Yes
4H Acoustic privacy Design Guidance - Adequate building separation is required (see section 2F above). - Noisy areas within buildings should be located next to or above each other and quieter areas next to or above quieter areas. - Storage, circulation areas and non-habitable rooms should be located to buffer noise from external sources. - Noise sources such as garage doors, plant rooms, active communal open spaces and circulation areas should be located at least 3m away from bedrooms. Design Guidance - In addition to mindful siting and orientation of the building, acoustic seals and double or triple glazing are	It appears that noisy areas within each unit are mostly located adjacent or above similar areas. Any consent issued by Council would require the development to be constructed in accordance with the BCA	Yes

Dwelling type	Storage size volume
Studio apartments	4m³
1 bedroom apartments	6m³
2 bedroom apartments	8m³
3+ bedroom apartments	10m³

Standards/controls	*Comment*	*Compliance*
effective methods to further reduce noise transmission.		
4J Noise and pollution Design Guidance - Minimise impacts through design solutions such as physical separation from the noise or pollution source, *Objective 4J-2* *Appropriate noise shielding or attenuation techniques for the building design, construction and choice of materials are used to mitigate noise transmission* Design guidance: - Design solutions include limiting openings to noise sources & providing seals to prevent noise transfer.	The subject property is located with frontage to the Princes Highway. An acoustic report is required part of the application submission and has been submitted. The report has been assessed by Council's Environment Officer and is considered satisfactory subject to recommended conditions which have been imposed on the development consent.	Yes
Part 4 – Designing the building - Configuration		
4K Apartment mix Design guidance - A variety of apartment types is provided - The apartment mix is appropriate, taking into consideration the location of public transport, market demands, demand for affordable housing, different cultural/social groups - Flexible apartment configurations are provided to support diverse household types and stages of life Design guidance - Larger apartment types are located on the ground or roof level where there is potential for more open space and on corners where more building frontage is available	Generally, a mix of units appears to be proposed. Unit mix as per the following proposed: 1 bed: 3 2 bed: 26 3 bed: 3 No apartments on ground floor or roof top proposed	Yes N/A
4L Ground floor apartments Design guidance	No units are proposed on the ground floor.	N/A

Standards/controls	*Comment*	*Compliance*
- Direct street access should be provided to ground floor apartments - Activity is achieved through front gardens, terraces and the facade of the building. - Ground floor apartment layouts support small office home office (SOHO) use to provide future opportunities for conversion into commercial or retail areas. In these cases provide higher floor to ceiling heights and ground floor amenities for easy conversion		
4M Facades Design guidance - Design suctions for front building facades: • Composition of varied building elements • Defined base, middle and top • Revealing and concealing certain elements • Changes in texture, material detail and colour to modify prominence of elements - Building services should be integrated within the overall façade - Building facades should be well resolved with an appropriate scale and proportion to the streetscape and human scale. - Building facades relate to key datum lines of adjacent buildings through upper level setbacks, parapets, cornices, awnings or colonnade height Design guidance - Building entries should be clearly defined - Apartment layout should be expressed externally through façade features such as party walls and floor slabs	The applicant has provided a colour and materials schedule with the application submission. The schedule has been selected with regard to the elements, textures, materials and colours of the locality. Varied building elements also include articulation on all elevations in particular those elevations addressing the Princes Highway. The building services are appropriately integrated within the design. The building facades are considered appropriate. The building entry is clearly defined at street level along the Princes Highway. Apartment layout expressed in façade through the use of articulation and floor	Yes Yes

Standards/controls	*Comment*	*Compliance*
	slabs visually apparent in design.	
4N Roof design Design guidance - Roof design should use materials and a pitched form complementary to the building and adjacent buildings. Design guidance - Habitable roof space should be provided with good levels of amenity. - Open space is provided on roof tops subject to acceptable visual and acoustic privacy, comfort levels, safety and security considerations Design guidance - Roof design maximises solar access to apartments during winter and provides shade during summer	Flat roof design proposed which assists in breaking down mass and lessening bulk. The area surrounding the development includes a mix of roof forms. The proposed flat roof could not be considered out of character with the surrounding area. Common open space for residents is provided on the roof top. The area appears to have a good level of amenity and no concerns are raised with regard to visual and acoustic privacy, comfort levels, safety or security consideration. Roof design appears appropriate	Yes Yes Yes
4O Landscape design Design guidance - Landscape design should be environmentally sustainable and can enhance environmental performance - Ongoing maintenance plans should be prepared - Tree and shrub selection considered size at maturity and potential for roots to compete	A landscape concept plan has been submitted. Council's Landscape Architect has reviewed the plan, providing a satisfactory response subject to recommended conditions which have been imposed on the development consent.	Yes
4P Planting on Structures Objective 4P-1 Design guidance - Structures are reinforced for additional saturated soil weight - Soil volume if appropriate for plant growth - Minimum soil standards for plant sizes should be provided in accordance with Table 5 *Objective 4P-2*	Planting within planter boxes proposed on podium level and roof top terrace as shown on elevation and floor plans. Minimum soil standards are demonstrated to be achieved	Yes

Standards/controls	*Comment*	*Compliance*
Design guidance - Plants are suited to site conditions - Landscape maintenance plan is prepared - Irrigation and drainage system	Appropriate conditions have been recommended by Council's Landscape Architect relating to planting on structures to include waterproof membrane and connection to stormwater drainage as well as landscape maintenance.	Yes
Design guidance - Building design incorporates opportunities for planting on structures. Design solutions may include: • Green walls with specialised lighting for indoor green walls • Wall design that incorporates planting • Green roofs, particularly where roofs are visible from the public domain • Planter boxes	The design provides landscape planter boxes and roof top planting which are considered acceptable.	Yes
4Q Universal design Universal design features are included in apartment design to promote flexible housing for all community members.	The applicant has provided a Statement of Compliance Access for People with a Disability that demonstrates the proposed development has been suitably designed for access. Lifts from the street and basement proposed to be provided.	Yes
Design guidance - Adaptable housing should be provided in accordance with the relevant council policy	4 adaptable housing units appear to be provided which satisfies the minimum requirements within clause 4.18 Chapter B3 of WDCP 2009.	Yes
Design guidance - Apartment design incorporates flexible design solutions	Flexible design solutions have been provided.	Yes
4R Adaptive reuse Design Guidance - Contemporary infill can create an interesting dialogue between old and new, adding to the character of a place	The development relates to a new building.	N/A

Standards/controls	*Comment*	*Compliance*
4S Mixed use Design guidance - Mixed use development should be concentrated around public transport and centres - Mixed use developments positively contribute to the public domain. • Development addresses the street • Active frontages • Diverse activities and uses • Avoiding blank walls at ground level Design guidance - Residential circulation areas should be clearly defined • Residential entries are separated from commercial entries and directly accessible from the street • Commercial service areas are separated from residential components • Residential car parking and communal facilities are separate or secured • Security at entries and safe pedestrian routes - Landscaped communal open space should be provided at podium or roof levels	The proposal is appropriately located within the Dapto Town Centre and in close proximity to Dapto Train station and a number of bus stops. Development addresses street with active street frontage along Princes Highway. Diverse activities and uses provided. No blank walls. The breakup of residential v commercial floor space is considered appropriate. Residential and commercial entries from the street are separated. Residential car parking and communal facilities separate Elevation plans indicate planting on the communal open space roof top terrace.	Yes Yes
4T Awnings and signage *Objective 4T-1* *Awnings are well located and complement and integrate with the building design* Design guidance - Awnings should be located along streets with high pedestrian activity and active frontages	Awnings are proposed along the Princes Highway.	Yes

Standards/controls	*Comment*	*Compliance*
Design guidance - Signage should be integrated into the building design and respond to the scale, proportion and detailing of the development	No signage proposed as part of application.	Yes
Part 4 – Designing the building - Configuration		
4U Energy efficiency *Objective 4U-1* *Development incorporates passive environmental design* Design guidance - Adequate natural light is provided to habitable rooms (see 4A Solar and daylight access) Design Guidance - Provision of consolidated heating and cooling infrastructure should be located in a centralised location	Adequate natural light will be provided to habitable rooms. Further is provided above at Section 4A. The application submission includes a BASIX certificate demonstrating that the proposal meets the minimum BASIX energy efficiency requirements.	Yes
4V Water management and conservation *Objective 4V-1* Design guidance - Water sensitive urban design systems are designed by a suitably qualified professional Design guidance - Detention tanks should be located under paved areas, driveways or in basement car parks	The application submission includes Water Sensitive Urban Design (WSUD). The application submission includes a BASIX Certificate that demonstrates that the proposal satisfies the minimum BASIX water conservation requirements. Council's Stormwater and Environment Officers have provided satisfactory referral responses with regard to WSUD.	Yes Yes
4W Waste management Design guidance - Common waste and recycling areas should be screened from view and well ventilated Design guidance - Communal waste and recycling rooms are in convenient and accessible locations related to each vertical core - For mixed use developments, residential waste and recycling	Enclosed garbage room for waste storage shown on Level 1 (ground floor) and screened from view. Communal waste and recycling is in a central and convenient location on Level 1 (ground floor). Residential and commercial waste/recycling storage are provided in the same compartment on Level 1,	Yes Yes

Standards/controls	*Comment*	*Compliance*
storage areas and access should be separate and secure from other uses - Alternative waste disposal, such as composting, can be incorporated into the design of communal open space areas	however the areas are separated into two different garbage rooms by screen mesh and are accessed via separate entry doors which are considered appropriate in separating and securing residential waste from other uses.	
4X Building maintenance Design guidance - Design solutions such as roof overhangs to protect walls and hoods over windows and doors to protect openings can be used. Design guidance - Window design enables cleaning from the inside of the Building - Building maintenance systems incorporated	The applicant proposes to use durable and cleanable materials. The windows and openings are protected by roof overhangs.	Yes Yes

ATTACHMENT 4 - WOLLONGONG DEVELOPMENT CONTROL PLAN 2009 ASSESSMENT

CHAPTER A1 – INTRODUCTION

8 Variations to development controls in the DCP

The applicant proposes variations to Clause 4.20.2(2) of Chapter B3 and Clause 9.2.1 of Chapter B4. The variation requests are considered justified and capable of support. See considerations table below.

Control	**Comment**
1. The variation statement must address the following points:	
a) The control being varied; and	The variation request statement identifies the control being varied as 4.20.2(2) of Chapter B3 Mixed Use Development of WDCP 2009.
b) The extent of the proposed variation and the unique circumstances as to why the variation is requested; and	The variation is sought: Clause 4.2.20(2) indicates that the residential component of mixed use development shall have a building depth of between 10m and 18m. The development proposes a building depth of 32m. It is considered that the variation to the natural ventilation development control plan can be supported in this circumstance for the following reasons: - The ADG and WDCP 2009 requires a minimum of 60% of all residential apartments to be naturally cross ventilated. The proposed development provides 20 apartments (62.5%) with cross ventilation. - All kitchens achieve natural ventilation; - All apartments comply with the apartment width and depth requirements. - A BASIX Certificate has been submitted in support of the application demonstrating that the proposed development achieves the BASIX targets; - Although the numerical requirements have not been strictly met in this circumstance it is considered that the objectives of the clause have been met ensuring minimal impact on the amenity of the residents.
c) Demonstrate how the objectives are met with the proposed variations; and	The overall objectives of WDCP 2009 Chapter B3 Clause 4.20.2 are as follows: *(a) To encourage apartment design which allows for natural ventilation of habitable rooms.* *(b) To provide natural ventilation in non–habitable rooms, where possible.* *(c) To reduce energy consumption by minimising the use of mechanical ventilation.* The applicant has indicated that they consider the development consistent with the above objectives.

	Council comment: The development is not considered to be inconsistent with the above objectives.
d) Demonstrate that the development will not have additional adverse impacts as a result of the variation.	Council comment: The design achieves the solar access and natural ventilation requirements of both WDCP 2009 and the ADG, therefore the development is not considered to result in adverse impacts as a result of the variation.
Comment: The requested variation is considered capable of support.	

Control	**Comment**
1. The variation statement must address the following points:	
a) The control being varied; and	The variation request statement identifies the control being varied as 9.2.1(4) of Chapter B4 Development in Business Zones of WDCP 2009.
b) The extent of the proposed variation and the unique circumstances as to why the variation is requested; and	The variation is sought: Clause 9.2.1(4) of Chapter B4 indicates that indicates that the residential component of mixed use development shall have a building depth of 18m. The development proposes a building depth of 32m. It is considered that the variation to the floor configuration development control plan can be supported in this circumstance for the following reasons: - The proposed development satisfies Council's Floor Space Ratio and Building Height development standards as identified in the Wollongong Local Environmental Plan 2009, and overall the bulk and scale of the proposed development is considered to be consistent with the desired future character of the Dapto Town Centre as identified through the development standards and controls applicable to the land. - All apartments comply with the apartment size and layout requirements of the ADG and the width and depth requirements of WDCP 2009. - The ADG and WDCP 2009 requires a minimum of 60% of all residential apartments to be naturally cross ventilated. The proposed development provides 20 apartments (62.5%) with cross ventilation. - It is considered that the building has been reasonably sited such that it satisfies the objectives of Council's boundary setback requirements so as to have minimal impact on the adjoining properties in terms of privacy and overshadowing and to allow

	reasonable solar access to the units and adjoining commercial and retail development. - Although the numerical requirements have not been strictly met in this circumstance it is considered that the objectives of the clause have been met ensuring minimal impact on the amenity of the residents.
c) Demonstrate how the objectives are met with the proposed variations; and	WDCP 2009 does not provide specific objectives for this control however objectives of Section 9 of Chapter B4 are as follows: *(a) To ensure all new ground floor retail shops and business premises are designed to provide a uniform transition between the floor level of the premises and Council's footpath, in order to provide satisfactory access along the footpath and into retail and commercial office buildings for all people, including people with a disability.* *(b) To ensure all ground level premises have direct access to street and clear glazing, to encourage active street frontages.* *(c) To set minimum floor to ceiling heights for new buildings, in order to maximise the flexibility in the future use of the ground floor and first floor levels in the building.* *(d) To encourage larger retail or commercial office floor space not requiring direct connection to the street to be 'wrapped' by smaller retail shops or commercial offices to avoid blank walls and encourage active street frontages.* *(e) To ensure security grilles are transparent and fitted retail shopfronts only, in order to encourage active street frontages at night-time.* *(f) To ensure new retail or business premise buildings are consistent with the predominant built form character of the locality, in terms of built form and external appearance.* *(g) To ensure new buildings maintain the balance of horizontal and vertical proportions of other existing buildings in the locality.* *(h) To ensure the street corners of any new corner building are strengthened by massing and building articulation to both street frontages.* *(i) To ensure all new retail, business or mixed use buildings provide a continuous awning along the full length of the building's street frontage, in order to provide all weather protection for pedestrians.* *(j) To provide pedestrian amenity and provide a 'unique' streetscape character for each business*

	centre. *(k) To provide innovative roof elements and parapet walls which positively contribute to the overall design of the proposed building and the streetscape of the immediate locality.* *(l) To ensure all new retail and business developments are designed to minimise potential overshadowing impacts and maximise solar access opportunities to any adjoining residential properties and the public domain (public reserves and / or footpaths) in the locality.* The applicant has indicated that they consider the development consistent with the above objectives. <u>Council comment:</u> The development is not considered to be inconsistent with the above objectives.
d) Demonstrate that the development will not have additional adverse impacts as a result of the variation.	<u>Council comment:</u> Due to the location of the site within a business zone, the development is not considered to result in adverse impacts as a result of the variation.
Comment: The requested variation is considered capable of support.	

