

# Wollongong Local Planning Panel Assessment Report | 14 August 2019

<b>WLPP No.</b>	Item No. 1
<b>DA No.</b>	DA-2019/506
<b>Proposal</b>	Demolition of existing structures, tree removals and construction of a 19 room boarding house with basement parking and on site manager's room
<b>Property</b>	12 Dallas Street, KEIRAVILLE NSW 2500
<b>Applicant</b>	D Studio Architects
<b>Responsible Team</b>	Development Assessment & Certification – City Wide Planning Team (RT)

## ASSESSMENT REPORT AND RECOMMENDATION

### Executive Summary

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#### Reason for consideration by Wollongong Local Planning Panel (WLPP)

The proposal has been referred to the WLPP for **determination** pursuant to part 3 of Schedule 2 of the Local Planning Panels Direction, as the Development contravenes a development standard [State Environmental Planning Policy (Affordable Rental Housing) 2009 Clause 30AA - Boarding Houses in Zone R2 Low Density Residential] imposed by an environmental planning instrument by more than 10% and part 2(b) of Schedule 2 of the Local Planning Panels Direction, as the application is the subject of 10 or more unique submissions by way of objection.

#### Proposal

The proposal seeks consent for the following:

- Demolition of the existing structures and tree removals; and
- Construction of a boarding house comprising of 19 boarding rooms, 1 on-site managers room and basement car parking.

#### Permissibility

The subject site is zoned R2 Low Density Residential pursuant to Wollongong Local Environmental Plan (WLEP) 2009. Boarding house development is permissible with consent in the R2 zone. Demolition and tree removal are ancillary works to facilitate the proposal and as such are also permissible.

#### Consultation

Details of the proposal were publicly exhibited in accordance with Appendix 1 of the Wollongong Development Control Plan (WDCP) 2009. Twenty seven (27) submissions were received. The issues identified are discussed at section 1.5 of this report.

#### Internal

The proposal has been referred to Council's Stormwater, Traffic, Landscape, Environment, Building, SCAT, Contributions and Health Officers for assessment with unsatisfactory referral advice provided by Council's Stormwater, Traffic, Landscape and SCAT Officers.

Satisfactory referral advice, comments and/or recommended conditions were provided by Council's Environment, Building, Contributions and Health Officers only.

#### External

Details of the application submission were referred to the NSW Rural Fire Service for comment. Satisfactory referral advice, comments and/or recommended conditions were provided.



## **Main Issues**

The main issues arising from the development assessment process are:-

- Exception to a development standard - Number of boarding rooms proposed exceed the maximum number of boarding rooms in a R2 zone pursuant to Clause 30AA of SEPP(affordable Rental Housing) 2009;
- Number of Storeys;
- Variation to side and rear boundary setbacks;
- Parking and access;
- Stormwater management;
- Areas of entrapment in basement;
- Amenity issues; and
- Tree removals;

## **RECOMMENDATION**

DA-2019/506 be refused subject to the reasons identified at **Attachment 5**.



## 1.0 APPLICATION OVERVIEW

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### 1.1 PLANNING CONTROLS

The following planning controls apply to the proposal:

State Environmental Planning Policies:

- SEPP (Affordable Rental Housing) 2009
- SEPP No. 55 – Remediation of Land
- SEPP (Building Sustainability Index: BASIX) 2004

Local Environmental Planning Policies:

- Wollongong Local Environmental Plan (WLEP) 2009

Development Control Plans:

- Wollongong Development Control Plan (WDCP) 2009

Other policies

- Wollongong City Wide Development Contributions Plan 2018
- Planning for Bushfire Protection 2006

### 1.2 DETAILED DESCRIPTION OF PROPOSAL

The application proposes the following:

- Demolition of the existing structures and tree removals; and
- Construction of boarding house comprising of the following:

**Basement level:**

Five (5) Parking Spaces;  
Three (3) Motorcycle Spaces; and  
Twenty (20) bicycle spaces.

**Ground Floor:**

One (1) Double Boarding Room;  
Seven (7) Single Boarding Rooms including one (1) accessible room;  
One (1) On-site Managers Room;  
Communal Kitchen, Dining and Living Room; and  
Communal Laundry.

**First Floor**

Eleven (11) Single Boarding Rooms including one (1) accessible room;

### 1.3 BACKGROUND

The development history of the site is as follows:

**Application 12 Dallas Street, KEIRAVILLE NSW 2500**

BA-1989/70, Additions To Existing Dwelling (Rumpus Room)

BA-1975/2213, Swimming Pool

TMO-2017/229, Remove 2 trees, prune 1 tree

**Status**

Approved

Approved

Approved



PL-2018/233, Demolition of structures and construction of a boarding house with partial basement parking and storage	Completed
DE-2019/29, Design Review Panel	Completed
DA-2019/506, Demolition of existing structures, tree removals and construction of a 19 room boarding house with basement parking and on site manager's room	Current Application

#### Application History

The subject development application, DA-2019/506, was lodged on 23 May 2019 and notified from 6 June – 27 June 2019. The applicant was provided with a request to withdraw the application on 11 June 2019. The request to withdraw indicated that the application as proposed was not supported due to the proposed exception to development standard Clause 30AA of the SEPP (Affordable Rental Housing) 2009.

#### Customer service actions:

There are no outstanding customer service requests of relevance to the properties.

### **1.4 SITE DESCRIPTION**

The site is located at 12 Dallas Street, KEIRAVILLE and the title references are Lot 112 DP 234188.

Situated on the land is a double storey brick dwelling with a pitched tile roof. There are several mature trees located forward and to the West of the dwelling. The subject site is accessed via driveway off Dallas Street.

The land is an irregular shaped allotment with an overall site area of approximately 1138.2m<sup>2</sup>. The site slopes to the front of the block.

The street scene in the immediate vicinity is predominantly characterised by low density residential dwellings of single and double storey construction. Adjoining development consists of double storey dwellings on either side.



**Figure 1:** Aerial photograph (2018)



### Property constraints

- Flood Risk Precinct- Medium and High Flood Risk Precinct
- Bushfire Prone Land

There are no restrictions on the title.

## **1.5 SUBMISSIONS**

The application notified in accordance with WDCP 2009 Appendix 1: Public Notification and Advertising. Twenty seven (27) submissions were received. The main issues identified within the submissions are discussed below.

**Table 1: Submissions**

Concern	Comment
1. Traffic and Parking	<p>Details of the application submission were referred to Council's Traffic Officer for comment. Advice received indicated that the proposed access did not satisfy Council's Development Control Plan. Council's Traffic Officer has indicated that the proposed driveway width is insufficient for the proposed development as Clause 3.2.2 of AS2890.1 only allows driveways to be reduced to less than 5.5m in width for domestic development.</p> <p>Therefore Council's Traffic Officer is unable to support the application in its current form.</p> <p>The proposal allows for basement parking consisting of five (5) car parking spaces, three (3) motorcycle spaces and twenty (20) bicycle spaces.</p> <p>It is noted that the proposed parking would comply with Council's parking requirements for boarding houses as provided in WDCP2009 Chapter E3. However the Department of Planning has indicated that the changes to the SEPP (Affordable Rental Housing) 2009 were to help manage impacts such as car parking on neighbouring properties. It is considered that the variation to the number of boarding room's development standard in the SEPP (Affordable Rental Housing) 2009 is likely to result in adverse impacts to on-street parking given the developments proximity to the University.</p> <p>The proposed development does not comply with the requirements of Council's Car Parking, Access, Servicing/Loading Facilities and traffic Management development controls and policies.</p>
2. Pedestrian Use (Footpaths)	<p>Submitted Landscape Plan indicate a proposed concrete footpath within the Dallas Street road reserve to facilitate pedestrian movement along the sites frontage in the public domain.</p>



3. Noise from Outdoor Space	<p>The application submission included a Plan of Management prohibiting the use of the outdoor common area between the hours of 10pm to 7am.</p> <p>It is considered that reasonable separation distances have been maintained between the outdoor common area and the site boundary in this circumstance.</p>
4. Loss of Neighbourhood Amenity	<p>The application proposes a variation to the maximum number of boarding rooms in a R2 Zone development standard in the SEPP (Affordable Rental Housing) 2009. This development standard is considered to apply to all Boarding house developments in a R2 zone.</p> <p>The Department of Planning has indicated that the changes to the SEPP (Affordable Rental Housing) 2009 limiting the number of boarding rooms in a R2 zone to 12 was so that boarding house development better reflected the built form of the surrounding area. The changes are to help manage impacts such as overlooking, overshadowing and car parking on neighbouring properties.</p> <p>It is considered that the variation to the number of boarding rooms development standard in the SEPP (Affordable Rental Housing) 2009 along with other Development Control Plan non-compliances and issues identified throughout the report is likely to result in adverse impacts on the amenity of the area.</p>
5. Development out of character for the area	<p>Chapter D1 indicates that Keiraville will remain a leafy suburb with a mix of housing types ranging from detached dwelling-houses, boarding-houses, villas, townhouses and some residential flat buildings. In this regard, additional medium density developments are likely to occur within reasonable walking distance to the University of Wollongong, especially in residential precincts directly to the east and south of the Wollongong Botanic Gardens.</p> <p>The proposal is for demolition of the existing structures, tree removal and construction of a boarding house comprising of 19 boarding rooms, 1 on-site managers room and basement car parking. The subject site is zoned R2 Low Density Residential. Boarding Houses would normally be considered generally satisfactory with regard to the objectives of the R2 zone. However the development as proposed, when the exception to the number of boarding rooms development standard along with the number of WDCP2009 variations sought are taken into account, is considered medium to high density development and an overdevelopment of the site.</p>



Therefore the development as proposed is not considered compatible with the desired future character statement for Keiraville in Chapter D1 in this circumstance.

6. Proposal is not Affordable Housing	The application submission for the boarding house has been made pursuant Wollongong Local Environmental Plan 2009 and not the SEPP (Affordable Rental Housing) 2009 though Clause 30AA of the SEPP (Affordable Rental Housing) 2009 applies to all boarding house developments in a R2 zone. Therefore the proposal is not considered to be for affordable rental housing in this circumstance.
7. Devaluation of Property	Devaluation of property by a proposed development is not a head of consideration under Section 4.15 of the Environmental Planning and Assessment Act.
8. Access to Services	It is considered that the subject site is generally located within an area that has access to bus stops, services, parks and open spaces and education institutes either within walking distance or via public transport.
9. Tree Removal	<p>The application submission was referred to Council's Landscape Officer for comment. Advice received indicates there are issues with the proposal. Council's Landscape Officer has indicated that the removal of Trees 1, 14, 23 and 46 not supported. Trees 1, 14 and 46 have the potential for transplanting. The Kentia palm in the North west corner has not been identified on the plans and is to be retained. There is insufficient compensatory planting for the removal of trees.</p> <p>Therefore Council's Landscape Officer is unable to support the application in its current form.</p>
10. Setbacks	<p>Council's assessment of the submitted plans indicates that variations are proposed setback development control plans for the Eastern side and Rear setback.</p> <p>It is considered that insufficient information has been submitted to enable Council to determine whether the variations to the side and rear setback as proposed are justified and supportable in this circumstance.</p> <p>The proposed front setback is considered acceptable in this circumstance.</p>
11. Fire Safety	<p>Council's Building Officer has assessed the application submission and considered it conditionally satisfactory with regard to fire safety.</p> <p>Details of the application submission were referred to the NSW Rural Fire Service as required under NSW RFS Fast Fact 4/12 Increased Density on a Single Parcel of Land</p>



Advice received indicates the proposal satisfies the aims and objectives of Planning for Bushfire Protection and is considered conditionally satisfactory.

**Table 2: Number of concerns raised in submissions**

Concern	1	2	3	4	5	6	7	8	9	10	11
Frequency	27	1	3	9	23	7	1	2	3	3	1

## **1.6 CONSULTATION**

### **1.6.1 INTERNAL CONSULTATION**

#### **Stormwater Officer**

Council's Stormwater Officer has assessed the application and provided unsatisfactory referral advice noting that the stormwater concept plan is unclear on how it is proposed to cater for upslope runoff in accordance with Clause 11.3.17 of Chapter E14 and divert upslope runoff around the OSD tributary in accordance with Clause 12.1.3(2) of Chapter E14. It was further noted that the private open space for Units G-05 to G-07 appears to create an entrapped area where stormwater runoff has no overland flow path other than through the building in the event of a blockage or overload of the stormwater system which is not supported.

Council's Development Engineering Officer has assessed the application submission in regard to stormwater and subdivision matters and provided conditionally satisfactory advice.

#### **Traffic Officer**

Council's Traffic Officer has reviewed the application submission and provided unsatisfactory referral advice noting that the proposed does not satisfy the definition of a domestic property and therefore the proposed driveway width is insufficient for the proposed development.