CHAPTER A2 – ECOLOGICALLY SUSTAINABLE DEVELOPMENT

Development controls to improve the sustainability of development throughout Wollongong are integrated into the relevant chapters of this DCP as detailed below.

Generally speaking, the proposal is considered to be consistent with the principles of Ecologically Sustainable Development as follows:

(a) Greenhouse gas emissions will be reduced.

(b) Potable water use will be reduced.

(c) Development can adapt to climate change.

(d) Waste will be reduced.

(e) Recycling of waste and use of products from recycled sources will be increased.

(f) Energy that is used will be renewable and low carbon.

(g) Indoor environmental quality is improved.

(h) The environmental impacts from building materials will be reduced through reduction, reuse and recycling of materials, resources and building components.

The proposal is for demolition of the existing structures and construction of a shop top housing development. Therefore, an assessment of the proposal has been undertaken against the provisions of Chapters B3 and B4 of WDCP 2009 as detailed below.

Overall, the proposed development has been considered against the provisions of WDCP (2009) and found to be acceptable in this case.

Wollongong Development Control Plan 2009			
Control	*Required*	*Proposed*	*Compliance*
Chapter B3 Mixed Use Development			
4.1 Minimum site width	24m	30m approx. frontage to Princes Highway	Yes
4.2 Max floor space ratio/density	2.5:1 (3722.75sqm)	2.498:1 (3720.2sqm)	Yes
4.3 Building Height	30m	30m maximum	Yes
4.4 Front setback	Does not apply to B3 Zone.	Zero building line setback along Princes Highway.	Yes
4.5 Side and Rear setbacks/building separation	Buildings of 5 to 8 storeys: 9m habitable room/balcony 4.5m non-habitable room/blank wall faces an adjacent property	Refer to ADG. Min 5.8m habitable room window to northern boundary. 4.5m min non-habitable/blank wall to south boundary. 9.655m min balcony to rear boundary.	See ADG assessment at Attachment 3.
4.6 Built form	– Design in accordance with SEPP 65 – Appearance to be in harmony with surrounding buildings and streetscape – Siting, form height and external appearance to be sympathetic to surrounding	Refer to ADG.	See ADG assessment at Attachment 3.
4.7 Active street frontage	Mixed use buildings to provide ground floor active street frontages. No more than 5 metres of ground floor wall without door or window.	Active street frontage proposed along Princes Highway. Windows and doors less than 5m apart on elevation	Yes

	Windows should make up 50% of the ground floor. Direct pedestrian access and visual presentation from front of building	Elevations demonstrate that greater than 50% of ground floor façade consists of windows/glazing Direct pedestrian access to retail, commercial and residential demonstrated	
4.8 Awnings	Continuous awnings where required	Awning proposed along Princes Highway, consistent with surrounding buildings.	Yes
4.9 Car Parking	Parking for cars, motorcycles and bicycles shall be provided in accordance with Chapter E3 Access driveways to car parking areas must be positioned to minimise impacts on the streetscape. Car parking areas should be designed to conveniently, efficiently and appropriately serve residents and visitors of the site.	See E3 below. Access to car parking off Dapto Square Lane. Car parking areas appropriately defined and separated across 2 basement levels and the ground floor level.	Yes
4.10 Basement car parking	The scale and siting of the basement carpark must not impact upon the ability of the development to satisfy minimum landscaping requirements. Roof of basement podium max 1.2m.	Landscaping – Refer to ADG. Roof of basement not above existing ground level	See ADG assessment at Attachment 3.

4.11 Driveways	Provide driveways to parking areas from lanes and secondary streets rather than the primary street, wherever practical. Driveway grades, vehicular ramp width/grades and passing bays must be in accordance with the relevant Australian Standard, being AS 2890.1.	Driveway proposed off Dapto Square Lane at rear Assessed by Council's Traffic Officer and is satisfactory	Yes
4.12 Landscaping	Landscaping within mixed use developments must be provided on terraces or balconies where required for screening purposes. Green roofs, green walls and landscaping on podium and planters must provide sufficient soil depth. Green walls encouraged Public domain improvements and street trees. Landscape Plan required.	Landscaping provided on podium level and roof top terrace as indicated on elevation plans. Landscape plan provided as part of application submission which has been assessed by Council's Landscape Architect and is considered satisfactory with regard to 4.12 with appropriate conditions recommended.	Yes
4.13 Communal open space	5sqm per dwelling = (32 x 5) 160sqm COS areas must have minimum 5m width Within mixed use developments the communal open space area may be provided as either an internal or external space Roof top terraces will not be accepted as communal open space Communal open space	Refer to ADG 273.5sqm proposed with 5m minimum width achieved. COS is located on the roof top which is acceptable in consideration of the site location within Dapto Town Centre. COS on roof top permitted within ADG.	See ADG assessment at Attachment 3.

	must eb easily accessible and integrated with landscaping		
4.14 Private Open Space	When provided in form of a balcony, the balconies must have a minimum area of 12sqm and width of 2.4m. Avoid locating primary balconies towards side setbacks. Primary balcony of at least 70% of the residential dwellings shall receive a minimum of three hours of direct sunlight between 9.00am and 3.00pm on June 21.	Refer to ADG	See ADG assessment at Attachment 3.
4.15 Solar access	Mixed use developments must aim to maximise the number of dwellings having a northern aspect. Where a northern aspect is available, the living spaces and balconies of such apartments must typically be orientated towards the north. Maximise dual oriented units. Single aspect, single storey apartments should preferably have a northerly or easterly aspect and a reduced depth to allow for access of natural light to all habitable spaces. The living rooms and private open space of at least 70% of apartments within the subject development must receive a minimum of three (3) hours direct sunlight between 9.00am and 3.00pm on 21 June. The number of single	Refer to ADG A northern aspect is available on site. The living spaces and balconies for units are mostly orientated north Majority of units are dual oriented. Single aspect units face north west which is appropriate to provide natural light into living areas. Shadow diagrams provided. A least 78% (25 units) receive direct sunlight. Solar access is adequate. No single aspect apartments with a southerly aspect	Yes See ADG assessment at Attachment 3.

	aspect apartments with a southerly (south-westerly to south-easterly) aspect shall be limited to a maximum of 10% of the total number of apartments proposed in the development.	proposed.	
4.16 Visual privacy	Buildings are to be designed to increase privacy without compromising access to sunlight and natural ventilation	Visual privacy between habitable rooms and private balconies/private courtyards acceptable	Yes See ADG assessment at Attachment 3.
4.17 Acoustic privacy	Acoustic report required.	Acoustic report required to be provided as part of the application lodgment.	Additional information required. Refer to ADG.
4.18 Adaptable and universally designed housing	10% of all dwellings must be designed to be capable of adaptation.	4 adaptable designed units are required and 4 have been provided	Yes
4.19 Apartment mix and layout	Apartment mix required for development with more than 10 dwellings. 10% of dwellings must be one bedroom/studio.	Refer to ADG Apartment mix as per the following proposed: 1 bed: 3 2 bed: 26 3 bed: 3 32/10 = 4 required 3 provided = 9.3%	No See ADG assessment at Attachment 3.
4.20 Natural ventilation	The residential component of mixed use developments shall have a building depth of between 10 and 18m A minimum of 60% of all residential apartments must be naturally cross ventilated. Twenty five (25%) of	Residential tower depth 32m. Design achieves solar access and natural ventilation requirements in DCP and ADG. 62.5% of apartments (20) provided with cross ventilation Kitchens do not have	No -refer to considerations at Chapter A1 above Yes

	kitchens within a development must have access to natural ventilation. Where kitchens do not have direct access to a window, the back of the kitchen must be no more than 8m from a window. To maximise natural ventilation and natural daylight opportunities, upper level residential apartments in a building should include corner apartments, cross over or cross through apartments, split-level apartments or shallow, single aspect apartments only. Single aspect apartments must be limited in depth to 8 metres from a window. Crossover or cross through apartments must be no greater than 15 metres deep (excluding balconies or terraces) The minimum width for residential apartments should be at least 6 metres	direct access to a window. All kitchens have a window within 8m for natural ventilation as required. Upper level residential apartments have appropriate natural ventilation with corner apartments and shallow single aspect apartments where appropriate. Single aspect apartments have appropriate depths to a window. Apartments are less than 15m in depth. Minimum width of 6m achieved for each apartment	Yes Yes Yes Yes Yes
4.21 Adaptive re-use	Shop top housing is encouraged.	Shop top housing proposed.	Yes
4.22 CPTED	Ensure that the building design allows for casual surveillance of access ways, entries and driveways. Avoid creating blind corners in pathways, stairwells, hallways and car park Provide entrances in prominent positions that are easily identifiable with visible numbering	Building is appropriately designed to provide casual surveillance of the entry and driveway/car park at rear. The residential and commercial access is combined within a wide and open entry that is easily identifiable with visible numbering externally. The residential and	Yes

	Avoid the creation of obscure or dark alcoves, which might conceal intruders. Provide clear lines of sight and well-lit routes throughout the development. The number of dwellings accessible from a single lift or corridor is limited to a maximum of eight (8) per floor	commercial lifts are legible with a clear line of sight from the entry. The fire stairs are accessed via a narrow corridor, however this is not the main access point for residential or commercial and is for the purpose of emergencies only. Maximum of 5 dwellings from single lift/corridor	

B4: Development in Business Zones			
Retail and Business centre hierarchy	Dapto – Regional centre		
5.3 Planning requirements for development in the regional city and major regional centres	No controls for Dapto Regional Centre currently.	N/A	See Dapto Town Centre plan below.
9.2.1 Floor configuration	Ground floor at level determined by existing footpath levels.	Ground floor matches existing footpath levels.	Yes
	Any retail premises of less than 200m2 in gross floor area should generally have a depth to width ratio ranging between 1:1 and a maximum 3:1.	Retail 01 and 02 greater than 200m^2 GFA	Yes
	The max building depth for ground floor retail or commercial office development 20 metres with openings on one side only.	Ground floor retail 01 and 02 have openings on two sides. The depth is less than 30m.	Yes
	The max building depth for retail or office building with openings on two or more side 30 metres	Upper floor commercial 01 and 02 have openings on multiple sides. The depth is less than 30m.	Yes

	Any residential storeys in a building shall have a maximum building depth of 18 metres	Residential building depth of 32m. Variation provided.	No -refer to considerations at Chapter A1 above
	Floor to ceiling height 3.3m.	Ranges from 3.8m to 4m as indicated on section plan.	Yes
	The retail frontage at street level for individual retail shops/units to match the existing traditional retail shop pattern	Ground floor divided into two separate retail shops/units which matches existing shop pattern.	Yes
	Where sites are amalgamated, the design of any new building should express the existing/ prevalent lot structure in the immediate locality.	3 sites are to be amalgamated and the resultant lot structure is in keeping with lots in the immediate locality.	
9.2.2 Building appearance	New retail or business development shall continue the predominant built form character of the locality.	Building façade along Princes Highway reflects existing fine grain interwar buildings and is compatible with surrounding heritage buildings. The façade is supported by Council's Heritage Officer and Council's Design Expert.	Yes
	For large buildings including multi-storey mixed use buildings, the treatment of the facades should be designed to provide character, visual legibility and human scale and to delineate the distinct uses.	The external building materials and finishes are appropriate for the locality.	Yes
	The external building materials and finishes of any retail or business development should be sympathetic to the existing fabric and character of buildings within that retail and business precinct.	The building design has a two storey podium with tower typology which is acceptable.	Yes Yes

	Facades facing each street or lane should be composed as at least three distinct layers	The horizontal and vertical proportions on ground and first floor level at the street are compatible with surrounding two storey buildings.	Yes
	New buildings should maintain the balance of horizontal and vertical proportions of other existing buildings in the locality.		Yes
	The profile of parapets and roof top elements should be integrated in the overall roof design of the building.	Parapets and roof top elements are integrated in the overall roof design.	Yes
	Highly reflective finishes, reflective glass and curtain wall glazing are not permitted above ground floor level.	No highly reflective finishes or reflective glazing is proposed above ground floor level.	Yes
	New development must be accompanied by a schedule of proposed external building materials and finishes to be used on the external facades of the building.	Schedule of materials and finishes provided.	Yes
9.2.3 Building alignment	Buildings should be aligned with footpaths to create spatial enclosure and a sense of place.	Building aligns with footpath	Yes
	Retail or business uses only at the ground floor.	Retail uses on ground floor	Yes
9.2.4 Active street frontage	Mixed use buildings to provide ground floor active street frontages.	Active street frontage provided	Yes
	No more than 5 metres of ground floor wall without door or	Windows and doors less than 5m apart on elevation	Yes

	window. Windows should make up 50% of the ground floor. Windows with a maximum window sill height of 0.7m above finished ground level.	Elevations demonstrate greater than 50% of ground floor façade consists of windows Windows start from finished floor level	Yes Yes
9.2.5 Urban design/streetscape appearance	Development should be sympathetic with adjoining buildings. The parapet height of any retail or business premises building must be consistent with the parapet height of the surrounding streetscape of the locality. Highly articulated facades. The horizontal form of any building should also be broken up vertically. Any retail or commercial office building must be designed to provide active street frontages on the ground floor level of the building to all street frontages. External materials - High quality and	Building façade along Princes Highway reflects existing fine grain interwar buildings and is compatible with surrounding heritage buildings. The streetscape appearance is supported by Council's Heritage Officer and Council's Design Expert. The parapet height at the ground floor level matches the existing parapet heights of adjoining buildings along the Princes Highway Building is articulated along Princes Highway façade. Design is appropriate Active street frontage to Princes Highway. No active street frontage to Dapto Square Lane External materials	Yes

	durable, low maintenance costs, no highly reflective finishes, details to be provided.	acceptable.	
9.2.6 Pedestrian access	Direct pedestrian access and visual inspection should be provided from the front of the building, to encourage active street frontage to retail shops and business premises.	Direct pedestrian access from street to retail 01 and 02 on ground floor provided Direct pedestrian access to commercial and residential on upper floors demonstrated	Yes
9.2.7 Awnings	Continuous awnings where required	Awning proposed along Princes Highway, consistent with surrounding buildings	Yes
9.2.8 Public domain – Footpath paving	Proposal may need to include upgrade to public domain.	Footpath paving details appropriate.	Yes
9.2.9 Solar access and overshadowing	Proposal should minimise overshadowing and maximise solar access to adjoining residential properties and public domain Shadow diagrams required	The site is not adjacent to any residential uses. Solar access provision is acceptable. Shadow diagrams provided.	Yes
9.2.13 Access, car parking and servicing	Refer to E3	Refer to Chapter E3	Refer to Chapter E3
9.2.14 Access for people with a disability	Chapter E1	The applicant's submission contains an Access Consultants Report and addressed by condition	Capable of compliance.
9.2.15 Land consolidation	Land consolidation required.	3 lot land consolidation required and addressed by condition.	Capable of compliance.
Dapto Town Centre Plan 2017-2027			
The Dapto Town Centre Plan was adopted by Council on 26 June 2017. Council intends to incorporate the document into Chapter B4.			

The document provides the vision for Dapto TC – our unique and welcoming place, a pedestrian friendly centre and an attractive, vibrant centre and outlines strategies to achieve this vision. It also outlines its role in the emerging development of West Dapto release area.

Dapto Town Centre Study

The objectives of this document should be addressed. In particular:

- *Focus on more shops, leisure, community facilities and services in the town centre.*
- *Making Dapto Square safer and more attractive*
- *Celebrating Dapto's heritage and history – developments should communicate Dapto's history and evolution*
- *Strong connections to the escarpment setting are to be maintained, especially from public spaces i.e. Dapto Square.*
- *Increased interaction between buildings and the outdoors*
- *Attractive and transparent street frontages that activate the street*
- *Through block permeability improving access between the railway and the town centre*
- *Scale of new buildings is to be well proportioned for the setting*

CHAPTER D1 – CHARACTER STATEMENTS

Dapto

The proposal is considered to be consistent with the existing and desired future character for the locality as follows:

- The Dapto Town Centre will expand into a sub-regional retail and business centre and will act as a key employment hub for existing residential suburbs surrounding Dapto as well as the West Dapto Release Area.
- Increased residential densities near the train station.
- Mixed use buildings containing upper level shop top housing will be encouraged, within close proximity to the Dapto railway station, the Princes Highway and Bong Bong Street.

The proposal is not considered to be in harmony with the surrounding buildings given the area is characterised by one and two storey commercial buildings. However, the proposal is not considered unreasonable as the proposal is considered reflective of the likely character expected to emerge over time in the Dapto Town Centre when the Floor Space Ratio and Building Height mapping at **Attachment 2** are taken into consideration. It is likely that the area will undergo transition into the future. It is noted that the proposal will not set a precedent for significant mixed use development in the Dapto Town Centre noting the approval under DA-2019/1462 for a nine (9) storey mixed use development on the Dapto Hotel site opposite the subject site.

CHAPTER D16: WEST DAPTO RELEASE AREA

There are no specific controls in this Chapter in regard to the Dapto Town Centre.

CHAPTER E1: ACCESS FOR PEOPLE WITH A DISABILITY

An Accessibility Report has been provided indicating the development can achieve the requirements for equitable and dignified access to the building, adaptable units, liveable units in relation to the relevant standards, national Construction Code and ADG requirements.

CHAPTER E2: CRIME PREVENTION THROUGH ENVIRONMENTAL DESIGN

Control/objective	*Comment*	*Compliance*
3.1 Lighting	It is considered that the proposed development will improve existing lighting conditions on the subject site. A condition as at **Attachment 9** is proposed in regard to providing adequate general area lighting.	Yes
3.2 Natural surveillance and sightlines	The proposed development will improve natural surveillance and sight lines of adjoining properties and the street.	Yes
3.3 Signage	No signage is proposed with this application and the proposed development will have minimal impact on the existing signage within the vicinity.	Yes
3.4 Building design	It is considered that the development allows for casual surveillance in all directions. It is considered that the proposed development satisfies Council's building design policies and controls for Crime Prevention Through Environmental Design as relates to minimising areas of entrapment.	Yes
3.5 Landscaping	The proposal is considered to satisfy the landscaping controls for CPTED in this circumstance as relates to minimising areas of concealment. Council's Landscape Officer has reviewed the proposed landscaping and raised no objections.	Yes
3.6 Public open space and parks.	The proposal is for a shop top housing development only on privately owned land.	N/A
3.7 Community facilities & Public Amenities	The proposal is for a shop top housing development only on privately owned land.	N/A
3.8 Bus stops and taxi ranks	It is considered that the proposed development will improve existing lighting conditions on the subject site and within the vicinity. The proposed development will	Yes

Control/objective	*Comment*	*Compliance*
	improve natural surveillance and sight lines of adjoining properties and the street including bus stops and taxi ranks within the vicinity.	

CHAPTER E3: CAR PARKING, ACCESS, SERVICING/LOADING FACILITIES AND TRAFFIC MANAGEMENT

Control	Proposed	Compliance
Resident/visitor *In accordance with 3J of the ADG, on land zoned B3, the minimum car parking requirement for residents/visitors is the Guide for Traffic Generating Development, or Council's car parking requirement, whichever is less.* *The site is zoned B3. The Guide for Traffic Generating Development is lesser and is assessed below.* **Resident parking** 0.6 spaces per 1 bed unit 0.9 spaces 2 bed unit 1.4 spaces 3 bed unit	1 bed units: 3 = 1.8 spaces 2 bed units: 26 = 23.4 spaces 3 bed units: 3 = 4.2 spaces = 30 spaces	Yes
Visitor parking 1 space per 5 units	35 spaces provided 32/5 = 7 spaces 7 spaces provided on level B1.	
Bicycle Parking 1 bicycle space per 3 dwellings (residents) 1 bicycle space per 12 dwellings (visitors)	32/3 = 11 spaces required 11 resident bicycle spaces provided on Level 1. 32/12 = 3 spaces required. 6 visitor bicycle spaces provided on level B1.	Yes Yes
Motorcycle parking 1 motorcycle space per 15 dwellings	32/15 = 3 motorcycle spaces required. 3 resident motorcycle space provided on level B2.	

		Yes
Commercial **Car parking** 1 car parking space per 25m2 of GFA retail premises 1 car parking space per 40m2 of GFA – business premises/office premises	Retail (level 1) 473.6sqm/25 = 19 car parking spaces required Commercial (level 2) 395.3sqm/40 = 10 car parking spaces required. Clause 7.4 30% reduction applied in City Wide = 21 car parking spaces required 23 retail/commercial car parking spaces provided	Yes
Bicycle parking Retail/business/office premises 1 bicycle space per 200m2 GFA for staff plus 1 bicycle space per 750m2 GFA for visitors	Retail/commercial combined = 868.9sqm 868.9 / 200 = 5 staff bicycle spaces required. 5 staff bicycle spaces provided on Level 1. 868.9 / 750 = 2 visitor bicycle spaces required. 3 visitor bicycle spaces provided on Level B1.	Yes Yes
Motorcycle parking Retail/business/Office premises 1 motorcycle space per 25 car parking spaces	23 = 1 motorcycle space required 1 motorcycle space provided. *Note all calculations rounded up to a whole number	Yes

CHAPTER E6: LANDSCAPING

A Landscape Plan has been submitted as required by this Chapter which details the proposed landscaping of the communal open space areas as well as proposed landscaping to the site. The proposed landscape

plans were referred to Council's Landscape Officer for comment with referral advice indicating the proposal as satisfactory subject to conditions.

CHAPTER E7: WASTE MANAGEMENT

The proposed development is to be serviced by private waste contractors. Council's Traffic Officer has reviewed the proposal providing conditionally satisfactory referral advice.

CHAPTER E11 HERITAGE CONSERVATION

The subject site is opposite the Dapto Hotel which is listed as a local heritage item (61022) under the WLEP 2009. Details of the application were referred to Council's Heritage Officer for comment.

Initial concerns were raised regarding the articulation of the shopfronts and façade. Amended plans were provided that break down the façade into three distinct elements to reflect the original subdivision pattern and interpret the existing interwar buildings by the applicant that resolves these concerns and the proposal is now considered conditionally satisfactory.

CHAPTER E12: GEOTECHNICAL ASSESSMENT OF SLOPE INSTABILITY

The application has been reviewed by Council's Geotechnical Engineer in relation to site stability and the suitability of the site for the development. Appropriate conditions have been recommended and are included at **Attachment 9**.

CHAPTER E14 STORMWATER MANAGEMENT

Council's Development Engineering Officer has assessed the application in this regard and has not raised any issues with the existing stormwater management system.

CHAPTER E15: WATER SENSITIVE URBAN DESIGN

The proposal seeks shop top housing involving more than 20 apartment therefore the proposal requires the incorporation of appropriate water sensitive urban design measures for the development. A Stormwater and WSUD Strategy Report were submitted with the application submission. The application was referred to Council's Stormwater and Environment Officers for comment. No issues were raised in regard to WSUD subject to conditions of consent included at **Attachment 9**.

CHAPTER E17 PRESERVATION AND MANAGEMENT OF TREES AND VEGETATION

The application proposes the removal of several trees to facilitate the proposal. Council's Landscape Officer has assessed the application submission, which included an Arborist Report. Conditionally satisfactory referral advice was received.

CHAPTER E19 EARTHWORKS (LAND RESHAPING WORKS)

The proposal involves excavation to facilitate the basement car parking. A geotechnical report and information regarding the earthworks to reshape the land were submitted with the application.

The application was referred to Council's Stormwater, Geotechnical and Environment Officers for comment and no objections were raised in relation to this matter subject to conditions of consent included at **Attachment 9**. Therefore, it is considered that the earthworks will not have a detrimental impact on environmental functions and processes, neighbouring uses and features of the surrounding land.

CHAPTER E20 CONTAMINATED LAND MANAGEMENT

A Preliminary Site Investigation prepared by Douglass Partners dated October 2020 was submitted and reviewed by Council's Environmental Officer.

The report has identified three Potential Areas of Environmental Concern (PAECs) and they are:

- Filling to have occurred during the development of the site beneath the existing buildings, car park and adjacent areas;
- Several structures/objects were observed on the aerials, which potentially contain hazardous building materials. Some of the structures have since been demolished or have degraded; and

- A review of a historical development application from 1969, indicated that a printing office may have been operating in an existing building in the south eastern corner of the site.

In accordance with Clause 7(2) Council's Environmental Officer has reviewed the history of the site in conjunction with these documents. Advice received is that the proposal is considered acceptable subject to conditions. Council's Environment Officer noted that the proposed development includes two levels of basement car parking across most of the site, Douglas Partners Consulting considered that any soils impacted by residual contamination that may be present associated with the former land uses, will be excavated and removed from site as part of the proposed development.

Based on PSI the report considered that the site can be rendered suitable for the proposed mixed use development on the understanding that the proposed basement excavation will remove the top 7 to 8 m of material across most of the site including the area surrounding the former location of the printing office

The site is therefore considered that the site can be made suitable for the proposed development and consistent with the assessment considerations of SEPP 55.

CHAPTER E21 DEMOLITION AND HAZARDOUS BUILDING MATERIALS MANAGEMENT

The proposal involves the demolition of the existing structures on the site. A Demolition Plan has been submitted as required by this Chapter. Appropriate conditions will be imposed on any consent to be granted in regard to demolition and asbestos management.

CHAPTER E22 SOIL EROSION AND SEDIMENT CONTROL

Conditions of consent are recommended in regard to appropriate sediment and erosion control measures to be in place during works.

ATTACHMENT 5 - Clause 8 Variation to Development Control Statements

MAXIMUM BUILDING DEPTH

Section 4.20.2 of Chapter 3 stipulates a maximum building depth of 18m for residential components of mixed-use development. The proposed development has a maximum building depth of 32m and therefore, exceeds the maximum numerical requirement.

The objectives of this control are:

(a) To encourage apartment design which allows for natural ventilation of habitable rooms.

(b) To provide natural ventilation in non-habitable rooms, where possible.

(c) To reduce energy consumption by minimising the use of mechanical ventilation.

The objectives of the control (detailed in Section 4.20.1) seek to ensure sufficient ventilation and reduce reliance on mechanical ventilation. In this regard the development complies with the required cross ventilation requirements of the ADG (60%). As such, the proposed building depth is considered acceptable and able to achieve the objectives of the control

FLOOR CONFIGURATIONS

The building floorplate has been configured as a front/west “building” of some 16.1 metres and a rear/east “building” of some 15.5 metres. These are divided by a significantly deep recess in the northern facade that has a window to the lift lobby, which will reveal a very dark shadow. The southern façade is similarly broken up with a wide recess in a material that continues up to and wraps over the roof level. These significant articulations in these facades satisfy the intent of the building depth requirement, to optimise natural ventilation and access to daylight.

mijollo
INTERNATIONAL

Friday, 11 September 2020

General Manager
Wollongong Council
41 Burelli Street
WOLLONGONG NSW 2500

SEPP 65 DESIGN VERIFICATION STATEMENT

PROPOSED MIXED USE DEVELOPMENT AT 63–73 PRINCES HWY DAPTO

PRINCIPLE 1 – CONTEXT

Good design responds and contributes to its context. Context can be defined as the key natural and built features of an area. Responding to context involves identifying the desirable elements of a location's current character or, in the case of precincts undergoing a transition, the desired future character as stated in planning and design policies. New buildings will thereby contribute to the quality and identity of the area.

The site is located right at the 'T' junction of the Princes Highway and Bong Bong Road, which is the major vehicular intersection at the centre of Dapto. The current controls promote a change to the scale of the buildings in this area and there has already been a similar scaled application lodged on the western side of Princes Highway. The site is in the middle of a shopping district with small scale street level shops and upper level commercial. In addition to this, there is the large Dapto Mall located to the east of the site. There are two heritage items in the vicinity, being the Dapto Hotel and a two level shop in Bong Bong Road originally called 'Fairleys'.

Photos: site consisting of 3 face brick shops, Dapto hotel, Dapto Medical centre on other corner

PRINCIPLE 2 – BUILT FORM & SCALE

Good design achieves a scale, bulk and height appropriate to the existing or desired future character of the street and surrounding buildings.

Good design also achieves an appropriate built form for a site and the building's purpose in terms of building alignments, proportions, building type, articulation and the manipulation of building elements. Appropriate built form defines the public domain, contributes to the character of streetscapes and parks, including their views and vistas, and provides internal amenity and outlook.

The proposal maintains and reinforces the two storey shopping-street wall along Princes Highway. Then constructs a tower with a setback of some 6 metres from the street boundary, from 4.5 to 9.0 metres from side boundaries and some 9 metres from the boundary to the laneway at the eastern side of the site. The tower is articulated with balconies, window indents and 'pop-out' bay windows on the side elevations. There is a clear base- podium, middle-tower and top-rooftop common space.

The site is an amalgamation of three properties which creates a frontage of some 30 metres which is a comfortable proportion with the 30 metre height limit. It also allows for a similar developable site to the north before the Dapto Plaza.