#### **Landscape Officer**

Council's Landscape Officer has reviewed the application submission and provided unsatisfactory referral advice noting that the pedestrian ramp is non-compliant and circulation space for landings insufficient, removal of Tree 23 is not supported with ramp alignment to be adjusted to retain the tree, insufficient compensatory planting, Kentia palm in North west corner not identified and to be retained, trees 1, 14 and 46 have the potential to be transplanted and inconsistency between plans as to the location of the proposed footpath.

#### **Safer Community Action Team (SCAT) Officer**

Council's SCAT officer has assessed the application submission and provided unsatisfactory referral advice noting that the parking is insufficient for the number of residents given the parking problems in the area and the bin and bike rooms appear to be areas of entrapment.

#### **Building Officer**

Council's Building Officer has assessed the application submission and considered it conditionally satisfactory.

#### **Environment Officer**

Council's Environment Officer has assessed the application submission and considered it conditionally satisfactory.



## Health Officer

Council's Health officer has assessed the application submission and considered it conditionally satisfactory.

## Development Contributions Officer

Council's Development Contributions Officer has assessed the application submission and considered it conditionally satisfactory.

### 1.6.2 EXTERNAL CONSULTATION

## NSW Rural Fire Service

Details of the application submission were referred to the NSW Rural Fire Service for comments. Advice received indicates the proposal is considered conditionally satisfactory.

## 2 ENVIRONMENTAL PLANNING AND ASSESSMENT ACT 1979 – 4.15 EVALUATION

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### 2.1 SECTION 4.15(1)(A)(1) ANY ENVIRONMENTAL PLANNING INSTRUMENT

#### 2.1.1 STATE ENVIRONMENTAL PLANNING POLICY NO. 55 – REMEDIATION OF LAND

#### **7 Contamination and remediation to be considered in determining development application**

- (1) *A consent authority must not consent to the carrying out of any development on land unless:*
- (a) *it has considered whether the land is contaminated, and*
  - (b) *if the land is contaminated, it is satisfied that the land is suitable in its contaminated state (or will be suitable, after remediation) for the purpose for which the development is proposed to be carried out, and*
  - (c) *if the land requires remediation to be made suitable for the purpose for which the development is proposed to be carried out, it is satisfied that the land will be remediated before the land is used for that purpose.*

A desktop audit of previous land uses does not indicate any historic use that would contribute to the contamination of the site. Council's Environmental Officer has reviewed the history of the site in conjunction with details of the application submission. Satisfactory referral advice was received indicating no concerns are raised in regard to contamination as relates to the intended use of the land and the requirements of clause 7.

The site is therefore considered suitable for the proposed development and consistent with the assessment considerations of SEPP 55.

#### 2.1.2 STATE ENVIRONMENTAL PLANNING POLICY (BUILDING SUSTAINABILITY INDEX: BASIX) 2004

The proposal is BASIX affected development to which this policy applies. In accordance with Schedule 1, Part 1, 2A of the Environmental Planning and Assessment Regulation 2000, a BASIX Certificate has been submitted in support of the application demonstrating that the proposed scheme achieves the BASIX targets.

#### 2.1.3 STATE ENVIRONMENTAL PLANNING POLICY (AFFORDABLE RENTAL HOUSING) 2009

### **Clause 7 Land to which Policy applies**

*This Policy applies to the State.*

### **Clause 8 Relationship with other environmental planning instruments**

*If there is an inconsistency between this Policy and any other environmental planning instrument, whether made before or after the commencement of this Policy, this Policy prevails to the extent of the inconsistency.*



## **Clause 26 Land to which Division applies**

*This Division applies to land within any of the following land use zones or within a land use zone that is equivalent to any of those zones:*

*Zone R1 General Residential,*

**Zone R2 Low Density Residential,**

*Zone R3 Medium Density Residential,*

*Zone R4 High Density Residential,*

*Zone B1 Neighbourhood Centre,*

*Zone B2 Local Centre,*

*Zone B4 Mixed Use.*

## **Clause 27 Development to which Division applies**

- (1) This Division applies to development, on land to which this Division applies, for the purposes of boarding houses.*
- (2) Despite subclause (1), clauses 29, 30 and 30A do not apply to development on land within Zone R2 Low Density Residential or within a land use zone that is equivalent to that zone in the Sydney region unless the land is within an accessible area.*
- (3) Despite subclause (1), clauses 29, 30 and 30A do not apply to development on land within Zone R2 Low Density Residential or within a land use zone that is equivalent to that zone that is not in the Sydney region unless all or part of the development is within 400 metres walking distance of land within Zone B2 Local Centre or Zone B4 Mixed Use or within a land use zone that is equivalent to any of those zones.*

Comment:

The subject site is zoned R2 Low Density Residential and is not located within Sydney Region nor within 400m of a B2 Local Centre or B4 Mixed Use zone. Therefore in accordance with Clause 27(3) clauses 29, 30 and 30A do not apply to the proposed development.

## **Clause 28 Development may be carried out with consent**

*Development to which this Division applies may be carried out with consent.*

### **30AA Boarding houses in Zone R2 Low Density Residential**

*A consent authority must not grant development consent to a boarding house on land within Zone R2 Low Density Residential or within a land use zone that is equivalent to that zone unless it is satisfied that the boarding house has no more than 12 boarding rooms.*

Comment:

The application submission indicates that application for the proposed development is made pursuant to WLEP 2009 noting that Division 3 of the SEPP (Affordable Rental Housing) 2009 does not apply to the proposed development given the site is located outside of the Sydney Region and is not within 400m of a B2 Local Centre or B4 Mixed Use zone.

However SEPP (Affordable Rental Housing) 2009 Clause 7 indicates that this Policy applies to the State and Clause 8 indicates that where an inconsistency exists between this Policy and another Environmental Planning Instrument that this Policy prevails to the extent of the inconsistency. Therefore though Clause 27(3) indicates that Clause 29, 30 and 30A do not apply to the proposed development it does not exclude the operation of Clause 30AA from the assessment of this application.



The subject site is zoned R2 Low density Residential. Submitted plans indicate that the boarding house as proposed comprises of 19 boarding rooms and 1 on-site managers room.

Council's interpretation of Clause 30AA is that it applies to all Boarding House Development Applications lodged in respect of land in an R2 zone, regardless of whether or not a given Development Application relies on the SEPP (Affordable Rental Housing) 2009 concessions.

An explanation of the intent of the amendment is provided on the Department of Planning website which states:

*"In February 2019 the ARHSEPP was amended so boarding houses are limited to 12 boarding rooms per site within the R2 Low Density Residential zone to better reflect the scale and built form of the surrounding area.*

*The changes will help manage impacts on neighbouring properties such as overlooking, overshadowing and car parking.*

*These changes reflect consultation and feedback from communities, councils and industry."*

Therefore the development as proposed does not comply with Clause 30AA of SEPP (Affordable Rental Housing) 2009.

### **30A Character of local area**

*A consent authority must not consent to development to which this Division applies unless it has taken into consideration whether the design of the development is compatible with the character of the local area.*

Comment:

The Clause 27(3) indicates that Clause 30A does not apply to the proposed development. However the proposal was the subject of a Voluntary Design Review Panel process on 5 March 2019 with regard to the character of the area. There were a number of design amendments recommended by the DRP at the time some of which were included in the submission for the current application DA-2019/506.

#### **2.1.6 WOLLONGONG LOCAL ENVIRONMENTAL PLAN 2009**

##### **Part 1 Preliminary**

##### **Clause 1.4 Definitions**

**Boarding house** means a building that:

- (a) is wholly or partly let in lodgings, and
- (b) provides lodgers with a principal place of residence for 3 months or more, and
- (c) may have shared facilities, such as a communal living room, bathroom, kitchen or laundry, and
- (d) has rooms, some or all of which may have private kitchen and bathroom facilities, that accommodate one or more lodgers,

but does not include backpackers' accommodation, a group home, hotel or motel accommodation, seniors housing or a serviced apartment.

**Note.** Boarding houses are a type of **residential accommodation**—see the definition of that term in this Dictionary.

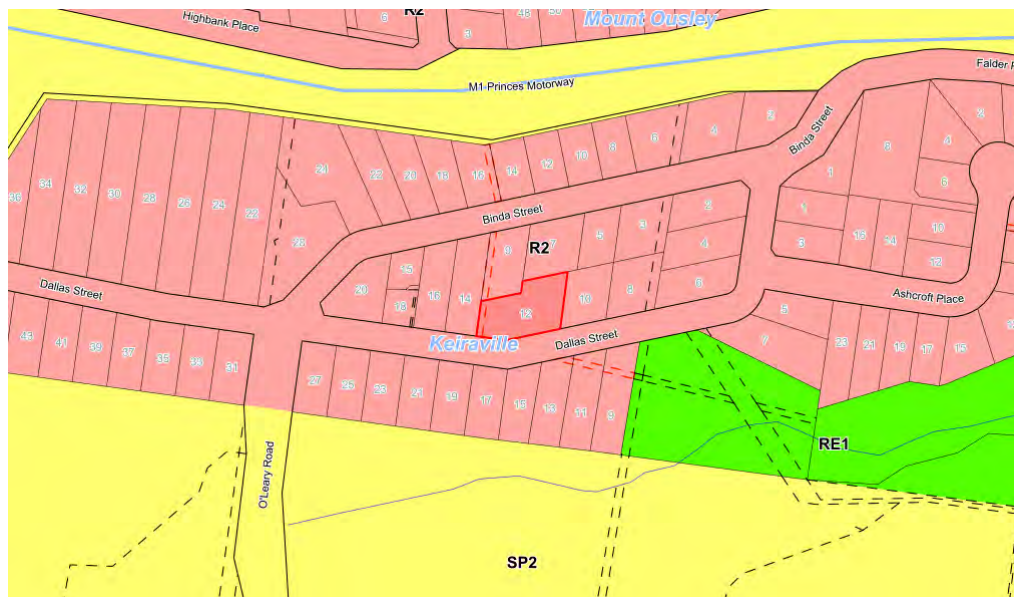
**Demolition:** In relation to a building means wholly or partly destroy, dismantle or deface the building.



## Part 2 Permitted or prohibited development

### Clause 2.2 – zoning of land to which Plan applies

The zoning map identifies the land as being zoned **R2 Low Density Residential**.



**Figure 2:** WLEP 2009 zoning map

### Clause 2.3 – Zone objectives and land use table

The objectives of the zone R2 Low Density Residential are as follows:

- *To provide for the housing needs of the community within a low density residential environment.*
- *To enable other land uses that provide facilities or services to meet the day to day needs of residents.*

The proposal would be considered generally satisfactory with regard to the above objectives as it is for a boarding house which is permissible in the R2 Low Density Residential zone with development consent.

The land use table permits the following uses in the zone.

#### **ZONE R2 Low Density Residential permitted uses:**

Attached dwellings; Bed and breakfast accommodation; **Boarding houses**; Boat launching ramps; Child care centres; Community facilities; Dual occupancies; Dwelling houses; Environmental facilities; Exhibition homes; Exhibition villages; Group homes; Health consulting rooms; Hospitals; Hostels; Information and education facilities; Jetties; Multi dwelling housing; Neighbourhood shops; Places of public worship; Recreation areas; Recreation facilities (indoor); Recreation facilities (outdoor); Residential flat buildings; Roads; Semi-detached dwellings; Seniors housing; Shop top housing; Signage; Veterinary hospitals

The proposal is categorised as boarding house and is permissible in the R2 Low Density Residential zone with development consent. Demolition and tree removal are ancillary works to facilitate the proposal and as such are also permissible.

### Clause 2.7 Demolition requires development consent

Demolition of a building may be carried out only with development consent. The demolition of the existing detached garage on the land is required to facilitate access to the development as proposed.



## **Part 4 Principal development standards**

### Clause 4.3 Height of buildings

The proposed building height of 8.48m does not exceed the maximum of 9m permitted for the site.

### Clause 4.4 Floor space ratio

Maximum FSR permitted for the site: 0.5:1

Resultant FSR provided:  $568.247\text{m}^2 / 1138.2\text{m}^2 = 0.499:1$

The proposed floor space ratio does not exceed the maximum permissible for the site.

## **Part 7 Local provisions – general**

### Clause 7.1 Public utility infrastructure

The proposal has been assessed against Clause 7.1 of WLEP2009 and it is considered that the subject site is already serviced by public utilities which can be augmented to service the new proposal.

### Clause 7.3 Flood planning area

The land is identified as being flood affected. Council's Stormwater Officer has assessed the application submission in this regard and has not raised any objections with respect to Floodplain Management.