PRINCIPLE 3 – DENSITY

Good design achieves a high level of amenity for residents and each apartment, resulting in a density appropriate to the site and its context.

Appropriate densities are consistent with the area's existing or projected population. Appropriate densities can be sustained by existing or proposed infrastructure, public transport, access to jobs, community facilities and the environment.

The design meets all the Council and SEPP65 yield criteria of FSR, common open space, deep soil and landscape areas. The yield of 32 residential units has a balanced mix of large and small units with only

five units per floor. The scale and density are appropriate given the urban environment, proximity to employment opportunities, shopping, social and commercial amenities and to a bus network.

PRINCIPLE 4 – SUSTAINABILITY

Good design combines positive environmental, social and economic outcomes. Good sustainable design includes use of natural cross ventilation and sunlight for the amenity and liveability of residents and passive thermal design for ventilation, heating and cooling reducing reliance on technology and operation costs. Other elements include recycling and reuse of materials and waste, use of sustainable materials, and deep soil zones for groundwater recharge and vegetation.

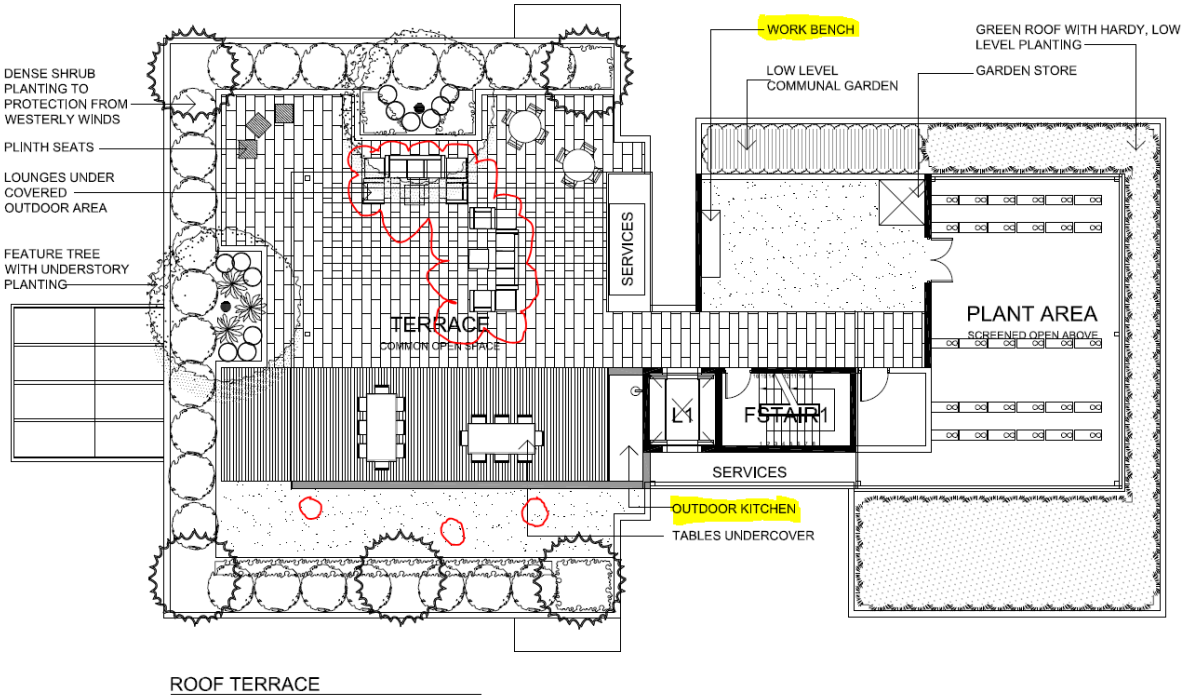
The building is designed to embrace the principles of Environmentally Sustainable Design and to meet the targets set out in the Building and Sustainability Index (BASIX). This involves the careful selection of electrical appliances, light fittings, sanitary fittings, building materials, design of window openings, orientation and shading. The proposal meets the solar access & ventilation targets set-out in the ADG.

PRINCIPLE 5 – LANDSCAPE

Good design recognises that together landscape and buildings operate as an integrated and sustainable system, resulting in attractive developments with good amenity. A positive image and contextual fit of well-designed developments is achieved by contributing to the landscape character of the streetscape and neighbourhood.

Good landscape design enhances the development's environmental performance by retaining positive natural features which contribute to the local context, co-ordinating water and soil management, solar access, micro-climate, tree canopy, habitat values, and preserving green networks. Good landscape design optimises usability, privacy and opportunities for social interaction, equitable access, respect for neighbours' amenity, provides for practical establishment and long term management.

The proposal provides landscaping to 4 levels, specifically designed for their location and indicated on the Landscape drawings. On level 1, (at the ground level at the rear of the site) there is a deep soil buffer at the rear of the site that contains significant high trees that provide protection and an improved outlook for the residential apartments on level 2. The level 2 landscaping is in planters and have a more controlled height improving the privacy between the commercial suites and the residential. There is more landscaping in planters on level 3 that provide some biophonic amenity. The rooftop has many spaces of general social amenity on the north and quiet reflection on the southern side of the main east west wall. Its landscape treatment is also more varied and shown in detail on the landscape drawings.



PRINCIPLE 6 – AMENITY

Good design positively influences internal and external amenity for residents and neighbours. Achieving good amenity contributes to positive living environments and resident well-being.

Good amenity combines appropriate room dimensions and shapes, access to sunlight, natural ventilation, outlook, visual and acoustic privacy, storage, indoor and outdoor space, efficient layouts and service areas, and ease of access for all age groups and degrees of mobility.

The site has great connectivity to a major arterial bus route. This constant activity is balanced with the rooftop common open space that provides a variety of social and reflective spaces all with spectacular outlooks. The proposal achieves the solar & cross-flow targets of the Rule of Thumb in the Apartment Design Guide (as indicated on the plans with arrows for wind-paths and compass symbols fir solar access compliance) and summarised as follows:

Amenity item	Achieved	ADG Rule of Thumb
Cross flow ventilation	60%	60%
Solar access of 2 hours	80%	70%

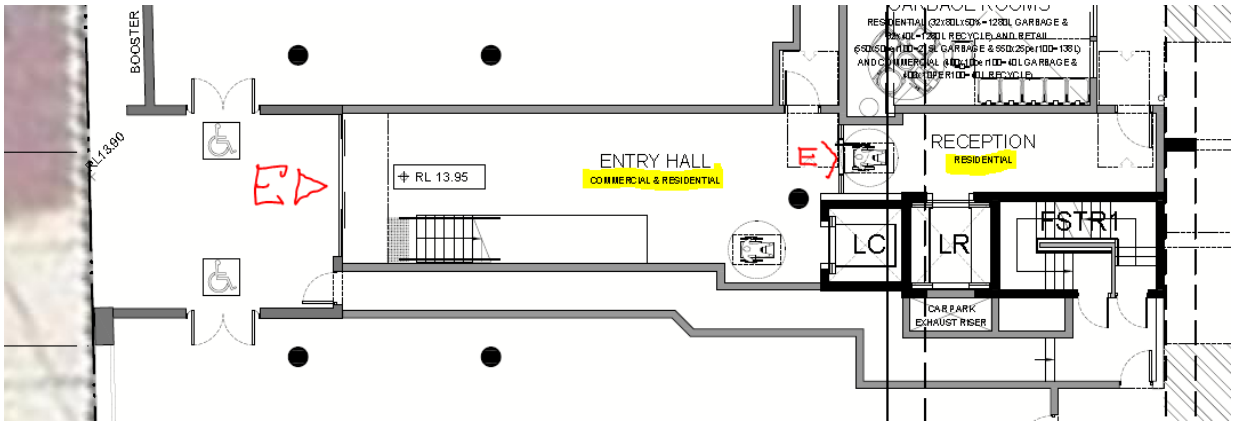
Furniture layouts have been included on the plans that show that each room has ample space for the designated function. Built-in storage has been provided in each unit and can provide in accordance with the ADG. There is additional storage spaces in the basement accessed directly by a lift, independent of the lift for the commercial and retail use. The secure basement provides resident's bicycle stores, motorcycle spaces and visitor and retail/commercial parking.

PRINCIPLE 7 – SAFETY

Good design optimises safety and security, within the development and the public domain. It provides for quality public and private spaces that are clearly defined and fit for the intended purpose. Opportunities to maximise passive surveillance of public and communal areas promote safety.

A positive relationship between public and private spaces is achieved through clearly defined secure access points and well lit and visible areas that are easily maintained and appropriate to the location and purpose.

The proposed layouts of the building, apartments and balconies have been designed to provide natural passive surveillance of the public domain. Appropriate security measures will be incorporated within the entry lobbies. The entries are directly connected to the footpath into a combined double height hall. The residential entry is then obvious, directly visible and through security doors at the end of the hall. This separate residential entry also connects directly to the parking and loading space at the rear of the site. Vehicular access is from the lane at the east of the site via a security roller shutter. Retail, commercial and visitors to the residential all park either on level 1 or Basement 1. Residents continue through to a second security roller shutter and down to Basement 2. All common areas, including the basements will be monitored by recorded close circuit television and motion sensors.



PRINCIPLE 8 – SOCIAL DIMENSIONS

Good design achieves a mix of apartment sizes, providing housing choice for different demographics, living needs and household budgets.

Well-designed apartment developments respond to social context by providing housing and facilities to suit the existing and future social mix. Good design involves practical and flexible features, including different types of communal spaces for a broad range of people, providing opportunities for social interaction amongst residents.

The site is well located near public and community services, employment opportunities and retail services. This proximity and a good bus network can offer a life style that can be reasonably free from vehicles. The proposal is for 3 x one bedroom units, 26 x two bedroom units and 3 x three bedroom units which will compliment and extend the diversity of accommodation within the area. Parking requirements are well catered for with bicycles, motorcycles and cars. Four adaptable units have been provided and a report and detail post-adaption layouts are included in the submission. An excellent large open communal space of great amenity has been included for several independent and social uses. The very nature of providing this 'shop-top' proposal in this mixed use location supports and extends the local community which allows a wide range of diverse lifestyles to be accommodated in a socially cohesive environment.

PRINCIPLE 9 – AESTHETICS

Good design achieves a built form that has good proportions and a balanced composition of elements, reflecting the internal layout and structure. Good design uses a variety of materials, colours and textures.

The visual appearance of well-designed apartment development responds to the existing or future local context, particularly desirable elements and repetitions of the streetscape.

The proposal creates a well-mannered building with materials and details that are an integral part of the local traditional aesthetic. It works with the building envelope controls to produce a layered building that creates an appropriate scale for the site. It has a clear logic and structure that creates a calm restful façade. It provides a common open space that is substantial, well-appointed and a tranquil retreat for this busy site.

Friday, 11 September 2020

General Manager
Wollongong Council
41 Burelli Street
WOLLONGONG NSW 2500

SEPP65 CERTIFICATION

PROPOSED MIXED USE DEVELOPMENT AT 63–73 PRINCES HWY DAPTO

I hereby declare that I am a qualified designer, which means a person registered as an architect in accordance with the Architects' Act 2003 as defined in Clause 3 of the Environmental Planning & Assessment Regulation 2000.

I directed the design of the Residential Flat Development stated above and I confirm that the design and documentation achieves the design quality principles set out in Part 2 of the State Environmental Planning Policy No: 65 – Design Quality of Residential Flat Development.

Regards

Milton Lloyd
Registered Architect 7960
Principal and Director
Mijollo International Pty. Ltd.

Attachment 7

Wollongong Design Review Panel – via Teams Meeting
Meeting minutes and recommendations

Date	21st June 2021
Meeting location	Wollongong City Council Administration Offices
Panel members	David Jarvis
	Sue Hobley
	Tony Quinn
Apologies	Nil
Council staff	John Wood - City Wide Development Manager Brianna Lee – Design Officer Alexandra Mcrobert – Design Expert
Guests/ representatives of the applicant	
Declarations of Interest	None
Item number	1
DA number	DA-2020/1255
Determination pathway	
Property address	63-73 Princes Highway Dapto
Proposal	Demolition of existing structures and construction of mixed use development (shop top housing)
Applicant or applicant's representative address to the design review panel	
Background	The site was previously inspected by the Panel on 11 May 2020. The proposal was previously reviewed by the Panel on 30th November 2020. Issues previously raised by the Panel are high-lighted in red.
Design quality principals SEPP 65	
Context and Neighbourhood Character	The site is located on the eastern side of the Princes Highway in the evolving Dapto Town Centre. Opposite a main intersection with Bong Bong Road and adjacent to a large Shopping Centre, the site has good access to local facilities and the Dapto Railway Station. The site has a rear lane which houses the large and rather bleak Dapto Mall loading dock. Dapto Square is 30m to the north. Two heritage buildings of two storeys contribute significantly to the character of the large adjacent corner, the Dapto Hotel (61022) and the Fairleys building (61021). In keeping with local planning intentions, a recent proposal for the hotel adopts two storey street massing with larger residential elements set back from the street alignment. The proposal demonstrates a reasonable understanding of context and responds to streetscape and massing reasonably well. A contextual study has been provided, anticipating how the proposal will relate to future building forms on neighbouring sites. The study shows the continuation of the two-storey street wall formed along Princes Highway and tower forms (of similar proportion to the proposal) on neighbouring sites to the north and south. The proposed building has responded to this context with a typical mid-block building, set back a minimum of 4.5m from each side boundary. Both side elevations are treated in a defensive manner to minimise potential privacy issues.

	The study provided by the applicant is commendable. However, given the specific nature of the site and adjacent uses, the Panel believes that further refinements to the built form are required to achieve a truly responsive outcome, that will significantly improve the amenity of the proposal. No change to these issues.
Built Form and Scale	The Panel supports the scale of the proposal, including its two-storey street frontage and the height of the residential tower above. No change to these issues. Due to current retail uses and zoning, there is little likelihood that the shopping centre to the south will develop in the foreseeable future. The site to the north is a comfortably proportioned site that will address Dapto square to the north. A future building on this site will be positioned towards the north eastern edge of the site to address Dapto square and will be orientated to the north / east to address the square and maximise views and solar access. In view of this specific context, the Panel questions the central position of the tower as proposed. It is therefore recommended that the tower be moved 1.5m to the south. This will provide a nominal southern setback of 4.5m. Bays may protrude further into the 4.5m southern set back to allow windows to be orientated towards north-west and south-east boundaries, rather than back across the roof of the shopping centre. This will improve the potential to open up the northern façade – especially the corner, with its excellent outlook to the escarpment and optimum solar access. Corner windows to living rooms, balconies that opens up to the north and some higher-level windows (1500mm sill height) to service kitchen and dining areas could be incorporated to improve the amenity of the northern corner units. Corner windows have been provided to northwest corner units. However, the proposed building remains a largely symmetrical building located centrally on the site. It is recommended that a high-level window is provided to the kitchen dining areas of all northwest corner units, to provide natural light deeper into the unit and further articulate the northern façade. The south-western corner units could also be developed with louvred screens to the south-western edge of the balcony to improve outlook and provide more natural light. No change to this issue, the Panel recommends that the south-western corner units could also be developed with louvred screens to the south-western edge of the balcony, a high-level window to the kitchen / dining area and a small opaque window to the laundry to reduce dependency on artificial lighting. Note: a window is shown servicing the kitchen dinning area of the southwestern corner unit on the elevation but not the plan. The ground floor lobby has been developed as a shared space (commercial and residential) that connects to private residential lobby. Given the scale of the building, this is a reasonable strategy. No change to this issue.

	While loading appears rational, truck sweep paths are needed to confirm, to demonstrate that the space is functional. A separate garbage room should be provided for commercial waste. While the commercial uses at first floor level are supported, more care should be given to flexibility of use – if for whatever reason, commercial at first level proves not to work. The option to replace commercial with residential in this location may impact on the form and access of the space proposed. This may also require street facing balconies, which could be incorporated into the two-storey street wall expression. This issue has now been addressed.
Density	Acceptable, the proposal is consistent with the future scale and density of this precinct No change to this issue.
Sustainability	The building appears to comply with the mid-winter solar access and natural ventilation requirements of the ADG. No change to this issue. A full raft of sustainability measures (including solar panels, water collection and reuse of podium landscapes etc.) should be incorporated into the proposal. No change to this issue. The proposal is proposing no sustainable initiatives beyond minimum statutory requirements.
Landscape	The proposal includes a deep soil zone setback at ground level on the eastern boundary, the Dapto Square Lane frontage. The Panel supports this but is concerned that the proposed "canopy tree" plantings may be unsuitable for the context. The Lane is used by trucks and spreading plantings are liable to be damaged or cause visibility problems. Nevertheless, it will be important to establish suitable amenity plantings (such as vigorous climbers or upright shrubs / trees. This remains a concern. The Panel considers that a more suitable approach would be to install a climbing frame to support climbers suited to the environmental conditions of this portion of the site (e.g. *Pandorea pandorana*; *Geitonoplesium cymosum*; or *Hibbertia scandens*) that could screen the carpark without encroaching into the laneway. Ground covers and small clumping shrubs should be planted to fill out the garden bed. The eastern length of the northern wall will be visible from the north and requires treatment to ameliorate adverse impacts. This issue has not been addressed. The landscape plan provides for private terraces and a rooftop terrace for communal use (COS). The Panel provides the following comments to assist with further development of these spaces: - The terrace of Commercial unit 01 could be expanded to include the area to the east no longer to be designated for services.

	The provision of a services area in this location is considered acceptable, pending the provision of appropriate access. - The terraces of Commercial units 01 and 02 are each divided into 2 separate spaces by means of a planter box. It is unclear how these spaces will separately be accessed and what purpose they serve. A better approach may be to provide a more generous and functional single terrace space with planters located to provide privacy screening rather than spatial fragmentation. This issue has not been addressed. Each of the terraces needs to be redesigned to provide an unbroken space with amenity plantings and furniture suitable for the use of the staff of the associated commercial unit. The Panel supports terrace plantings that allow access points to view the streetscape and local views, rather than solid screen plantings around perimeters. This issue has not been addressed. Further development to the perimeter planting along the western edge of the roof terrace is recommended. Rather than a continuous, linear planting of shrubs and trees, plantings should be in clumps with gaps, particularly in the northwest corner, to provide clear outlook points to the street and beyond. The Panel does not support the use of artificial turf where on-slab planting is an option. This issue has not been addressed. Living turf would be supported where 'artificial turf' is proposed.
Amenity	Units generally provide a reasonable level of amenity, however further consideration should be given to the following: - loading and manoeuvrability of large vehicles (refer to safety) The Panel has been advised that this issue has now been addressed to the satisfaction of councils traffic engineer. - providing secure separation between commercial tenancies and residential lobbies (refer to safety) This issue has now been satisfactorily addressed. - provision of commercial waste room (refer to built form). The Panel has been advised that this issue has now been addressed to the satisfaction of councils traffic engineer.

	- flexibility of use for commercial uses (refer to built form). The provision of level 1 commercial spaces is endorsed by the Panel. However, a strategy that accommodates adaptive reuse of these space as residential units has not been adopted by the applicant. Thought this is not a statutory requirement the Panel encourages the applicant to consider this issue to ensure the longevity of the building. moving tower to south (refer to built form). No change to this issue. - developing the tower form to improve internal amenity (refer to built form) No change to this issue. Refer to detail comments above (built form). - provision of ablution facilities on level 1 for the commercial units. Tenants of the level 1 commercial suites are required to use toilets at ground floor level. It is recommended that the corridor space to the north of the commercial lift is replanned to accommodate an accessible wc at level1.
Safety	Loading and manoeuvrability of large vehicles requires a review to ensure that all movements on and off the site are safe. The Panel has been advised that this issue has now been addressed to the satisfaction of councils traffic engineer. On level1, the residential lobby forms part of the fire egress from the commercial building. This prevents the residential building from being secured from the commercial building, the security of the residential building is compromised. This issue has now been satisfactorily addressed. Confirmation is required that maximum distances within the commercial tenancy facilitate the egress strategy proposed. The applicant has advised that egress distances have been confirm by their BCA consultant.
Housing Diversity and Social Interaction	The proposal will provide a suitable housing option for this precinct. No change to this issue. Further development is required to secure the residential component of the development from the commercial tenancies (refer to Safety). This issue has now been satisfactorily addressed.

Aesthetics	While it is recommended that the tower be moved to the south and the form of the tower varied to improve internal amenity, the panel supports the form, massing and scale of the proposal generally. No change to this issue. Also supported is the two-storey streetscape expression and the use of brick on the base of the building; the applicant is encouraged to use the brick for the exposed areas of base in the laneway, particularly those which will be visible from Dapto Square. The revised street façade expresses the central element as a light weight glazed façade. The Panel recommends that the central element within the façade is expressed as a framed brick element, to reinforce the rhythm and desired character of the High Street. The laneway façade will be visible from the main entry point of Dapto mall. A significant portion of the laneway façade contains a fence that scales at a height of approximately 1.3m. This will expose the carpark to the laneway. It is recommended that a lightweight screen that fully encloses the carpark is developed. The screen should be designed to accommodate climbing plants that form a green wall, over a large portion of the base of the building. The exposed side elevations show expressed horizontal banding in perspectives but no banding on elevations. The elevations should be updated to match the perspectives. The extent of painted finishes should also be reduced on side elevations. Amendments recommend above (built form) should assist in achieving this. The horizontal banding is now shown on the elevations. Further developments to the side elevations are recommended . refer to comments above, built form. Servicing of the building must be considered at this stage of the design process. The location of service risers, AC condensers, down pipes, fire hydrant boosters etc. should be accommodated. It is remains unclear as to how: - The Booster valve cupboard shown on the ground floor plan is accommodated within the street façade. - Down pipes will be accommodate within the building form.
Key issues, further Comments & Recommendations	The general form and expression of the building are supported by the Panel. However, further detail refinements are encouraged to provide better amenity to residents with a more specific response to the future context of this site.

	No change to this issue, further refinements recommended by the Panel: - a high-level window is provided to the kitchen / dining areas of all northwest corner units. - the south-western corner units are to be developed with louvred screens to the south-western edge of the balcony, a high-level window to the kitchen / dining area and a small opaque window to the laundry. - further development to the perimeter planting in the northwest corner of the roof terrace, to is recommended, to provide a clear outlook to the street and beyond. - the corridor space to the north of the commercial lift is replanned to accommodate an accessible wc at level1. - the central element within the street façade is expressed as a framed brick element, to reinforce the rhythm and desired character of the High Street. - a lightweight screen (that fully encloses the carpark) should be designed to accommodate climbing plants that form a green wall over a large portion of the podium fronting the rear lane. - Further information documenting how services are integrated into the building from.

Attachment 8

Douglas Partners
Geotechnics / Environment / Groundwater

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JSS Dapto Property Group Pty Ltd
U1 / 87 O'Briens Road
FIGTREE NSW 2525

Project 99085.02
22 September 2021
R.001.Rev0
KGH

Attention: David Shalala

Email: david@gig.ne.tau

Contaminated Land Comment
Proposed Mixed Use Development
63-73 Princes Highway, Dapto

As requested by MMJ Wollongong and Wollongong City Council (WCC), Douglas Partners Pty Ltd (DP) has prepared this letter to provide contaminated land clarifications in relation with the proposed mixed use development located at 63 – 73 Princes Highway, Dapto (hereinafter referred to as 'the site') with respect to the following report:

- DP's *Report on Preliminary Site Investigation, Proposed Mixed Use Development, 63 – 73 Princes Highway, Dapto*, DP Project 99085.01 dated October 2020 (hereinafter referred to as 'the PSI').

It is noted that this letter does not supersede or replace the PSI.

The objective of the PSI was to assess the potential for contamination at the site based on past and present land uses and activities, and to comment on the need for further investigation and/or management with regard to the proposed development.

The following key guidelines were consulted in the preparation of the PSI:

- NEPC *National Environment Protection (Assessment of Site Contamination) Measure 1999 (as amended 2013) [NEPM]* (NEPC, 2013); and
- NSW EPA *Guidelines for Consultants Reporting on Contaminated Land* (NSW EPA, 2020).

WCC has requested additional comments with respect to the State Environmental Planning Policy No. 55 – Remediation of Land (SEPP 55).

Based on the findings of the PSI it was considered that there is potential for contamination to exist which, if present, may pose a risk to identified receptors. It was, however, considered that the site can be rendered suitable for the proposed mixed-use development on the understanding that the proposed basement excavation will remove the top 7 to 8 m of material across most of the site including the area surrounding the former location of the printing office.

The PSI made the following recommendations:

- Undertake a waste classification prior to removal of any surplus material from the site. This should specifically target identified potential sources of contamination for the purpose of waste classification;

- Following the complete removal of all fill a validation assessment be carried out to assess the potential for any impacted material to remain and to assess whether the potential for groundwater contamination remains on site;
- Following the complete removal of all fill an assessment be carried out to validate that the remaining natural soil materials have not been impacted by former site activities;
- A visual walkover inspection of the exposed natural surface at the final basement level be undertaken to assess for signs of potential contamination prior to further construction;
- An unexpected finds protocol be implemented as part of a construction environmental management plan for any future proposed earthworks or development; and
- A pre-demolition hazardous building materials survey be undertaken prior to the demolition of the site structures.

Therefore, subject to the implementation of the recommendations given in the PSI and based on the findings of the PSI, it is considered that the site can be made suitable for the proposed development from the contaminated land perspective in the context of Clause 7 of SEPP 55.

Please contact the undersigned if you have any questions on this matter.

Yours faithfully
Douglas Partners Pty Ltd

Kenton Horsley
Environmental Engineer

Reviewed by

pp **Glyn Eade**
Associate

Attachments: Limitations
About this Report

Limitations

Douglas Partners (DP) has prepared this report for this project at 63-73 Princes Highway, Dapto as requested by Mr Luke Rollinson from MMJ Wollongong on behalf of JSS Dapto Property Group Pty Ltd. The work was carried out under DP's Conditions of Engagement. This report is provided for the exclusive use of JSS Dapto Property Group Pty Ltd for this project only and for the purposes as described in the report. It should not be used by or relied upon for other projects or purposes on the same or other site or by a third party. Any party so relying upon this report beyond its exclusive use and purpose as stated above, and without the express written consent of DP, does so entirely at its own risk and without recourse to DP for any loss or damage. In preparing this report DP has necessarily relied upon information provided by the client and/or their agents.

DP's advice is based upon the conditions encountered during the PSI. The accuracy of the advice provided by DP in this report may be affected by undetected variations in ground conditions across the site between and beyond the areas inspected. The advice may also be limited by budget constraints imposed by others or by site accessibility.

The assessment of atypical safety hazards arising from this advice is restricted to the environmental components set out in this report and based on known project conditions and stated design advice and assumptions. While some recommendations for safe controls may be provided, detailed 'safety in design' assessment is outside the current scope of this report and requires additional project data and assessment.

This report must be read in conjunction with all of the attached and should be kept in its entirety without separation of individual pages or sections. DP cannot be held responsible for interpretations or conclusions made by others unless they are supported by an expressed statement, interpretation, outcome or conclusion stated in this report.

This report, or sections from this report, should not be used as part of a specification for a project, without review and agreement by DP. This is because this report has been written as advice and opinion rather than instructions for construction.

About this Report

Introduction

These notes have been provided to amplify DP's report in regard to classification methods, field procedures and the comments section. Not all are necessarily relevant to all reports.

DP's reports are based on information gained from limited subsurface excavations and sampling, supplemented by knowledge of local geology and experience. For this reason, they must be regarded as interpretive rather than factual documents, limited to some extent by the scope of information on which they rely.

Copyright

Borehole and Test Pit Logs

The borehole and test pit logs presented in this report are an engineering and/or geological interpretation of the subsurface conditions, and their reliability will depend to some extent on frequency of sampling and the method of drilling or excavation. Ideally, continuous undisturbed sampling or core drilling will provide the most reliable assessment, but this is not always practicable or possible to justify on economic grounds. In any case the boreholes and test pits represent only a very small sample of the total subsurface profile.

Interpretation of the information and its application to design and construction should therefore take into account the spacing of boreholes or pits, the frequency of sampling, and the possibility of other than 'straight line' variations between the test locations.

Groundwater

Where groundwater levels are measured in boreholes there are several potential problems, namely:

- In low permeability soils groundwater may enter the hole very slowly or perhaps not at all during the time the hole is left open;
- A localised, perched water table may lead to an erroneous indication of the true water table;
- Water table levels will vary from time to time with seasons or recent weather changes. They may not be the same at the time of construction as are indicated in the report; and
- The use of water or mud as a drilling fluid will mask any groundwater inflow. Water has to be blown out of the hole and drilling mud must first be washed out of the hole if water measurements are to be made.

More reliable measurements can be made by installing standpipes which are read at intervals over several days, or perhaps weeks for low permeability soils. Piezometers, sealed in a particular stratum, may be advisable in low permeability soils or where there may be interference from a perched water table.

Reports

The report has been prepared by qualified personnel, is based on the information obtained from field and laboratory testing, and has been undertaken to current engineering standards of interpretation and analysis. Where the report has been prepared for a specific design proposal, the information and interpretation may not be relevant if the design proposal is changed. If this happens, DP will be pleased to review the report and the sufficiency of the investigation work.

Every care is taken with the report as it relates to interpretation of subsurface conditions, discussion of geotechnical and environmental aspects, and recommendations or suggestions for design and construction. However, DP cannot always anticipate or assume responsibility for:

- Unexpected variations in ground conditions. The potential for this will depend partly on borehole or pit spacing and sampling frequency;
- Changes in policy or interpretations of policy by statutory authorities; or
- The actions of contractors responding to commercial pressures.