### Clause 7.6 Earthworks

Earthworks associated with the proposal are considered minor, reflective of normal residential construction and thus acceptable in this circumstance.

## **2.2 SECTION 4.15(1)(A)(II) ANY PROPOSED INSTRUMENT**

None applicable to the site or proposed development.

## **2.3 SECTION 4.15(1)(A)(III) ANY DEVELOPMENT CONTROL PLAN**

### **2.3.1 WOLLONGONG DEVELOPMENT CONTROL PLAN 2009**

The development has been assessed against the relevant chapters of WDCP2009 and found to be unsatisfactory with regards to the number of storeys, side and rear boundary setbacks, retaining wall height, vehicular access, crime prevention through environmental design building design principles, stormwater management and tree preservation and management. The proposal seeks a variation to WDCP 2009 as relates to the rear boundary setback and location of private open space for boarding house development control plans. The request statements are not considered to have been prepared in accordance with the requirements of part 8 of Chapter A1. It is noted that no variation request has been submitted for the variations to the number of storeys, side boundary setback, vehicular access, stormwater management and tree preservation and management development controls with the application submission. A full compliance table is provided at **Attachment 4** to this report.

### **2.3.2 WOLLONGONG CITY WIDE DEVELOPMENT CONTRIBUTIONS PLAN 2018**

The estimated cost of works is >\$100,000 and a levy of 1% would therefore be applicable under this plan as the threshold value is \$100,000.

## **2.4 SECTION 4.15(1)(A)(IIIA) ANY PLANNING AGREEMENT THAT HAS BEEN ENTERED INTO UNDER SECTION 7.4, OR ANY DRAFT PLANNING AGREEMENT THAT A DEVELOPER HAS OFFERED TO ENTER INTO UNDER SECTION 7.4**

There are no planning agreements entered into or any draft agreement offered to enter into under S7.4 which affect the development



**2.5 SECTION 4.15(A)(IV) THE REGULATIONS (TO THE EXTENT THAT THEY PRESCRIBE MATTERS FOR THE PURPOSES OF THIS PARAGRAPH)**

92 What additional matters must a consent authority take into consideration in determining a development application?

Condition(s) could be recommended with regard to any demolition.

93 Fire safety and other considerations

Not applicable.

94 Consent authority may require buildings to be upgraded

Not applicable

**2.6 SECTION 4.15(A)(V) ANY COASTAL ZONE MANAGEMENT PLAN (WITHIN THE MEANING OF THE COASTAL PROTECTION ACT**

REPEALED

**2.7 SECTION 4.15(1)(B) THE LIKELY IMPACTS OF DEVELOPMENT**

Context and Setting:

A dual occupancy and two (2) lot subdivision would normally be considered to be in context with the setting of the area as the area is characterised by residential development.

In regard to the matter of context, the planning principle in *Project Venture Developments v Pittwater Council* [2005] NSWLEC 191 is relevant in that it provides guidance in the assessment of compatibility. The two major aspects of compatibility are physical impact and visual impact. In assessing each of these the following questions should be asked:

- Are the proposals physical impacts on surrounding development acceptable? The physical impacts include constraints on the development potential of surrounding sites.
- Is the proposals appearance in harmony with the buildings around it and the character of the street?

In this circumstance the departure to the maximum number of boarding rooms in a R2 Zone development standard in the SEPP (Affordable Rental Housing) 2009 along with other Development Control Plan non-compliances and issues identified throughout the report indicate that the development as proposed is inappropriate for the subject site. The proposal is not considered to be consistent with the context and setting of the surrounding area.

Access, Transport and Traffic:

The development provides for a basement carpark consisting of five (5) car parking spaces, three (3) motorcycle spaces and twenty (20) bicycle spaces. Council's Traffic Officer has considered the proposed development with regards vehicular parking, access and manoeuvring. Advice received indicated that the proposed access did not satisfy Council's Development Control Plan.

The Department of Planning has indicated that the changes to the SEPP (Affordable Rental Housing) 2009 were to help manage impacts such as car parking on neighbouring properties. It is considered that the departure to the number of boarding room's development standard in the SEPP (Affordable Rental Housing) 2009 is likely to result in adverse impacts to on-street parking given the developments proximity to the University.

Public Domain:

The proposal is not considered to be conducive the site and would set an undesirable precedent for development within the local area. The cumulative impact of similar development would likely have



an adverse impact upon the public domain of the area.
<p><u>Utilities:</u></p> <p>The proposal would not be envisaged to place an unreasonable demand on utilities supply. Existing utilities are adequate to service the proposal.</p>
<p><u>Heritage:</u></p> <p>The site is not located in the visual catchment of any nearby built form heritage items.</p>
<p><u>Other land resources:</u></p> <p>The proposal would not be envisaged to impact upon any valuable land resources.</p>
<p><u>Water:</u></p> <p>The site is presently serviced by Sydney Water, which could be readily extended to meet the requirements of the proposed development.</p> <p>The proposal would not be envisaged to have unreasonable water consumption.</p>
<p><u>Soils:</u></p> <p>The soil profile is could be acceptable for the construction of the proposed development.</p>
<p><u>Air and Microclimate:</u></p> <p>The proposal would not be expected to result in negative impact on air or microclimate.</p>
<p><u>Flora and Fauna:</u></p> <p>The application submission was referred to Council's Landscape Officer for comment. Advice received indicates there are issues with the proposal. Council's Landscape Officer has indicated that removal of Tree 23 is not supported, trees 1, 14 and 46 could be transplanted and there is insufficient compensatory planting for the tree removal proposed, Therefore Council's Landscape Officer is unable to support the application in its current form.</p> <p>It is considered that the proposal will have minimal impact on significant native fauna.</p>
<p><u>Waste:</u></p> <p>The proposal is not expected to generate significant waste.</p>
<p><u>Energy:</u></p> <p>The proposal would not be expected to have unreasonable energy consumption.</p>
<p><u>Noise and vibration:</u></p> <p>Conditions could be imposed to minimise nuisance during any construction, demolition, or works.</p> <p>The application submission included a Plan of Management prohibiting the use of the outdoor common area between the hours of 10pm to 7am and other noise mitigation measures for the general use of the development. Conditions could be imposed regarding implementation of the Plan of Management and use of the premises to minimise nuisance.</p>
<p><u>Natural hazards:</u></p> <p>There are no natural hazards affecting the site that would prevent the proposal.</p> <p>The land is identified as being flood affected. The application was referred to Council's Stormwater Officer for comments in regards to flooding. Council's Stormwater Officer considered the application acceptable in this circumstance in respect to Council's flood prone land controls and policies.</p>



Technological hazards:

There are no technological hazards affecting the site that would prevent the proposal.

Safety, Security and Crime Prevention:

The proposal would not be envisaged to result in any opportunities for criminal or antisocial behaviour.

Details of the application submission were reviewed by Council's Safer Communities (SCAT) Officer for comment. Advice received indicates there are issues with regards to the design of the waste storage (rubbish) room and bicycle compound which have the potential to be areas of entrapment.

Social Impact:

The proposal may create negative social impacts. It is considered that insufficient information has been submitted for Council to assess impacts from the proposed development on the amenity of the neighbourhood and the surrounding development.

Economic Impact:

The proposal would not be envisaged to result in negative economic impacts.

Site Design and Internal Design:

The application results in a departure from SEPP (Affordable Rental Housing) 2009 development standard with regard to the maximum number of boarding rooms in a R2 Low Density Residential zone. The application results in variations to Council's Number of Storeys, Boundary Setbacks, stormwater management, vehicular access and tree preservation and management development control plans as outlined in Section 2.3.1 Wollongong Development Control Plan 2009 of this report.

Cumulative Impacts:

Considering the matters outlined throughout this report, the proposal is considered likely to result in adverse cumulative impacts.

## **2.8 SECTION 4.15(1)(C) THE SUITABILITY OF THE SITE FOR DEVELOPMENT**

Does the proposal fit in the locality?

The development as proposed when the issues raised are taken into account is considered to set an undesirable precedent. Therefore proposal is not considered appropriate for the locality.

Are the site attributes conducive to development?

There are no site constraints that would prevent the proposal.

## **2.9 SECTION 4.15(1)(D) ANY SUBMISSIONS MADE IN ACCORDANCE WITH THIS ACT OR THE REGULATIONS**

See section 1.5 of this report.

## **2.10 SECTION 4.15(1)(E) THE PUBLIC INTEREST**

The application is considered likely to result in negative impacts on the environment and the amenity of the locality. The proposal is considered inappropriate with consideration to site constraints, contrary to the relevant planning controls and in the current form, approval would not be considered to be in the public interest.

## **3 CONCLUSION**

This application has been assessed having regard to the Heads of Consideration under Section 4.15 of the Environmental Planning and Assessment Act 1979.



The development as proposed exceeds the maximum number of boarding room's in a R2 zone development standard pursuant to the SEPP (Affordable Rental Housing) 2009.

It is considered that the applicant has not provided adequate justification for the variations sought to WDCP 2009 as relates to maximum number of storeys, side and rear boundary setbacks, building character and form, retaining wall height, crime prevention through environmental design building design principles, stormwater management, vehicular access and tree preservation and management.

Internal referrals from Councils Stormwater, Traffic, Landscape and SCAT Officers have returned with unsatisfactory referral advice. Council's Environment, Building, Contributions and Health Officers have returned with satisfactory referral advice.

Several matters including those identified within submissions remain unresolved.

It is considered the proposed development has not been designed appropriately given the constraints and characteristics of the site and has the potential to result in significant adverse impacts on the amenity of the surrounding area. The development as proposed when the issues raised are taken into account is considered to set an undesirable precedent and approval would not be considered to be in the public interest.

#### **4 RECOMMENDATION**

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The Planning Proposal and Development Application have been assessed having regard to the Heads of Consideration under Section 4.15(1) of the Environmental Planning and Assessment Act 1979, the provisions of Wollongong Local Environmental Plan 2009 and all relevant Council DCPs, Codes and Policies.

Having regard to the above information, the application is considered to be unsatisfactory and is recommended for **refusal** subject to the reasons as at **Attachment 5**.

#### **5 ATTACHMENTS**

---

- |   |   |
|---|---|
| 1 | Plans   |
| 2 | Justification for Setbacks and Location of Private Open Space from Statement of Environmental Effects |
| 3 | Site Inspection Photos  |
| 4 | Compliance table for Wollongong Development Control Plan 2009   |
| 5 | Reasons for Refusal   |







LEGEND

DESIGN STATISTICS

SITE AREA: 1141SQM

FSR 0.5:1, =570.5SQM PERMISSIBLE GFA

PROPOSED GFA 555.9SQM

PROPOSED FSR: 555.9:1141=0.487:1

CAR PARKING SPACES

REQ'ED: 0.5 SPACE PER STAFF

1 SPACE PER 5 BEDS

1X0.5=0.5 SPACE=1 SPACE

1/5X20=4 SPACES

TOTAL 4.5 CAR SPACES REQ'ED

TOTAL 5 PARKING SPACES PROPOSED (INCLUSIVE OF 1 DISABLE PARKING)

BICYCLE PARKING SPACES

REQ'ED: 1 SPACE PER BED

1X20=20 SPACES REQ'ED

TOTAL 20 BICYCLE PARKING SPACES IN LOCKED UP COMPOUND PROPOSED

MOTORBIKE PARKING SPACES

REQ'ED: N/A

TOTAL 3 MOTORBIKE PARKING SPACES PROPOSED

BOARDING HOUSE

TOTAL 20 ROOMS ARE PROPOSED

1 MANAGER'S ROOM WITH 15SQM OF POS ( 8SQM IS REQUIRED WITH MIN. DIMENSION OF 2.5M)

19 SINGLE BED ROOMS & 1 DOUBLE BED ROOM WITH ENS (INCLUSIVE OF 2 DISABLE ROOMS)

COMMUNAL FACILITIES

1 COMMUNAL LAUNDRY

1 COMBINED COMMUNAL LIVING AND DINING ROOM OF 57SQM (COMMUNAL KITCHEN CALCULATION, MIN. 15SQM + 1SQM FOR ADDITIONAL PERSON ABOVE 12 PERSONS, REQUIRED 15+9=24SQM)

1 COMMUNAL OUTDOOR SPACE OF 30SQM (3X10) IS PROPOSED (20SQM WITH MIN.3M IN ANY DIRECTION IS REQUIRED)

DWELLING HOUSE DCP

SITE COVERAGE REQUIREMENT, MAX. 40% FOR LOTS GREATER THAN 900SQM.