If these occur, DP will be pleased to assist with investigations or advice to resolve the matter.

About this Report

Site Anomalies

In the event that conditions encountered on site during construction appear to vary from those which were expected from the information contained in the report, DP requests that it be immediately notified. Most problems are much more readily resolved when conditions are exposed rather than at some later stage, well after the event.

Information for Contractual Purposes

Where information obtained from this report is provided for tendering purposes, it is recommended that all information, including the written report and discussion, be made available. In circumstances where the discussion or comments section is not relevant to the contractual situation, it may be appropriate to prepare a specially edited document. DP would be pleased to assist in this regard and/or to make additional report copies available for contract purposes at a nominal charge.

Site Inspection

The company will always be pleased to provide engineering inspection services for geotechnical and environmental aspects of work to which this report is related. This could range from a site visit to confirm that conditions exposed are as expected, to full time engineering presence on site.

ATTACHMENT 9 – Conditions

Approved Plans and Specifications

1 The development shall be implemented substantially in accordance with the details and specifications set out on Drawing A201-A1-A, A202-A1-A, A301-A-A and A501-A-A dated 11 September 2020 and A203-C-C, A204-C-C, A205-B-B to A207-B-B, A401-C-C, A402-B-B and A403-B-B dated 14 July 2021 prepared by Mijollo International and any details on the application form, and with any supporting information received, except as amended by the conditions specified and imposed hereunder.

General Matters

2 **Geotechnical**

a A dilapidation report is required for all structures located within the zone of influence of the proposed earthworks as determined by the geotechnical consultant.

b Hard bedrock where encountered will be difficult to excavate. Alternative excavation methods should be considered to minimise noise and vibration.

c All excavations need to be supported during and after construction particularly to protect adjoining property with nearby existing development.

d Retaining wall design is not to include anchors extending on to adjoining property without the written consent of the adjoining property owner.

e No disturbance of ground is to occur beyond site boundaries. A minimum buffer between site boundaries and the construction of retaining structures is to be recommended by the geotechnical consultant to ensure adjoining property is not adversely impacted upon by this development.

f All work is to be in accordance with the geotechnical recommendations contained in the report dated 25 August 2020 by Douglas Partners.

g All earthworks including drainage, retaining wall and footing construction is to be subject to geotechnical supervision. Where necessary amendments are to be made to the designs during construction based on supplementary geotechnical advice given during the supervision to ensure that the completed works accommodates all encountered geotechnical constraints.

h Foundation systems are to be designed for Class P soils with all footings to be founded within the underlying weathered bedrock or as recommended by the geotechnical consultant.

i All excavations for foundations are to be inspected by the geotechnical consultant and certified that the ground has been suitably prepared for the placement of footings.

3 **Separate Development Applications for Café and Restaurants**

Separate development applications must be lodged by tenants or operators of café and restaurants.

4 **Separate Approval for Use of Commercial and Retail Units**

Separate approval is required for first use of commercial and retail units.

5 **Building Work - Compliance with the Building Code of Australia**

All building work must be carried out in compliance with the provisions of the Building Code of Australia.

6 **Construction Certificate**

A Construction Certificate must be obtained from Council or a Registered Certifier prior to work commencing.

A Construction Certificate certifies that the provisions of Clauses 139-147 of the Environmental Planning and Assessment Regulation 2000 have been satisfied, including compliance with all relevant conditions of Development Consent and the Building Code of Australia.

Note: The Certifier must cause notice of its determination to be given to the consent authority, and to the Council, by forwarding to it, within two (2) days after the date of the determination, the plans and documentation referred to in clause 142 (2) of the Environmental Planning and Assessment Regulation 2000.

7 **Disability Discrimination Act 1992**

This consent does not imply or confer compliance with the requirements of the Disability Discrimination Act 1992.

It is the responsibility of the applicant to guarantee compliance with the requirements of the Disability Discrimination Act 1992. The current Australian Standard AS 1428.1:2009: Design for Access and Mobility is recommended to be referred for specific design and construction requirements, in order to provide appropriate access to all persons within the building.

8 **Mailboxes**

The developer must install mailboxes along street frontage of the property boundary in accordance with Australia Post Guidelines. Prominent house numbers are to be displayed, with a minimum number size of 150 mm in height for each number and letter in the alphabet.

Mailboxes shall be individually keyed.

9 **Separate Consent Required for Advertising Signage**

This consent does not authorise the erection of any advertising signage. Any such advertising signage will require separate Council approval, in the event that such signage is not exempt development, under Schedule 2 of Wollongong Local Environmental Plan 2009.

Any new application for advertising signage must be submitted to Council in accordance with Chapter C1 – Advertising and Signage Structure of Wollongong Development Control Plan 2009.

10 **Height Restriction**

The development shall be restricted to a maximum height of 44.30 metres AHD from the natural ground level (inclusive of the lift tower and any air conditioning plant). Any alteration to the maximum height of the development will require further separate approval of Council.

11 **Occupation Certificate**

An Occupation Certificate must be issued by the Principal Certifier (PC) prior to occupation or use of the development. In issuing an Occupation Certificate, the PC must be satisfied that the requirements of section 6.9 of the Environmental Planning and Assessment Act 1979, have been complied with as well as all of the conditions of the Development Consent.

12 **Tree Retention/Removal**

The developer shall remove the existing tree(s) indicated on the Detail Survey A1-D22005 dated 17 January 2020.

Prior to the Issue of the Construction Certificate

13 **Amend Plans with Acoustic Recommendations**

Prior to the issue of construction Certificate amended construction plans shall be provided implementing all the recommendations as detailed in section 5.0 – Acoustic Recommendation of the Acoustic Report prepared by Harwood Acoustic dated March 2021 so as to enable compliance with ISEPP 2007 Clause 102 noise criteria. A copy of the amended plan must be submitted to the PC for endorsement.

14 **Unexpected Find Protocol**

Prepare unexpected find protocol to identify contamination and "hotspots". Sometimes site contamination is not expected and is detected after work commences. Excavations may uncover buried asbestos, other materials. Unexpected contamination or hotspots on a site should be taken

into account for any site health and safety plan. Precautions should be included in the plan, including:

- workers trained to recognise potential contamination and danger signs eg odours or soil discolouration.
- precautions if signs of unexpected contamination or hot spots are found, such as:
    - stop work.
    - report signs to the site supervisor immediately.
    - isolate the area with a physical barrier.
    - assume the area is contaminated until an assessment proves otherwise.
    - assess the area to identify contaminants in the soil or spoil.

15 **Flows from Adjoining Properties**

Flows from adjoining properties shall be accepted and catered for within the site. Finished ground and top of retaining wall levels on the boundary shall be no higher than the existing upslope adjacent ground levels. The above requirements must be clearly shown on Construction Certificate plans prior to the release of the Construction Certificate.

16 **Crest at Vehicular Entry Points**

A crest must be provided at each entrance to the car park and loading dock to prevent ingress of stormwater from the roadway. The crest must include a transition which does not extend more than two (2) metres into the site and does not compromise vehicle sight distance or driver comfort and safety. This requirement must be reflected on the Construction Certificate plans.

17 **Heritage – Interpretation Signage**

The applicant is to prepare interpretative material to be included on a sign either externally or in a visible internal location within the building. The sign should provide a brief history of the Dapto Commercial Centre, the past ownership of the interwar buildings and their previous commercial use. Details of the proposed sign should be provided to Council's Heritage Staff for approval prior to release of Construction Certificate.

18 **Façade Design**

The recess between the brick elements should be retained in any future design amendments and clearly shown on the construction plans to allow for adequate articulation of the façade.

Any proposed changes to the façade will required a Section 4.55 modification application under the EP&A Act 1979.

19 **Present Plans to Sydney Water**

Approved plans must be submitted online using Sydney Water Tap, available through www.sydneywater.com.au to determine whether the development will affect Sydney Water's sewer and water mains, stormwater drains and/or easements, and if further requirements need to be met.

The PC must ensure that Sydney Water has issued an approval receipt prior to the issue of a Construction Certificate.

Visit www.sydneywater.com.au or telephone 13 20 92 for further information.

20 **Endeavour Energy Requirements**

The submission of documentary evidence from Endeavour Energy to the PC is required confirming that satisfactory arrangements have been made with Endeavour Energy for the provision of electricity supplies to the development, prior to the release of the Construction Certificate.

Note: Applications should be made to Customer Connections – South Coast, Endeavour Energy PO Box 811 Seven Hills NSW 1730.

21 **Telecommunications**

The submission of documentary evidence from an approved telecommunications carrier to the PC confirming that underground telecommunication services are available for this development is required prior to the issue of the Construction Certificate.

22 **External Finishes – Residential Apartment Building**

The building shall be constructed and finished in accordance with the approved schedule of finishing materials and colours except where amended by conditions of this consent. This requirement shall be reflected on the Construction Certificate plans and supporting documentation.

23 **Glass Reflectivity Index**

The reflectivity index of the glass used in the external façade of the building shall not exceed 20 per cent. The details and samples of the glass to be used are to be submitted with the Construction Certificate together with written evidence that the reflectivity of the glass is 20 per cent or less.

24 **Crime Prevention through Environmental Design (CPTED) - Landscaping**

In order to reduce the opportunities for "hiding places" the proposed landscaping must:

a use shrubs/plants which are no higher than one (1) metre adjacent to pathways.
b the type of trees proposed must have a sufficiently high canopy, when installed and fully grown, so that pedestrian vision is not impeded.
c Shrub planting to be set back minimum one (1) metre from the edge of the pathway. Groundcover planting acceptable.

This requirement shall be reflected on the Construction Certificate plans.

25 **CPTED - Lighting**

The proposed development shall incorporate 'low impact' lighting to ameliorate any light spillage and/or glare impacts upon surrounding properties in accordance with Council's CPTED principles. The final design details of the proposed lighting system shall be reflected on the Construction Certificate plans. The erection of the lighting system shall be in accordance with the approved final design.

26 **Car Parking and Access**

The development shall make provision for the following:

Residential

- 35 residential car parking spaces (including 4 spaces capable of adaption for people with disabilities).
- 7 residential visitor car parking spaces.
- 3 residential motorcycle parking spaces.
- A minimum of 11 secure (Class B) residential bicycle spaces.
- A minimum of 3 residential visitor bicycle spaces (Class C).

Commercial and Retail

- 23 retail/commercial parking spaces (including 2 car parking spaces for people with disabilities).
- 1 retail/commercial motorcycle parking space.
- A minimum of 5 secure (Class B) staff bicycle spaces.

This requirement shall be reflected on the Construction Certificate plans. Any change in above parking numbers shown on the approved DA plans shall be dealt with via a section 4.55 modification to the development. The approved car parking spaces shall be maintained to the satisfaction of Council, at all times.

27 The parking dimensions, internal circulation, aisle widths, kerb splay corners, head clearance heights, ramp widths and grades of the car parking areas are to be in conformity with the current relevant Australian Standard AS 2890.1, except where amended by other conditions of this consent. Details of such compliance are to be reflected on the Construction Certificate plans.

28 Each disabled person's parking space must comply with the current relevant Australian Standard AS 2890.6 – Off-street parking for people with disabilities. This requirement shall be reflected on the Construction Certificate plans.

29 The depth and location of all services (ie gas, water, sewer, electricity, telephone, traffic lights, etc) must be ascertained and reflected on the Construction Certificate plans and supporting documentation.

30 **Landscaping**
The submission of a final Landscape Plan will be required in accordance with the requirements of Wollongong City Council DCP 2009 Chapter E6 and the approved Landscape Plan (ie as part of this consent) for the approval by the PC, prior to the release of the Construction Certificate.

31 The submission of certification from a suitably qualified and experienced landscape designer and drainage consultant to the PC prior to the release of the Construction Certificate, confirming that the landscape plan and the drainage plan are compatible.

32 The implementation of a landscape maintenance program in accordance with the approved Landscape Plan for a minimum period of 12 months to ensure that all landscape work becomes well established by regular maintenance. Details of the program must be submitted with the Landscape Plan to the PC prior to release of the Construction Certificate.

33 **Engineering Plans and Specifications - Retaining Wall Structures Greater than One (1) Metre**
The submission of engineering plans and supporting documentation of all proposed retaining walls greater than one (1) metre to the PC for approval prior to the issue of the Construction Certificate. The retaining walls shall be designed by a suitably qualified and experienced civil and/or structural engineer. The required engineering plans and supporting documentation shall include the following:

a. A plan of the wall showing location and proximity to property boundaries;
b. An elevation of the wall showing ground levels, maximum height of the wall, materials to be used and details of the footing design and longitudinal steps that may be required along the length of the wall;
c. Details of fencing or handrails to be erected on top of the wall;
d. Sections of the wall showing wall and footing design, property boundaries, subsoil drainage and backfill material. Sections shall be provided at sufficient intervals to determine the impact of the wall on existing ground levels. The developer shall note that the retaining wall, subsoil drainage and footing structure must be contained wholly within the subject property;
e. The proposed method of subsurface and surface drainage, including water disposal. This is to include subsoil drainage connections to an inter-allotment drainage line or junction pit that discharges to the appropriate receiving system;
f. The assumed loading used by the engineer for the wall design.
g. Flows from adjoining properties shall be accepted and catered for within the site. Finished ground and top of retaining wall levels on the boundary shall be no higher than the existing upslope adjacent ground levels.

34 **Stormwater Connection to Kerb**
Connection across footways shall be by means of one or two (maximum), sewer grade UPVC pipe(s), 100mm diameter pipes with a continuous downslope gradient to the kerb. Connection to the kerb shall be made with a rectangular, hot dipped galvanised mild steel weephole(s) shaped to suit the kerb profile, with each weephole having the capacity equal to a 100mm diameter pipe.

Alternatively, a maximum of two 150mm x 100mm hot dipped galvanised steel pipes may be used across footways, with the 150mm dimension being parallel to the road surface to suit the kerb profile.

35 Bicycle parking facilities must have adequate weather protection and provide the appropriate level of security as required by the current relevant Australian Standard AS 2890.3 - Bicycle Parking Facilities. This requirement shall be reflected on the Construction Certificate plans.

36 **Property Addressing Policy Compliance**
Prior to the issue of any Construction Certificate, the developer must ensure that any site addressing complies with Council's **Property Addressing Policy** (as amended). Where appropriate, the developer must also lodge a written request to Council's **Infrastructure Systems & Support – Property Addressing (**propertyaddressing@wollongong.nsw.gov.au**),** for the site addressing prior to the issue of the Construction Certificate. Please allow up to 3-5 business days for a reply. Enquiries regarding property addressing may be made by calling 4227 8660.