PROPOSED COVERAGE, 352SQM=352/1141=30.9%

LANDSCAPE REQUIREMENT, 210SQM+40% OF THE SITE AREA GREATER THAN 900 =210+0.4(1141-900)=306.4SQM)

PROPOSED LANDSCAPE, 626SQM

DRAWING LIST

WD00 SITE PLAN & SITE ANALYSIS

WD10 BASEMENT PLAN

WD11 GROUND FLOOR PLAN

WD12 FIRST FLOOR PLAN

WD13 ROOF PLAN

WD20 ELEVATIONS

WD21 ELEVATIONS

WD30 SECTIONS

WD31 SECTIONS

WD40 GROUND FLOOR GFA CALCULATION

WD41 FIRST FLOOR GFA CALCULATION

WD42 SITE COVERAGE CALCULATION

WD43 LANDSCAPE AREA CALCUATION

WD50 SOLAR DIAGRAM JUNE 9AM

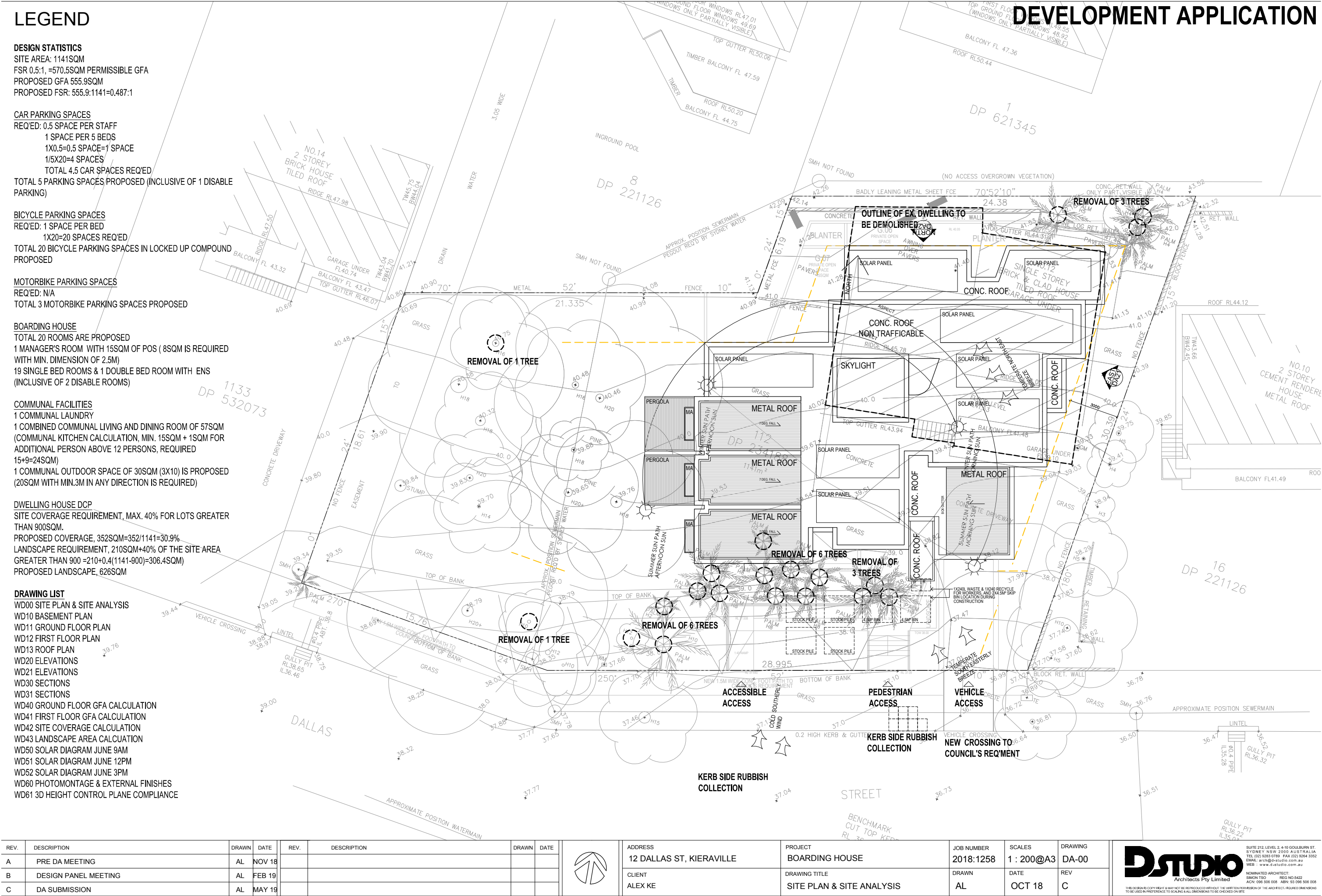
WD51 SOLAR DIAGRAM JUNE 12PM

WD52 SOLAR DIAGRAM JUNE 3PM

WD60 PHOTOMONTAGE & EXTERNAL FINISHES

WD61 3D HEIGHT CONTROL PLANE COMPLIANCE

DEVELOPMENT APPLICATION



REV.	DESCRIPTION	DRAWN	DATE	REV.	DESCRIPTION	DRAWN	DATE		ADDRESS	PROJECT	JOB NUMBER	SCALES	DRAWING
A	PRE DA MEETING	AL	NOV 18						12 DALLAS ST, KIERAVILLE	BOARDING HOUSE	2018:1258	1 : 200@A3	DA-00
B	DESIGN PANEL MEETING	AL	FEB 19						CLIENT	DRAWING TITLE	DRAWN	DATE	REV
C	DA SUBMISSION	AL	MAY 19						ALEX KE	SITE PLAN & SITE ANALYSIS	AL	OCT 18	C

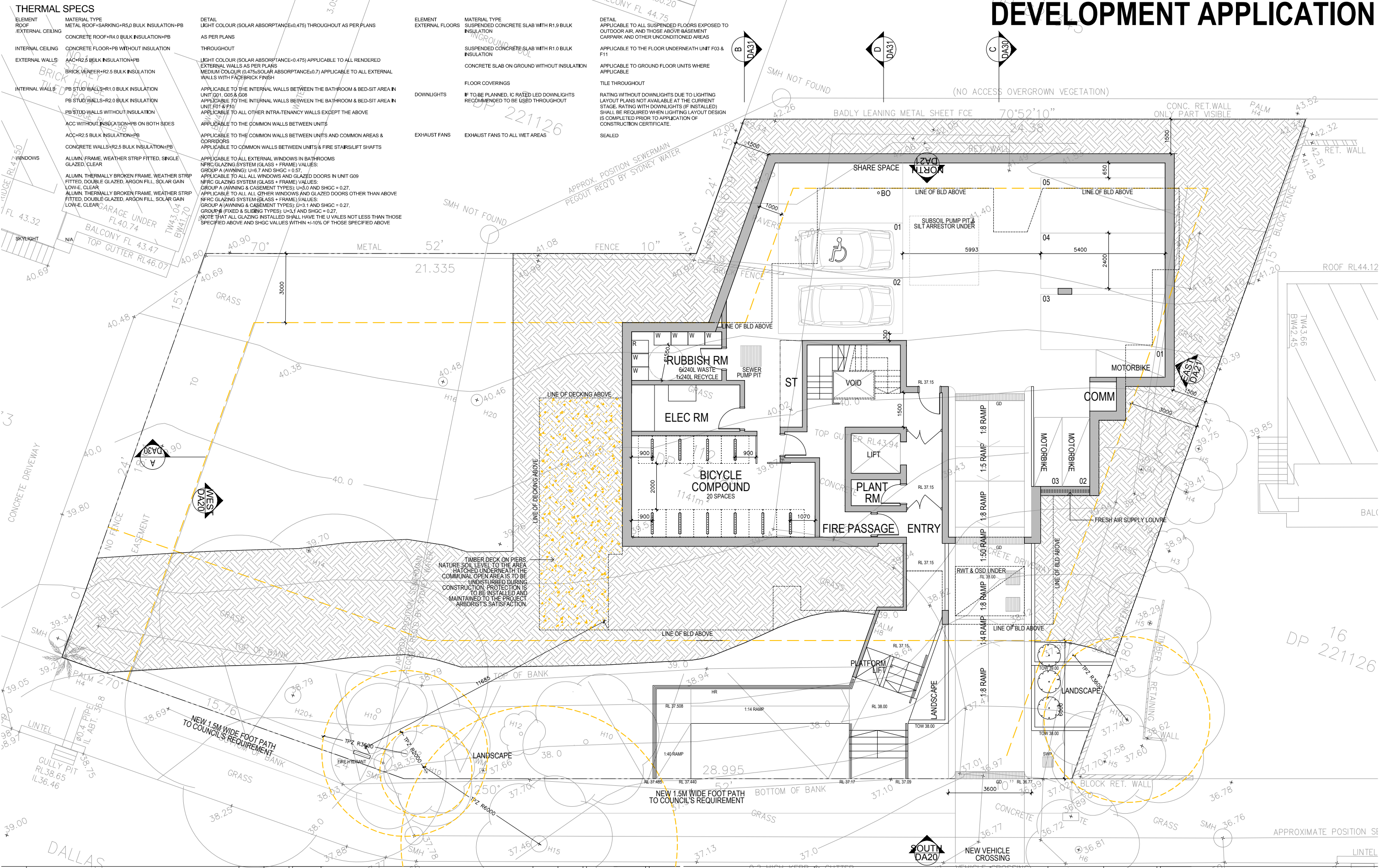
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DEVELOPMENT APPLICATION



THERMAL SPECS			
ELEMENT	MATERIAL TYPE	DETAIL	
ROOF /EXTERNAL CEILING	METAL ROOF+SARKING+R5.0 BULK INSULATION+PB	LIGHT COLOUR (SOLAR ABSORPTANCE<0.475) THROUGHOUT AS PER PLANS	
INTERNAL CEILING	CONCRETE FLOOR+PB WITHOUT INSULATION	AS PER PLANS	
EXTERNAL WALLS	AAC+R2.5 BULK INSULATION+PB	THROUGHOUT	
INTERNAL WALLS	BRICK VENEER+R2.5 BULK INSULATION	LIGHT COLOUR (SOLAR ABSORPTANCE<0.475) APPLICABLE TO ALL RENDERED EXTERNAL WALLS AS PER PLANS	
	PB STUD WALLS+R1.0 BULK INSULATION	MEDIUM COLOUR (0.475<SOLAR ABSORPTANCE<0.7) APPLICABLE TO ALL EXTERNAL WALLS WITH FACEBRICK FINISH	
	PB STUD WALLS WITHOUT INSULATION	APPLICABLE TO THE INTERNAL WALLS BETWEEN THE BATHROOM & BED-SIT AREA IN UNIT G01, G05 & G08	
	ACC WITHOUT INSULATION+PB ON BOTH SIDES	APPLICABLE TO THE INTERNAL WALLS BETWEEN THE BATHROOM & BED-SIT AREA IN UNIT F01 & F10	
	ACC+R2.5 BULK INSULATION+PB	APPLICABLE TO ALL OTHER INTRA-TENANCY WALLS EXCEPT THE ABOVE	
	CONCRETE WALLS+R2.5 BULK INSULATION+PB	APPLICABLE TO THE COMMON WALLS BETWEEN UNITS	
	ALUMN. FRAME, WEATHER STRIP FITTED, SINGLE GLAZED, CLEAR	APPLICABLE TO THE COMMON WALLS BETWEEN UNITS AND COMMON AREAS & CORRIDORS	
	ALUMN. THERMALLY BROKEN FRAME, WEATHER STRIP FITTED, DOUBLE GLAZED, ARGON FILL, SOLAR GAIN LOW-E, CLEAR	APPLICABLE TO COMMON WALLS BETWEEN UNITS & FIRE STAIRLIFT SHAFTS	
	ALUMN. THERMALLY BROKEN FRAME, WEATHER STRIP FITTED, DOUBLE GLAZED, ARGON FILL, SOLAR GAIN LOW-E, CLEAR	APPLICABLE TO ALL EXTERNAL WINDOWS IN BATHROOMS	
		NFRC GLAZING SYSTEM (GLASS + FRAME) VALUES:	
		GROUP A (AWNING): U=0.7 AND SHGC = 0.57	
		APPLICABLE TO ALL OTHER WINDOWS AND GLAZED DOORS IN UNIT G09	
		NFRC GLAZING SYSTEM (GLASS + FRAME) VALUES:	
		GROUP A (AWNING & CASEMENT TYPES): U=3.0 AND SHGC = 0.27	
		APPLICABLE TO ALL OTHER WINDOWS AND GLAZED DOORS OTHER THAN ABOVE	
		NFRC GLAZING SYSTEM (GLASS + FRAME) VALUES:	
		GROUP A (AWNING & CASEMENT TYPES): U=3.1 AND SHGC = 0.27	
		GROUP B (FIXED & SLIDING TYPES): U=3.1 AND SHGC = 0.27	
		(NOTE THAT ALL GLAZING INSTALLED SHALL HAVE THE U VALUES NOT LESS THAN THOSE SPECIFIED ABOVE AND SHGC VALUES WITHIN +/-10% OF THOSE SPECIFIED ABOVE)	

ELEMENT	MATERIAL TYPE	DETAIL
EXTERNAL FLOORS	SUSPENDED CONCRETE SLAB WITH R1.9 BULK INSULATION	APPLICABLE TO ALL SUSPENDED FLOORS EXPOSED TO OUTDOOR AIR, AND THOSE ABOVE BASEMENT CARPARK AND OTHER UNCONDITIONED AREAS
	SUSPENDED CONCRETE SLAB WITH R1.0 BULK INSULATION	APPLICABLE TO THE FLOOR UNDERNEATH UNIT F03 & F11
	CONCRETE SLAB ON GROUND WITHOUT INSULATION	APPLICABLE TO GROUND FLOOR UNITS WHERE APPLICABLE
FLOOR COVERINGS		TILE THROUGHOUT
DOWNLIGHTS	IF TO BE PLANNED, IC RATED LED DOWNLIGHTS RECOMMENDED TO BE USED THROUGHOUT	RATING WITHOUT DOWNLIGHTS DUE TO LIGHTING LAYOUT PLANS NOT AVAILABLE AT THE CURRENT STAGE. RATING WITH DOWNLIGHTS (IF INSTALLED) SHALL BE REQUIRED WHEN LIGHTING LAYOUT DESIGN IS COMPLETED PRIOR TO APPLICATION OF CONSTRUCTION CERTIFICATE.
EXHAUST FANS	EXHAUST FANS TO ALL WET AREAS	SEALED

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B	DESIGN PANEL MEETING	AL	FEB 19				
C	DA SUBMISSION	AL	MAY 19				

ADDRESS	12 DALLAS ST, KEIRAVILLE
CLIENT	ALEX KE

PROJECT	BOARDING HOUSE
DRAWING TITLE	BASEMENT FLOOR PLAN

JOB NUMBER	2018:1258
DRAWN	AL

SCALES	1:150@A3
DATE	SEP 18

DRAWING	DA-10
REV	C

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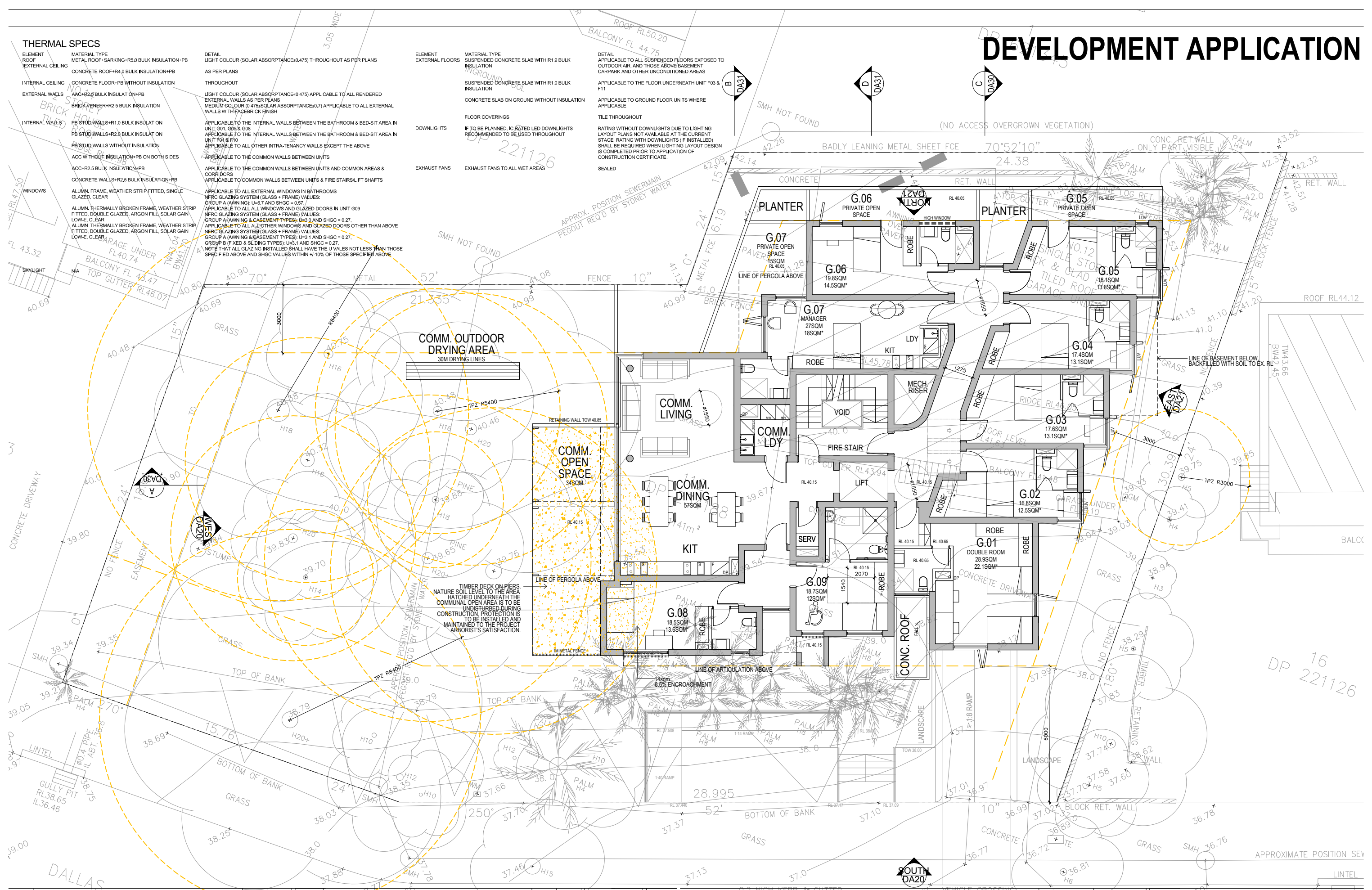
DEVELOPMENT APPLICATION

THERMAL SPECS

ELEMENT	MATERIAL TYPE	DETAIL
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WINDOWS	ALUMN. FRAME, WEATHER STRIP FITTED, SINGLE GLAZED, CLEAR	APPLICABLE TO COMMON WALLS BETWEEN UNITS & FIRE STAIRS/LIFT SHAFTS
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EXHAUST FANS	EXHAUST FANS TO ALL WET AREAS	SEALED

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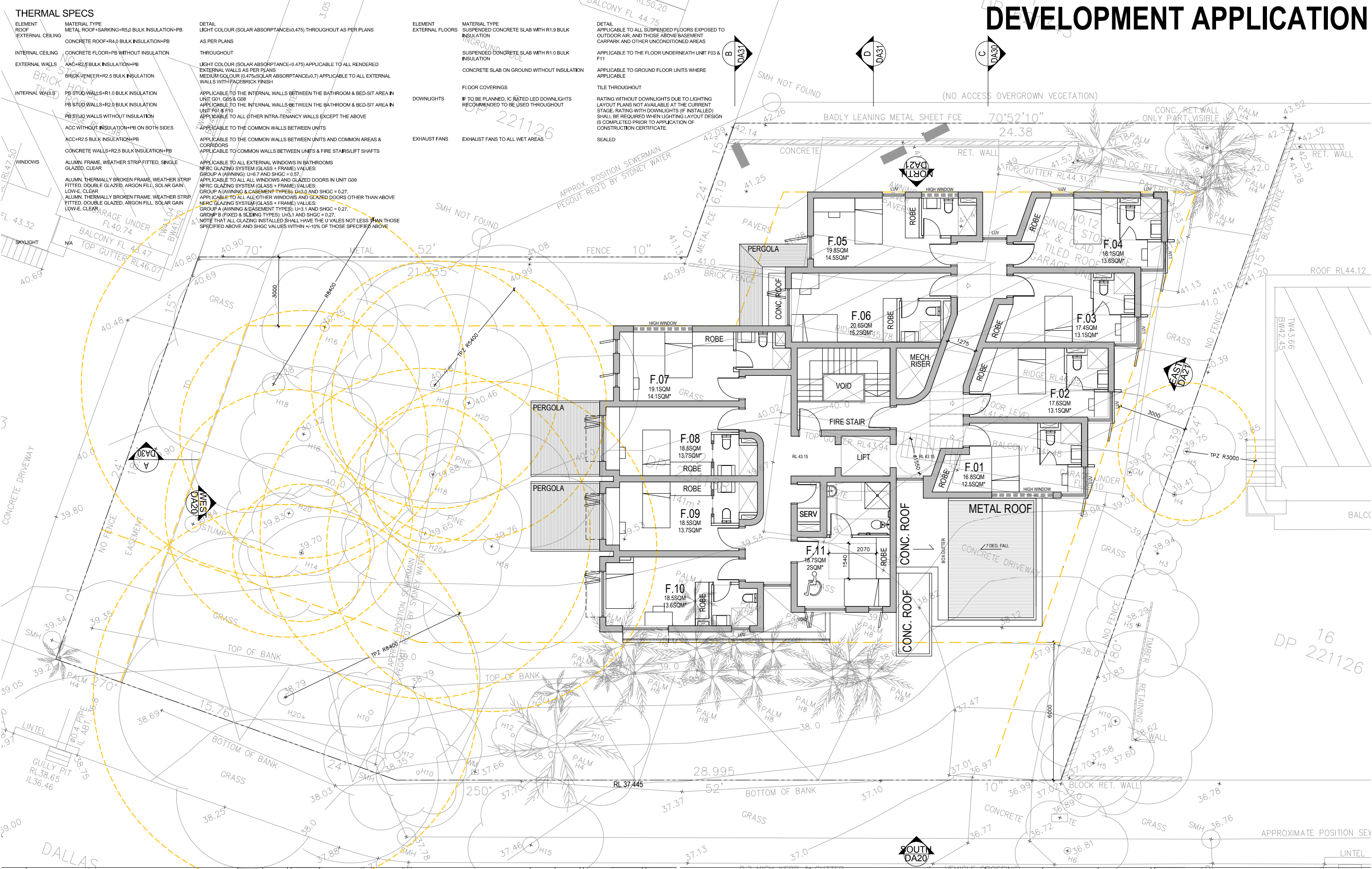
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ADDRESS 12 DALLAS ST, KEIRAVILLE	PROJECT BOARDING HOUSE	JOB NUMBER 2018:1258	SCALES 1:150@A3	DRAWING DA-11
CLIENT ALEX KE	DRAWING TITLE GROUND FLOOR PLAN	DRAWN AL	DATE SEP 18	REV C
<div><b>Dstudio</b> Architects Pty Limited</div> <div><small>SUITE 212, LEVEL 2, 4-10 DOOLBURN ST, SYDNEY NSW 2000 AUSTRALIA TEL: (02) 9283 6789 FAX: (02) 9284 2352 EMAIL: arch@dstudio.com.au WEB: www.dstudio.com.au NOMINATED ARCHITECT SIMON TSO ACN: 096 506 008 ABN: 62 246 508 008 THIS DESIGN/COPYRIGHT MAY NOT BE REPRODUCED WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT. PROJECTS ARE THE PROPERTY OF DSTUDIO AND WILL BE USED IN PREFERENCE TO SCALING AND DIMENSIONS TO BE CHECKED ON SITE.</small></div>				