37 **Footpath Paving in Commercial Village Centres**
The developer is responsible for the construction of footpath paving for the entire frontage of the development. In keeping with the surrounding commercial precinct and the Business Centres Public Domain Technical Manual appendix 3 the type of paving for this development is:

a) Pattern: 90° herringbone pattern with basalt feature banding.
b) Pavers: 230x114x50mm, Amber Prestige 'Black and Tan' or approved equivalent.
c) Basalt: 600x400x 40mm Basalt 'Dark' by Sam the Paving Man or approved equivalent.

A nominal two percent (2%) minimum one percent (1%), maximum two and a half percent (2.5%) cross fall to be provided from property line to back of kerb. Any changes of level, ramps or stairs and associated tactile markers and handrails are to be contained with the property boundary.

The driveway entry threshold from the property boundary line to the face of kerb is to match the footpath material and be designed to withstand predicted traffic loadings.

The driveway threshold finish within property boundary line is to contrast with driveway entry.

The footpath and driveway entry on the Council property must be installed to the satisfaction of WCC Manager of Works.

A Landscape Plan is to be submitted to Council for approval prior to the issue of the Construction Certificate showing proposed paving, footpath design levels, street tree details and location of all services.

38 **Sizing of Drainage**
All roof gutters, downpipes, pits, and pipelines draining roof areas and other impervious surfaces with no deliberate overflow path to the on-site stormwater detention (OSD) facility, shall be designed to cater for a 1 in 100 year ARI storm event in accordance with AS 3500.3 – Plumbing and Drainage (Stormwater Drainage). Details of gutter/downpipe/pipeline sizes and locations shall be reflected on the Construction Certificate plans

39 **Stormwater Drainage Design**
A detailed drainage design for the development must be submitted to and approved by the PC prior to the release of the Construction Certificate. The detailed drainage design must satisfy the following requirements:

a Be prepared by a suitably qualified civil engineer in accordance with Chapter E14 of Wollongong City Council's Development Control Plan 2009, Subdivision Policy, conditions listed under this consent, and generally in accordance with the concept plan/s lodged for development approval, prepared by Bekker Engineers Design Buro Pty Ltd,

i. Reference No. 63894_DCP1, issue A, dated August 2020;
ii. Reference No. 63894_DCP2, issue A, dated August 2020;
iii. Reference No. 63894_DCP3, issue A, dated August 2020;
iv. Reference No. 63894_DCP4, issue A, dated August 2020.

b Include details of the method of stormwater disposal. Stormwater from the development must be piped to Council's existing stormwater drainage system.

c Engineering plans and supporting calculations for the stormwater drainage system are to be prepared by a suitably qualified engineer and be designed to ensure that stormwater runoff from upstream properties is conveyed through the site without adverse impact on the development or adjoining properties. The plan must indicate the method of disposal of all stormwater and must include rainwater tanks, existing ground levels, finished surface levels on all paved areas, estimated flow rates, invert levels and sizes of all pipelines.

d Overflow paths shall be provided to allow for flows of water in excess of the capacity of the pipe/drainage system draining the land, as well as from any detention storage on the land. Blocked pipe situations with 1 in 100 year ARI events shall be incorporated in the design. Overflow paths shall also be provided in low points and depressions. Each overflow path shall be designed to ensure no entry of surface water flows into any building and no concentration of surface water flows onto any adjoining property. Details of each overflow path shall be shown on the detailed drainage design.

40 **On-Site Stormwater Detention (OSD) Design**

The developer must provide OSD storage for stormwater runoff from the development. The design and details of the OSD system must be provided in conjunction with the detailed drainage design and approved by the PC prior to the release of the Construction Certificate. The OSD design and details must satisfy the following requirements: Must be prepared by a suitable qualified engineer in accordance with Chapter E14 of the Wollongong DCP 2009.

a Must include details of the on-site stormwater detention storage volume and limiting discharge rates from the OSD facility. The volume and limiting discharge rates of the OSD facility shall be designed to ensure stormwater flow rates discharging from site to each of the Princes Highway frontage and the Dapto Square Lane Frontage will not exceed pre-development flow rates.

b The OSD facility must be designed to withstand the maximum loadings occurring from any combination of traffic (with consideration to residential and heavy vehicles), hydrostatic, earth, and buoyancy forces. Details must be provided demonstrating these requirements have been achieved.

c The OSD facility shall incorporate a minimum 900mm x 900mm square lockable grate for access and maintenance purposes, provision for safety, debris control screen, and a suitably graded invert to the outlet to prevent ponding.

d Access grates must be provided at the extremities of the tank and also at a maximum distance of 3 m from any point in the tank to the edge of the nearest grate. This requirement must be included on the engineering Construction Certificate plans and related documentation.

e Must include discharge control calculations (i.e. orifice/weir calculations) generally in accordance with Section 10.2.6 and 10.4.4 of Chapter E14 of the Wollongong DCP 2009.

f The OSD design shall be accompanied by a catchment plan for each the pre-development and post-development conditions. A detailed site investigation must be undertaken by the design engineer to determine the existing catchment areas and stormwater flow rates discharging to each frontage in the pre-development condition. The use of an assumption to determine these rates is not permitted. Details of the orifice plate including diameter of orifice and method of fixing shall be provided.

g Must include details of a corrosion resistant identification plaque for location on or close to the OSD facility. The plaque shall include the following information and shall be installed prior to the issue of the Occupation Certificate:

i The structure is an OSD facility, being part of the stormwater drainage network, and is not to be tampered with.

ii Identification number DA-2020/1255;
iii Any specialist maintenance requirements.

h Must include a maintenance schedule for the OSD system, generally in accordance with Chapter E14 of the Wollongong DCP 2009.

41 **Council Footpath Reserve Works – Driveways and Crossings**

All redundant vehicular crossings and laybacks rendered unnecessary by this development must be reconstructed to normal kerb and gutter or existing edge of carriageway treatment to match the existing. The verge from the back of kerb to the boundary must be restored and the area appropriately graded, topsoiled and turfed in a manner that conforms with adjoining road reserve. The area forward of the front boundary must be kept smooth, even and free from any trip hazards. All alterations of public infrastructure where necessary are at the developer's expense.

All new driveway laybacks and driveway crossings must be designed in accordance with Wollongong City Council Standards. Any redundant linemarking such as 'marked parking bays' are adjusted/removed at the developer's expense by a Council recognised contractor with the relevant insurances. Details and locations are to be shown on the Construction Certificate Plans.

42 **Drainage Works within Council Road Reserve**

A detailed design for the proposed drainage works within Council's road reserve, including pit and pipeline connecting the inter-allotment drainage system to Council's existing underground drainage system in the Princes Highway, shall be prepared by a suitably qualified civil engineer in accordance with the relevant Council engineering standards. The design plans shall be generally in accordance with the Drainage Concept Proposal Level 1 Plan by Bekker Engineers Design Buro Pty Ltd, DCP2, A, August 2020 and shall include the following:

a Levels and details of all existing and proposed infrastructure/services such as kerb and gutter, public utility, pits, poles, fencing, stormwater drainage, adjacent road carriageway and footpath levels, and shall extend a minimum of 5 metres beyond the limit of works.
b Engineering details of the proposed pit and pipe stormwater drainage system within Council's road reserve, including a hydraulic grade line analysis and longitudinal section of the proposed system showing calculated flows, velocity, pits, pipe size/class, grade, inverts and ground levels. Each proposed pit must be constructed generally in accordance with Wollongong City Council's Engineering Standard Drawings.
c All new drainage pits shall be in accordance with the current version of Wollongong City Council's Engineering Standard Drawings. The proposed pit in Council's road reserve must not conflict with any existing or proposed vehicular accessway.
d Where any adjustments to public utilities are proposed the applicant shall submit documentary evidence that they have the consent of the owner of the public utility authority.
e All construction must be in accordance with the requirements of Council's Subdivision Code.

Evidence that the above requirements have been met must be detailed on the engineering drawings. The detailed design and supporting documentation shall be submitted to and approved by Wollongong City Council's Development Engineering Manager prior to the issue of the Construction Certificate.

43 **Dilapidation Survey**

A dilapidation survey and report shall be submitted to the PC.

The dilapidation survey and report shall accurately reflect the condition of existing public and private infrastructure in the adjacent street(s) fronting the lots.

The report shall outline measures for the protection of existing public and private infrastructure during the works.

Any damage to infrastructure items and relics which is caused by the developer shall be repaired to the satisfaction of the PC prior to the issue of a Certificate of Practical Completion for Subdivision works.

44 **No Adverse Run-off Impacts on Adjoining Properties**

The design of the development shall ensure there are no adverse effects to adjoining properties or upon the land as a result of flood or stormwater run-off.

45 **Development Contributions**

Pursuant to Section 4.17 of the Environmental Planning and Assessment Act 1979 and the Wollongong City-Wide Development Contributions Plan, a monetary contribution of $147,100.00 (subject to indexation) must be paid to Council towards the provision of public amenities and services, prior to the release of any associated Construction Certificate.

This amount has been calculated based on the estimated cost of development and the applicable percentage rate.

The contribution amount will be subject to indexation until the date of payment. The formula for indexing the contribution is:

Contribution at time of payment = $C x (CP2/CP1)

Where:

$C is the original contribution as set out in the Consent

CP1 is the Consumer Price Index; All Groups CPI; Sydney at the time the consent was issued

CP2 is the Consumer Price Index; All Groups CPI; Sydney at the time of payment

Details of CP1 and CP2 can be found in the Australian Bureau of Statistics website – Catalogue No. 6401.0 - Consumer Price Index, Australia.

The following payment methods are available:

METHOD	HOW	PAYMENT TYPE
Online	http://www.wollongong.nsw.gov.au/applicationpayments Your Payment Reference: 1281020	• Credit Card
In Person	Wollongong City Council Administration Building - Customer Service Centre Ground Floor 41 Burelli Street, WOLLONGONG	• Cash • Credit Card • Bank Cheque
PLEASE MAKE BANK CHEQUE PAYABLE TO: Wollongong City Council (Personal or company cheques are not accepted)		

A copy of the Wollongong City-Wide Development Contributions Plan and accompanying Fact Sheet may be inspected or obtained from the Wollongong City Council Administration Building, 41 Burelli Street, Wollongong during business hours or on Council's web site at www.wollongong.nsw.gov.au

Prior to the Commencement of Works

46 **Construction Environmental Management Plan**

- Submit a construction environmental management to PC, the plan shall address as minimum the vehicle traffic, odour and vapour, dust, plant and machinery noise, water and sediment management, surface water, subsurface seepage and accumulated excavation water, sediment from equipment and cleaning operations, site security, working hours, contact information, incident response and contingency management.

- Submit an excavated soil material disposal plan to PC, with the batching, sampling and analysis procedures as per the DECCW (2009) *Waste Classification Guidelines*. The plan shall be prepared by a suitably qualified and experienced consultant. A copy of the plan shall be forwarded to Council.

47 **Sign – Supervisor Contact Details**

Before commencement of any work, a sign must be erected in a prominent, visible position:

a stating that unauthorised entry to the work site is not permitted;
b showing the name, address and telephone number of the PC for the work; and
c showing the name and address of the principal contractor in charge of the work site and a telephone number at which that person can be contacted at any time for business purposes.

This sign shall be maintained while the work is being carried out and removed upon the completion of the construction works.

48 **Temporary Toilet/Closet Facilities**

Toilet facilities are to be provided at or in the vicinity of the work site on which work involved in the erection or demolition of a building is being carried out at the rate of one toilet for every 20 persons or part of 20 persons employed at the site.

Each toilet provided must be:

a a standard flushing toilet; and
b connected to either:
  i the Sydney Water Corporation Ltd sewerage system or
  ii an accredited sewage management facility or
  iii an approved chemical closet.

The toilet facilities shall be provided on-site, prior to the commencement of any works.

49 **Hoardings (within any Public Road Reserve)**

The site must be enclosed with a suitable hoarding (type A or B) or security fence of a type in accordance with the Works and Services Division Design Standard, and must satisfy the requirements of the Occupational Health and Safety Act, the Occupational Health and Safety Regulations and Australian Standard AS 2601. This application must be submitted to Council's Works and Services Division, and a permit obtained, before the erection of any such hoarding or fence.

50 **Enclosure of the Site**

The site must be enclosed with a suitable security fence to prohibit unauthorised access, to be approved by the PC. No building work is to commence until the fence is erected.

51 **Demolition Works**

All demolition works shall be carried out in accordance with Australian Standard AS 2601:2001: The Demolition of Structures or any other subsequent relevant Australian Standard and the requirements of the SafeWork NSW.

No demolition materials shall be burnt or buried on-site. The person responsible for the demolition works shall ensure that all vehicles leaving the site carrying demolition materials have their loads covered and do not track soil or waste materials onto the road. Any unforeseen hazardous and/or intractable wastes shall be disposed of to the satisfaction of the PC. In the event that the demolition works may involve the obstruction of any road reserve/footpath or other Council owned land, a separate application shall be made to Council to enclose the public place with a hoarding or fence over the footpath or other Council owned land.

52 **Demolition Notification to Surrounding Residents**

Demolition must not commence unless at least two (2) days written notice has been given to adjoining residents of the date on which demolition works will commence.

53 **Hazardous Material Survey**

At least one week prior to demolition, the applicant must prepare a hazardous materials survey of the site and submit to Council a report of the results of the survey. **Hazardous materials** includes, but are not limited to, asbestos materials, synthetic mineral fibre, roof dust, PCB materials and lead based paint. The report must include at least the following information:

a The location of hazardous materials throughout the site;
b a description of the hazardous material;
c the form in which the hazardous material is found, eg AC sheeting, transformers, contaminated soil, roof dust;
d an estimation (where possible) of the quantity of each particular hazardous material by volume, number, surface area or weight;
e a brief description of the method for removal, handling, on-site storage and transportation of the hazardous materials, and where appropriate, reference to relevant legislation, standards and guidelines;
f identification of the disposal sites to which the hazardous materials will be taken.

54 **Asbestos Hazard Management Strategy**

An appropriate hazard management strategy shall be prepared by a suitably qualified and experienced licensed asbestos assessor pertaining to the removal of contaminated soil, encapsulation or enclosure of any asbestos material. This strategy shall ensure any such proposed demolition works involving asbestos are carried out in accordance with SafeWork NSW requirements (<http://www.safework.nsw.gov.au>). The strategy shall be submitted to the PC and Council (in the event that Council is not the PC prior to the commencement of any works.

The approved strategy shall be implemented and a clearance report for the site shall be prepared by a licensed asbestos assessor and submitted to the PC and Council (in the event that Council is not the PC), prior to the issue of an Occupation Certificate or commencement of the development. The report shall confirm that the asbestos material has been removed or is appropriately encapsulated based on visual inspection plus sampling if required and/or air monitoring results and that the site is rendered suitable for the development.

55 **Consultation with SafeWork NSW – Prior to Asbestos Removal**

A licensed asbestos removalist must give written notice to SafeWork NSW at least five (5) days before licensed asbestos removal work is commenced.