DEVELOPMENT APPLICATION



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B	DESIGN PANEL MEETING	AL	FEB 19									
C	DA SUBMISSION	AL	MAY 19									

CLIENT	DRAWING TITLE	DRAWN	DATE	REV
ALEX KE	FIRST FLOOR PLAN	AL	SEP 18	C

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## DA SUBMISSION



SOUTH ELEVATION



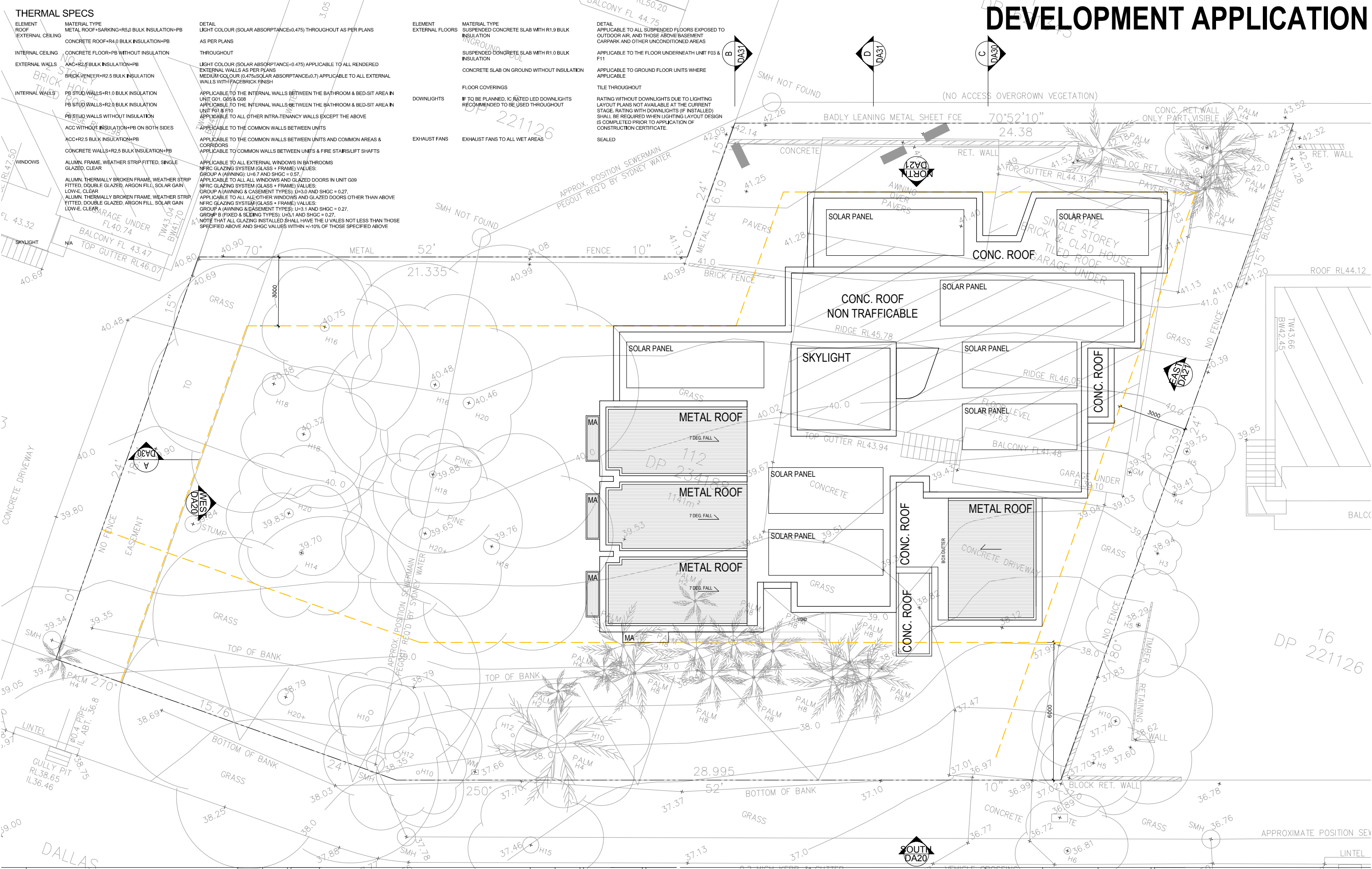
② WEST ELEVATION

1	DESCRIPTION	DRYING DATE	WET	EXPLANATION	DATE	PROJECT	ADDRESS	DATE	SCALE
2	FOR 1200 FT (120)	AL	NOV 10			BOARDING HOUSE	2018 1258	1:50	A3
3	DESIGN PANEL (HETTING)	AL	FEV 10			CLIENT	SAVANA	DATE	WPS
4	ON 20000000	AL	MAY 10			ELEVATIONS	AL	OCT 10	C

**Studio**



DEVELOPMENT APPLICATION



THERMAL SPECS	
ELEMENT	MATERIAL TYPE
ROOF	METAL ROOF+SARKING+R5.0 BULK INSULATION+PB
EXTERNAL CEILING	CONCRETE FLOOR+PB WITHOUT INSULATION
INTERNAL CEILING	CONCRETE FLOOR+PB WITHOUT INSULATION
EXTERNAL WALLS	ACC+R2.5 BULK INSULATION+PB BRICK VENEER+R2.5 BULK INSULATION
INTERNAL WALLS	PB STUD WALLS+R1.0 BULK INSULATION PB STUD WALLS+R2.0 BULK INSULATION PB STUD WALLS WITHOUT INSULATION
WINDOWS	ACC WITHOUT INSULATION+PB ON BOTH SIDES ACC+R2.5 BULK INSULATION+PB CONCRETE WALLS+R2.5 BULK INSULATION+PB ALUMN. FRAME, WEATHER STRIP FITTED, SINGLE GLAZED, CLEAR ALUMN. THERMALLY BROKEN FRAME, WEATHER STRIP FITTED, DOUBLE GLAZED, ARGON FILL, SOLAR GAIN LOW-E, CLEAR ALUMN. THERMALLY BROKEN FRAME, WEATHER STRIP FITTED, DOUBLE GLAZED, ARGON FILL, SOLAR GAIN LOW-E, CLEAR

DETAIL	DETAIL
LIGHT COLOUR (SOLAR ABSORPTANCE<0.475) THROUGHOUT AS PER PLANS	APPLICABLE TO ALL SUSPENDED FLOORS EXPOSED TO OUTDOOR AIR, AND THOSE ABOVE BASEMENT CARPARK AND OTHER UNCONDITIONED AREAS
AS PER PLANS	APPLICABLE TO THE FLOOR UNDERNEATH UNIT F03 & F11
THROUGHOUT	APPLICABLE TO GROUND FLOOR UNITS WHERE APPLICABLE
LIGHT COLOUR (SOLAR ABSORPTANCE<0.475) APPLICABLE TO ALL RENDERED EXTERNAL WALLS AS PER PLANS	TILE THROUGHOUT
MEDIUM COLOUR (0.475<SOLAR ABSORPTANCE<0.7) APPLICABLE TO ALL EXTERNAL WALLS WITH FACEBRICK FINISH	RATING WITHOUT DOWNLIGHTS DUE TO LIGHTING LAYOUT PLANS NOT AVAILABLE AT THE CURRENT STAGE. RATING WITH DOWNLIGHTS (IF INSTALLED) SHALL BE REQUIRED WHEN LIGHTING LAYOUT DESIGN IS COMPLETED PRIOR TO APPLICATION OF CONSTRUCTION CERTIFICATE.
APPLICABLE TO THE INTERNAL WALLS BETWEEN THE BATHROOM & BED-SIT AREA IN UNIT G01, G05 & G08	SEALED
APPLICABLE TO THE INTERNAL WALLS BETWEEN THE BATHROOM & BED-SIT AREA IN UNIT F01 & F10	
APPLICABLE TO ALL OTHER INTRA-TENANCY WALLS EXCEPT THE ABOVE	
APPLICABLE TO THE COMMON WALLS BETWEEN UNITS	
APPLICABLE TO THE COMMON WALLS BETWEEN UNITS AND COMMON AREAS & CORRIDORS	
APPLICABLE TO COMMON WALLS BETWEEN UNITS & FIRE STAIRS/LIFT SHAFTS	
APPLICABLE TO ALL EXTERNAL WINDOWS IN BATHROOMS	
NFRC GLAZING SYSTEM (GLASS + FRAME) VALUES:	
GROUP A (AWNING) U=0.7 AND SHGC = 0.57	
APPLICABLE TO ALL ALL WINDOWS AND GLAZED DOORS IN UNIT G09	
NFRC GLAZING SYSTEM (GLASS + FRAME) VALUES:	
GROUP A (AWNING & CASEMENT TYPES) U=3.0 AND SHGC = 0.27	
APPLICABLE TO ALL ALL WINDOWS AND GLAZED DOORS OTHER THAN ABOVE	
NFRC GLAZING SYSTEM (GLASS + FRAME) VALUES:	
GROUP A (AWNING & CASEMENT TYPES) U=3.1 AND SHGC = 0.27	
GROUP B (FIXED & SLIDING TYPES) U=3.1 AND SHGC = 0.27	
NOTE THAT ALL GLAZING INSTALLED SHALL HAVE THE U VALUES NOT LESS THAN THOSE SPECIFIED ABOVE AND SHGC VALUES WITHIN +/-10% OF THOSE SPECIFIED ABOVE	

ELEMENT	MATERIAL TYPE
EXTERNAL FLOORS	SUSPENDED CONCRETE SLAB WITH R1.9 BULK INSULATION
	SUSPENDED CONCRETE SLAB WITH R1.0 BULK INSULATION
	CONCRETE SLAB ON GROUND WITHOUT INSULATION
FLOOR COVERINGS	
IF TO BE PLANNED, IC RATED LED DOWNLIGHTS RECOMMENDED TO BE USED THROUGHOUT	
EXHAUST FANS	EXHAUST FANS TO ALL WET AREAS

REV.	DESCRIPTION	DRAWN	DATE	REV.	DESCRIPTION	DRAWN	DATE
A	PRE DA MEETING	AL	NOV 18				
B	DESIGN PANEL MEETING	AL	FEB 19				
C	DA SUBMISSION	AL	MAY 19				



ADDRESS	12 DALLAS ST, KEIRAVILLE	PROJECT	BOARDING HOUSE	JOB NUMBER	2018:1258	SCALES	1:150@A3	DRAWING	DA-13
CLIENT	ALEX KE	DRAWING TITLE	ROOF PLAN	DRAWN	AL	DATE	SEP 18	REV	C

Architects Pty Limited

SUITE 212, LEVEL 2, 4-10 DOOLBURN ST, SYDNEY NSW 2000 AUSTRALIA  
TEL: (02) 9283 6788 - FAX: (02) 9284 3352  
EMAIL: arch@dstudio.com.au  
WEB: www.dstudio.com.au  
NOMINATED ARCHITECT: SIMON TSO  
REG NO 5422  
ACN: 096 506 008 ABN: 62 296 506 008



## DA SUBMISSION



## NORTH ELEVATION



## 2 EAST ELEVATION

ID#	DESCRIPTION	ISSUES	DATE	WFT	LOCAL FILE	DATE	ADDRESS	PROJECT	JOB NUMBER	DATE IN	STATUS
1	FOR 12 MONTHS	AL	REV 0					BRANSON HOUSE	1:500 GAS	DA-21	
2	05/20/2018 04:45:00	AL	REV 0				0.000	BRANSON TIRE	DATE	REV	
3	04/30/2018 04:45:00	AL	REV 0				ALEX K	ELEVATIONS	AL	OCT 18	C







## DA SUBMISSION



SECTION B



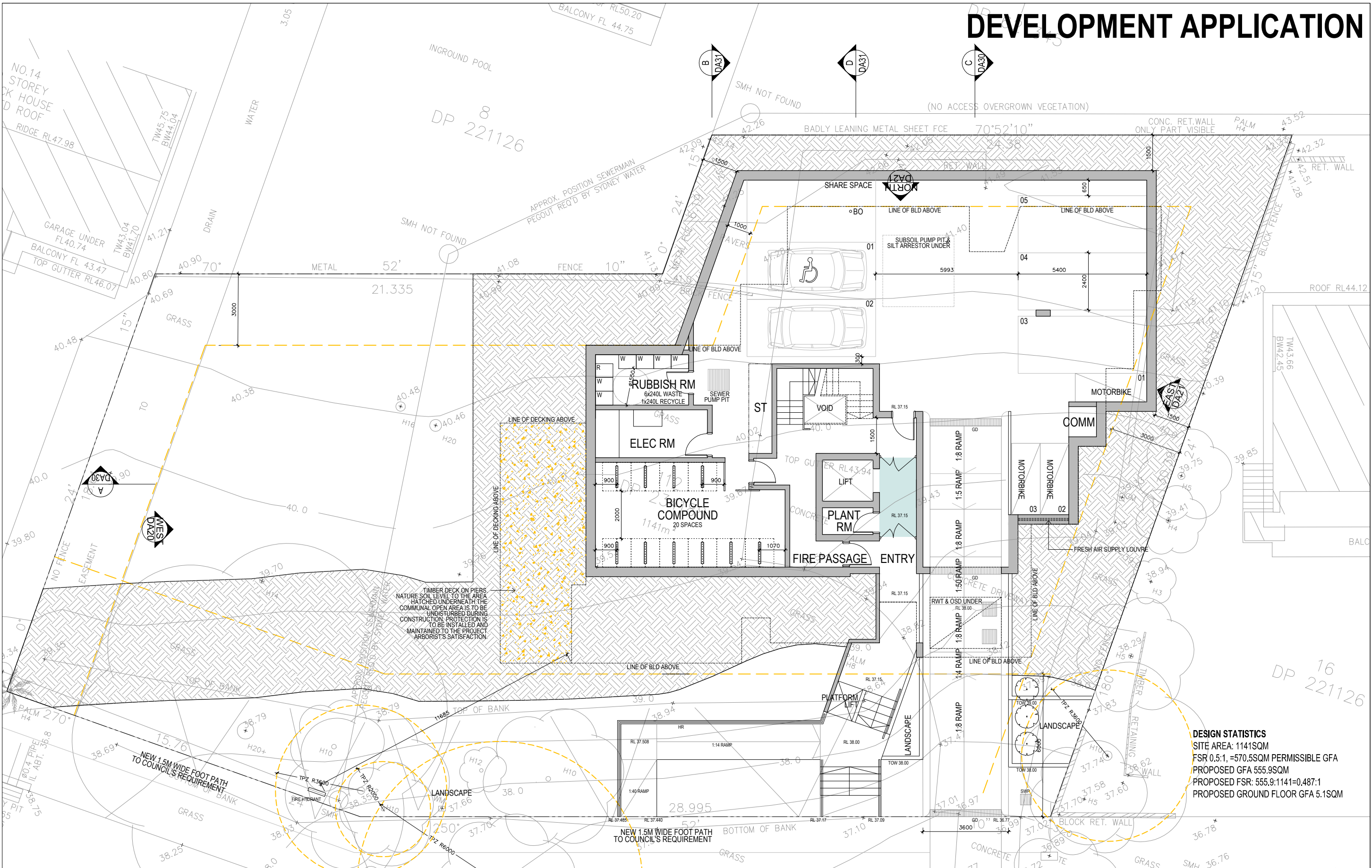
SECTION D

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ROW	EXPLANATION	DATE	DEBIT	CREDIT	BALANCE	DATE	ADDRESS	PROJECT	BOUQUIN HOUSE	NO. HANDS	SPECIAL	SHAVING
1	FOR (JANUARY)	JAN 01					12 DALLAS ST, KERRVILLE			2018-1-25	1-1503043	DA-31
2	DEBIT BALANCE	JAN 01										
3	DA BALANCE	JAN 01					ALEX HE	SECTIONS		AL	OCT 18	C



DEVELOPMENT APPLICATION



DESIGN STATISTICS  
SITE AREA: 1141SQM  
FSR 0.5:1, =570.5SQM PERMISSIBLE GFA  
PROPOSED GFA 555.9SQM  
PROPOSED FSR: 555.9:1141=0.487:1  
PROPOSED GROUND FLOOR GFA 5.1SQM

REV.	DESCRIPTION	DRAWN	DATE	REV.	DESCRIPTION	DRAWN	DATE	ADDRESS	PROJECT	JOB NUMBER	SCALES	DRAWING
A	PRE-DA MEETING	AL	NOV 18					12 DALLAS ST, KEIRAVILLE	BOARDING HOUSE	2018:1258	1:150@A3	DA-40
B	DESIGN PANEL MEETING	AL	FEB 19					CLIENT	DRAWING TITLE	DRAWN	DATE	REV
C	DA SUBMISSION	AL	MAY 19					ALEX KE	BASEMENT GFA CALCULATION	AL	OCT 18	C

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EMAIL: arch@dstudio.com.au  
WEB: www.d-studio.com.au

NOMINATED ARCHITECT:  
SINCE 1950 REG NO. 5422  
ACN: 098 506 008 ABRN: 83 596 506 008

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**DEVELOPMENT APPLICATION**

DP 8 221126

DP 16 221126

**DESIGN STATISTICS**  
 SITE AREA: 1141SQM  
 FSR 0.5:1, =570.5SQM PERMISSIBLE GFA  
 PROPOSED GFA 555.9SQM  
 PROPOSED FSR: 555.9/1141=0.487:1  
 PROPOSED GROUND FLOOR GFA 290.7SQM

ADDRESS 12 DALLAS ST, KEIRAVILLE	PROJECT BOARDING HOUSE	JOB NUMBER 2018:1258	SCALES 1:150@A3	DRAWING DA-41	 <p>SUITE 212, LEVEL 2, 40 GOLDBURN ST. SYDNEY NSW 2000 AUSTRALIA TEL (02) 5085 0700 FAX (02) 5084 3352 EMAIL: arch@dstudio.com.au WEB: www.d-studio.com.au</p> <p>NOMINATED ARCHITECT: SIMON TSO REG NO.5422 ACH: 039 505 008 ACH: 039 505 008</p> <p><small>THIS DRAWING OR COPY RIGHT MAY NOT BE REPRODUCED WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT. REQUIRED ENDORSEMENTS MAY BE USED BY PERMISSION TO INDICATE OR OTHERWISE TO BE CHECKED ON SITE</small></p>
CLIENT ALEX KE	DRAWING TITLE GROUND FLOOR GFA CALCULATION	DRAWN AL	DATE OCT 18	REV C	

**STUDIO**  
Architects Pty Limited

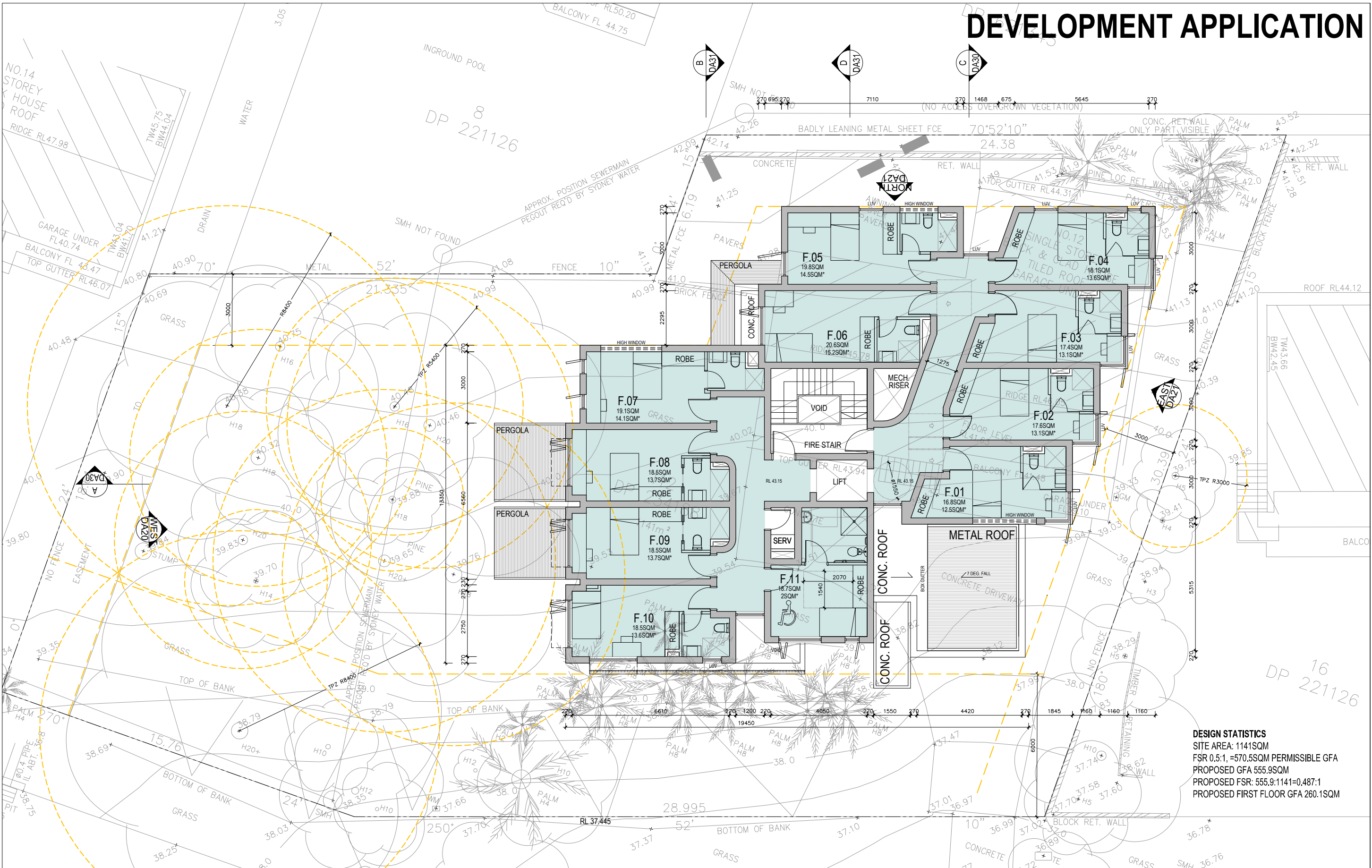
SUITE 212, LEVEL 2, 4/0 GOLDBURN ST,  
LYDNEY NSW 2800 AUSTRALIA  
TEL: (02) 5623 0789 FAX: (02) 5624 3352  
EMAIL: arch@st-dstudio.com.au  
WEB: [www.st-dstudio.com.au](http://www.st-dstudio.com.au)

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ACN: 096 006 508 ABN: 09 096 006 008

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DEVELOPMENT APPLICATION



DESIGN STATISTICS  
SITE AREA: 1141SQM  
FSR 0.5:1, =570.5SQM PERMISSIBLE GFA  
PROPOSED GFA 555.9SQM  
PROPOSED FSR: 555.9:1141=0.487:1  
PROPOSED FIRST FLOOR GFA 260.1SQM

REV.	DESCRIPTION	DRAWN	DATE	REV.	DESCRIPTION	DRAWN	DATE	ADDRESS	PROJECT	JOB NUMBER	SCALES	DRAWING
A	PRE-DA MEETING	AL	NOV 18					12 DALLAS ST, KEIRAVILLE	BOARDING HOUSE	2018:1258	1:150@A3	DA-42
B	DESIGN PANEL MEETING	AL	FEB 19					CLIENT	DRAWING TITLE	DRAWN	DATE	REV
C	DA SUBMISSION	AL	MAY 19					ALEX KE	FIRST FLOOR GFA CALCULATION	AL	OCT 18	C

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**DEVELOPMENT APPLICATION**


**DESIGN STATISTICS**  
 SITE AREA: 1141SQM  
 DWELLING HOUSE DCP  
 SITE COVERAGE REQUIREMENT, MAX. 40%  
 FOR LOTS GREATER THAN 900SQM.  
 PROPOSED COVERAGE, 352SQM=352/1141=30.9%

**STUDIO**  
Architects Pty Limited

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TEL (02) 9283 0789 FAX (02) 9284 3352  
EMAIL: arch@studio.com.au  
WEB: www.d-studio.com.au

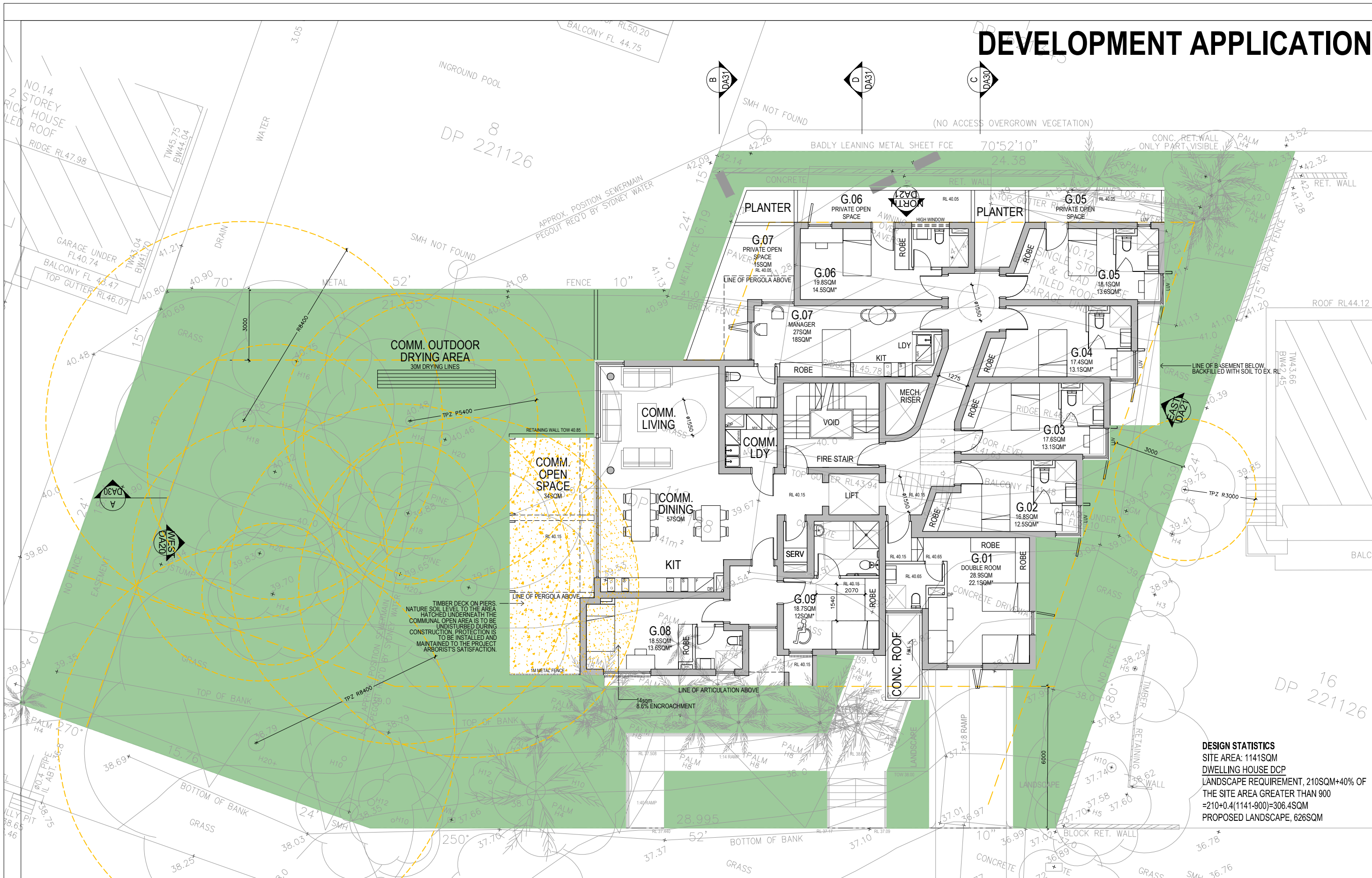
**NOMINATED ARCHITECT:**  
SIMON TOS  
ACN: 009 506 008 ABN: 93 006 506 008