56 **Waste Management**

The developer must provide an adequate receptacle to store all waste generated by the development pending disposal. The receptacle must be regularly emptied and waste must not be allowed to lie or accumulate on the property other than in the receptacle. Consideration should be given to the source separation of recyclable and reusable materials.

57 **Support for Neighbouring Buildings**

This consent requires the preservation and protection of neighbouring buildings from any damage and if necessary, requires the underpinning and support of any neighbouring building in an approved manner. The applicant or the contractor carrying out the work must at least seven days in advance of any excavation works below the level of the base of the footings of a building on an adjoining allotment, including a public road or place, give written notice of intention to

carry out such works to the property owner of the affected adjoining building and furnish specific written details and supporting plans or other documentation of the proposed work.

The adjoining property owner of land is not liable for any part of the cost of work carried out for the purposes of this condition, whether carried out on the allotment of land being excavated or on the adjoining allotment of land.

58 **Works in Road Reserve – Major works**

Any occupation, use, disturbance or work on the footpath or road reserve for construction purposes, which is likely to cause an interruption to existing pedestrian and/or vehicular traffic flows requires Council consent under Section 138 of the Roads Act 1993.

The application form for Works within the Road Reserve – Section 138 Roads Act can be found on Council's website. The form outlines the requirements to be submitted with the application, to give approval to commence works under the roads act. It is advised that all applications are submitted and fees paid, five (5) days prior to the works within the road reserve are intended to commence. An application must be submitted must be obtained from Wollongong City Council's Development Engineering Team prior to any works commencing where it is proposed to carry out activities such as, but not limited to, the following:

a Digging or disruption to footpath/road reserve surface;
b Loading or unloading machinery/equipment/deliveries;
c Installation of a fence or hoarding;
d Stand mobile crane/plant/concrete pump/materials/waste storage containers;
e Pumping stormwater from the site to Council's stormwater drains;
f Installation of services, including water, sewer, gas, stormwater, telecommunications and power;
g Construction of new vehicular crossings or footpaths;
h Removal of street trees;
i Carrying out demolition works.

Restoration must be in accordance with the following requirements:

- All restorations are at the cost of the Applicant and must be undertaken in accordance with Council's standard document, "Specification for work within Council's Road reserve".
- Any existing damage within the immediate work area or caused as a result of the work/occupation, must also be restored with the final works.

During Demolition, Excavation or Construction

59 **Acoustic Glazing to Comply with the SEPP Infrastructure 2007**

Implement all the structural attenuation recommendations of acoustic report prepared by Harwood Acoustic dated 16 March 2021 for dwellings to compliance the following LAeq levels are not exceeded:

- in any bedroom in the building : 35dB(A) at any time between 10pm and 7am.
- anywhere else in the building (other than a garage, kitchen, bathroom or hallway): 40dB(A) at any time between 10pm and 7am.

60 **Mechanical Plants and Exhaust Ventilation System**

Mechanical Exhaust

Centralised mechanical exhaust ventilation must be provided to the building and all commercial kitchens such as cafes and restaurants cooking appliances installation as per AS 4674:2004, AS 1668.2:1991 and the grease filters to comply with AS 1530.1.

Outdoor Air Conditioning or Refrigeration Units

The outdoor units for refrigeration system including air conditioners shall have suitable acoustic enclosure to comply with the noise guidelines.

Duct System
The ducting within the building must be mounted on vibration reducing pads to minimise vibration effect for residential and commercial spaces to comply with the vibration guidelines.

61 **Survey Report**
The submission of a survey report by a registered Land Surveyor to the PC is required, prior to the work proceeding beyond each of the following respective stages so as to guarantee that each stage of the development is completed in accordance with the approved plans:

a Footing excavation:
b slab formwork;
c foundation walls;
d walls and completed parapet;
e building on the site.

62 **Survey Certificate**
The submission of a Survey Certificate to the PC confirming that the height level of all rooftop or exposed structures including lift rooms, plant rooms together with air conditioning units, ventilation and exhaust systems accords with the following maximum height levels as per the approved plans under this consent being 44.3 metres AHD

63 **No Adverse Run-off Impacts on Adjoining Properties**
The design and construction of the development shall ensure there are no adverse effects to adjoining properties, as a result of flood or stormwater run-off. Attention must be paid to ensure adequate protection for buildings against the ingress of surface run-off.

Allowance must be made for surface run-off from adjoining properties. Any redirection or treatment of that run-off must not adversely affect any other property.

64 **Copy of Consent to be in Possession of Person carrying out Tree Removal**
The Developer must ensure that any person carrying out tree removal is in possession of this development consent and the approved landscape plan, in respect to the tree(s) which have been given approval to be removed in accordance with this consent.

65 **Restricted Hours of Construction Work**
The developer must not carry out any work, other than emergency procedures, to control dust or sediment laden runoff outside the normal working hours, namely, 7.00 am to 5.00 pm, Monday to Saturday, without the prior written consent of the PC and Council. No work is permitted on public holidays or Sundays.

Allowable construction activity noise levels must be within the limits identified in the NSW EPA Interim Construction Noise Guidelines (ICNG) July 2009. ICNG are also applied for blasting, rock hammer and drilling, external plant and equipment.

https://www.environment.nsw.gov.au/resources/noise/09265cng.pdf

Any request to vary these hours shall be submitted to the **Council** in writing detailing:

a the variation in hours required (length of duration);
b the reason for that variation (scope of works);
c the type of work and machinery to be used;
d method of neighbour notification;
e supervisor contact number;
f any proposed measures required to mitigate the impacts of the works.

Note: The developer is advised that other legislation may control the activities for which Council has granted consent, including but not limited to, the Protection of the Environment Operations Act 1997.

66 **Spill Measure**
Should during construction any waste material or construction material be accidentally or otherwise spilled, tracked or placed on the road or footpath area without the prior approval of Council's Works Division this shall be removed immediately.

67 **Dust Suppression Measures**
Activities occurring during the construction phase of the development must be carried out in a manner that will minimise the generation of dust.

68 **Excavation/Filling/Retaining Wall Structures**
Any proposed filling on the site must not:

a encroach onto the adjoining properties, and
b adversely affect the adjoining properties with surface run-off.

69 All proposed cut and filling works must be adequately retained with all battered slopes being no steeper than 2H: 1V and comply with Council's Development Control Plan.

70 If an excavation associated with the erection or demolition of a building extends below the level of the base of the footings of a building on adjoining allotment of land, the person causing the excavation to be made:

a must preserve and protect the adjoining building from damage; and
b if necessary, must underpin and support the building in an approved manner; and
c must, at least seven (7) days before excavation below the level of the base of the footings of a building on an adjoining allotment of land, give notice of intention to do so to the owner of the adjoining allotment of land and furnish particulars of the excavation.

71 All excavations and backfilling associated with the erection of a building must be properly guarded and protected to prevent them from being dangerous to life or property.

72 **Asbestos – Removal, Handling and Disposal Measures/Requirements Asbestos Removal by a Licensed Asbestos Removalist**
The removal of any asbestos material must be carried out by a licensed asbestos removalist if over 10 square metres in area of non-friable asbestos, or if any type of friable asbestos in strict accordance with SafeWork NSW requirements (<http://www.safework.nsw.gov.au>).

73 **Asbestos Waste Collection, Transportation and Disposal**
Asbestos waste must be prepared, contained, transported and disposed of in accordance with SafeWork NSW and NSW Environment Protection Authority requirements. Asbestos waste must only be disposed of at a landfill site that can lawfully receive this this type of waste. A receipt must be retained and submitted to the PC, and a copy submitted to Council (in the event that Council is not the PC), prior to commencement of the construction works.

74 **Provision of Waste Receptacle**
The developer must provide an adequate receptacle to store all waste generated by the development, pending disposal. The receptacle must be regularly emptied and waste must not be allowed to lie or accumulate on the property other than in the receptacle. Consideration should be given to the source separation of recyclable and re-usable materials.

75 **Provision of Taps/Irrigation System**
The provision of common taps and/or an irrigation system is required to guarantee that all landscape works are adequately watered. The location of common taps and/or irrigation system must be implemented in accordance with the approved Landscape Plan.

76 **Podium Planting**

All podium planting areas are to have a waterproofing membrane that can provide a minimum 10 year warranty on product. Protective boarding is to be installed to protect membrane from damage.

All podium planting areas to be provided with an adequate drainage system connected to the stormwater drainage system. The planter box is to be backfilled with free draining planter box soil mix.

If selected mulch is decorative pebbles/gravel, the maximum gravel pebble size is 10mm diameter

Prior to the Issue of the Occupation Certificate

77 **Acoustic to Comply with the SEPP Infrastructure 2007**
Prior to the issue of an Occupation Certificate an acoustic compliance report prepared by a consultant who is a member of the Australian Acoustic Society (AAS) or the Associated of Australian Acoustic Consultants (AAAC) must be submitted to the PC. The report shall state that the dwellings internal noise levels comply with the SEPP Infrastructure 2007 Clause 102 noise guidelines for development adjacent to a road corridor.

78 **Site Validation Report**
A Validation Report (Stage IV) shall be submitted to Council prior to the issue of the Occupation Certificate.

The Validation Report shall verify that:

a the site is not affected by soil and/or groundwater contamination above the NSW EPA threshold limit criteria; and
b the site is suitable for the proposed development.

The Validation Report must be prepared by a contaminated land consultant who is a member of certified under one of the following certification schemes:

- the Environment Institute of Australia and New Zealand's (EIANZ) Certified Environmental Practitioner (Site Contamination) scheme (CEnvP (SC)); or
- the Soil Science Australia (SSA) Certified Professional Soil Scientist Contaminated Site Assessment and Management (CPSS CSAM) certification.

The Validation Report is to be issued by the certified contaminated land consultant direct to Council. No third party submissions will be accepted.

79 **Heritage Interpretation Works – Signage**
Prior to the release of the Occupation Certificate the developer must install the heritage interpretive sign endorsed by Council's Heritage Staff.

80 A **Section 73 Certificate must be submitted to the** PC **prior to occupation of the development/release of the plan of subdivision.**

81 **Drainage**
The developer must obtain a certificate of Hydraulic Compliance (using Council's M19 form) from a suitably qualified civil engineer, to confirm that all stormwater drainage and on-site detention works have been constructed in accordance with the approved plans. In addition, full works-as-executed WAE plans, prepared and signed by a Registered Surveyor must be submitted. These plans and certification must satisfy all the stormwater requirements stated in Chapter E14 of the Wollongong DCP 2009. This information must be submitted to the PC prior to the issue of the final Occupation Certificate.

82 **Restriction on use – On-site Detention System**

The applicant must create a restriction on use under the Conveyancing Act 1919 over the on-site detention system. The following terms must be included in an appropriate instrument created under the Conveyancing Act 1919 for approval of Council:

"The registered proprietor of the lot burdened must not make or permit or suffer the making of any alterations to any on-site stormwater detention system on the lot(s) burdened without the prior consent in writing of the authority benefited. The expression 'on-site stormwater detention system' shall include all ancillary gutters, pipes, drains, walls, kerbs, pits, grates, tanks, chambers, basins and surfaces designed to temporarily detain stormwater as well as all surfaces graded to direct stormwater to those structures.

Name of the authority having the power to release, vary or modify the restriction referred to is Wollongong City Council."

The instrument, showing the restriction, must be submitted to the PC for endorsement prior to the issue of the Occupation Certificate and the use of the development.

83 **Retaining Wall Certification**

The submission of a certificate from a suitably qualified and experienced structural engineer or civil engineer to the PC is required, prior to the issue of the Occupation Certificate or commencement of the use. This certification is required to verify the structural adequacy of the retaining walls and that the retaining walls have been constructed in accordance with plans approved by the PC.

84 **Occupation Certificate**

A Occupation Certificate must be issued by the PC prior to occupation or use of the development. In issuing an Occupation Certificate, the PC must be satisfied that the requirements of section 6.9 of the Environmental Planning and Assessment Act 1979, have been complied with as well as all of the conditions of the Development Consent.

85 **BASIX**

An Occupation Certificate must not be issued unless accompanied by the BASIX Certificate applicable to the development. The PC must not issue the final Occupation Certificate unless satisfied that selected commitments have been complied with as specified in the relevant BASIX Certificate. NOTE: Clause 154B of the Environmental Planning and Assessment Regulation 2000 provides for independent verification of compliance in relation to certain BASIX commitments.

86 **Positive Covenant – On-Site Detention Maintenance Schedule**

A positive covenant shall be created under the Conveyancing Act 1919, requiring the property owner(s) to undertake maintenance in accordance with the Construction Certificate approved On-Site Stormwater Detention System and Maintenance Schedule (application number to be referenced).

The instrument, showing the positive covenant must be submitted to the PC for endorsement prior to the issue of the Occupation Certificate and the use of the development.

87 **On-Site Detention – Structural Certification**

The submission of a certificate from a suitably qualified practising civil and/or structural engineer to the PC is required prior to the issue of the Occupation Certificate. This certification is required to verify the structural adequacy of the on-site detention facility and that the facility has been constructed in accordance with the approved Construction Certificate plans.

88 **Completion of Landscape Works**

The completion of the landscaping works as per the final approved Landscape Plan is required prior to the issue of Occupation Certificate.

89 **Drainage WAE**

The developer shall obtain written verification from a suitably qualified civil engineer, stating that all stormwater drainage and related work has been constructed in accordance with the approved Construction Certificate plans. In addition, full WAE plans, prepared and signed by a Registered Surveyor shall be submitted. These plans shall include levels and location for all drainage structures and works, buildings (including floor levels), and finished ground and pavement surface levels. This information shall be submitted to the PC prior to the issue of the Occupation Certificate.

90 **WAE Plans - Works within Council Land or Road Reserve**

The submission of a WAE plan for approved works in Council land and or road reserve must be submitted to and approved by Council's Development Engineering Manager, prior to the release of the Occupation Certificate. The WAE plans shall be certified by a registered surveyor indicating that the survey is a true and accurate record of the works that have been constructed. The WAE dimensions and levels must also be shown in red on a copy of the approved Construction Certificate plans. The WAE plans must include:

a Final locations and levels for all works associated with the development within Council land.
b The plan(s) must include, but not be limited to, the requirements stated in Chapter E14 of the Wollongong DCP 2009.

91 **Section 88B Instrument**

The submission of a Final Section 88B Instrument to Council/PC, which incorporates (but is not necessarily limited to) the following restrictions, easements and covenants, where applicable:

a Easement for services;
b easement for drainage;
c drainage easement over overflow paths;
d restriction-as-to-user over the 'on-site stormwater detention system' which prohibits its alteration and/or removal;
e positive covenant that requires maintenance to be in accordance with the Construction Certificate approved On-Site Detention System and Maintenance Schedule – DA-2020/1255.

Operational Phases of the Development/Use of the Site

92 **Loading/Unloading Operations/Activities**

All loading/unloading operations are to take place at all times wholly within the confines of the site or within the road reserve under an approved traffic control plan.