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	ADDRESS 12 DALLAS ST, KEIRAVILLE	PROJECT BOARDING HOUSE	JOB NUMBER 2018:1258	SCALES 1:150@A3	DRAWING DA-43	 <p>SUITE 212, LEVEL 2, 410 GOLDBURN ST. SYDNEY NSW 2008 AUSTRALIA TEL (02) 9263 0768 FAX (02) 9264 3352 EMAIL arch@dstudio.com.au WEB www.dstudio.com.au</p> <p>NOMINATED ARCHITECT: SIMON TSO REG NO.5422 ACN: 096 506 008 ABN: 93 096 506 008</p>
	CLIENT ALEX KE	DRAWING TITLE SITE COVERAGE CALCULATION	DRAWN AL	DATE OCT 18	REV C	



# DEVELOPMENT APPLICATION



**DESIGN STATISTICS**  
SITE AREA: 1141SQM  
DWELLING HOUSE DCP  
LANDSCAPE REQUIREMENT, 210SQM+40% OF  
THE SITE AREA GREATER THAN 900  
=210+0.4(1141-900)=306.4SQM  
PROPOSED LANDSCAPE, 626SQM

REV.	DESCRIPTION	DRAWN	DATE	REV.	DESCRIPTION	DRAWN	DATE
A	PRE-DA MEETING	AL	NOV 18				
B	DESIGN PANEL MEETING	AL	FEB 19				
C	DA SUBMISSION	AL	MAY 19				

ADDRESS  
12 DALLAS ST, KEIRAVILLE

CLIENT  
ALEX KE

PROJECT  
BOARDING HOUSE

DRAWING TITLE  
LANDSCAPE AREA CALCULATION

JOB NUMBER  
2018:1258

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SCALES  
1:150@A3

DATE  
OCT 18

DRAWING  
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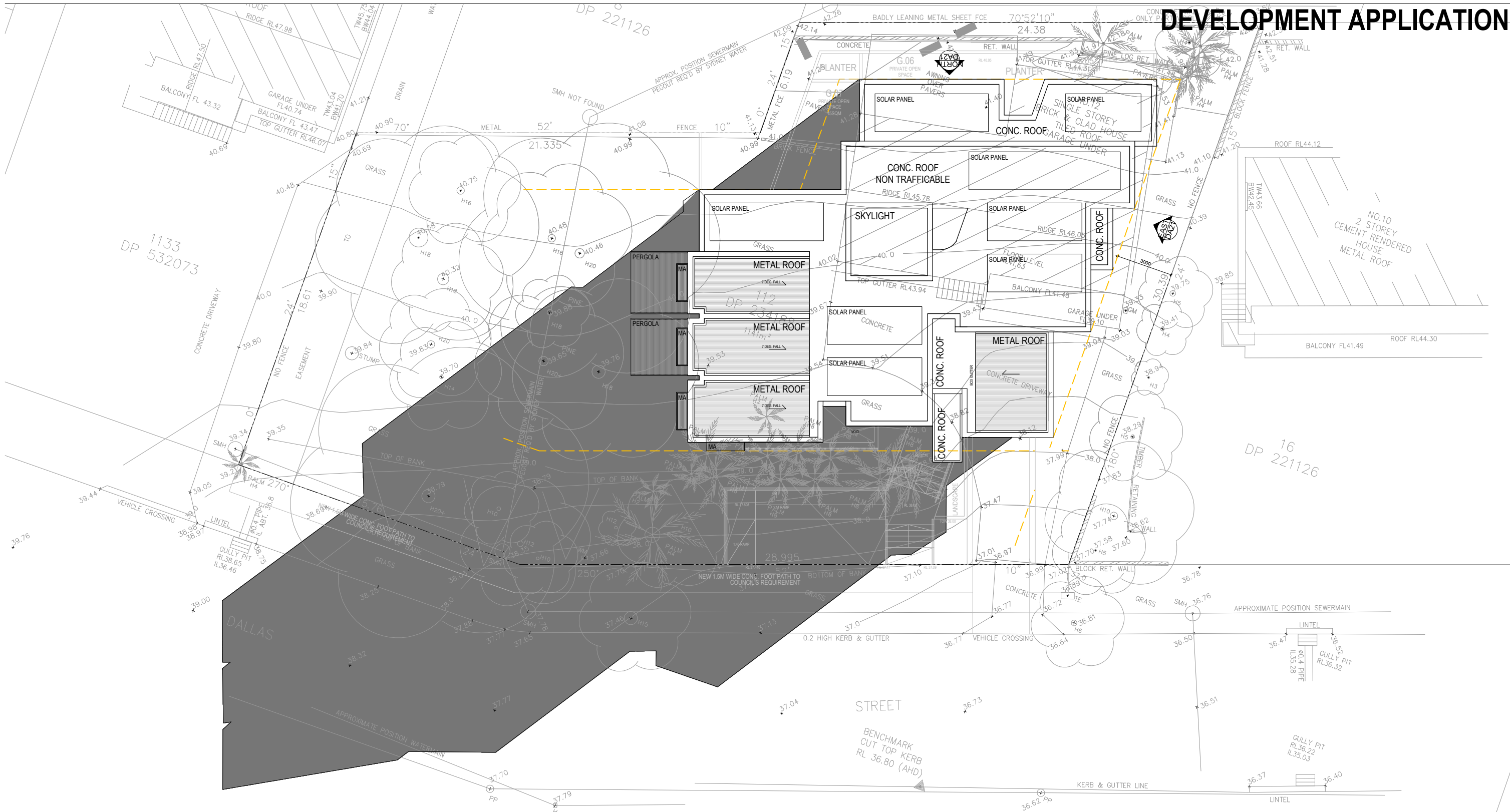
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DEVELOPMENT APPLICATION



REV.	DESCRIPTION	DRAWN	DATE	REV.	DESCRIPTION	DRAWN	DATE		ADDRESS	PROJECT	JOB NUMBER	SCALES	DRAWING
A	PRE DA MEETING	AL	NOV 18						12 DALLAS ST, KIERAVILLE	BOARDING HOUSE	2018:1258	1 : 200@A3	WD-50
B	DESIGN PANEL MEETING	AL	FEB 19						CLIENT	DRAWING TITLE	DRAWN	DATE	REV
C	DA SUBMISSION	AL	MAY 19						ALEX KE	SOLAR DIAGRAM JUNE 9AM	AL	OCT 18	C



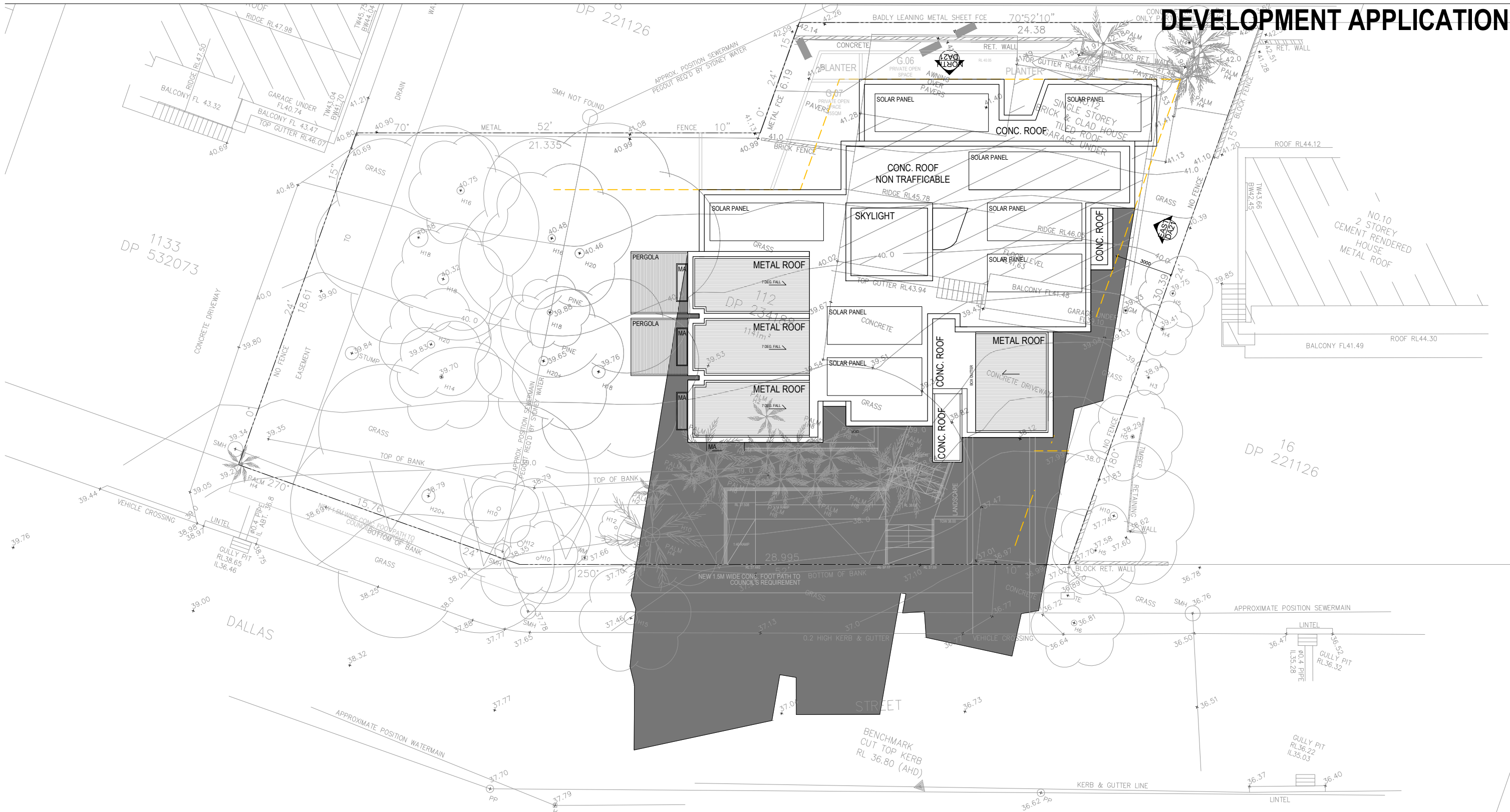
SUITE 212, LEVEL 2, 4-10 GOULBURN ST.  
SYDNEY NSW 2000 AUSTRALIA  
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DEVELOPMENT APPLICATION



REV.	DESCRIPTION	DRAWN	DATE	REV.	DESCRIPTION	DRAWN	DATE		ADDRESS	PROJECT	JOB NUMBER	SCALES	DRAWING
A	PRE DA MEETING	AL	NOV 18						12 DALLAS ST, KIERAVILLE	BOARDING HOUSE	2018:1258	1 : 200@A3	WD-51
B	DESIGN PANEL MEETING	AL	FEB 19						CLIENT	DRAWING TITLE	DRAWN	DATE	REV
C	DA SUBMISSION	AL	MAY 19						ALEX KE	SOLAR DIAGRAM JUNE 12PM	AL	OCT 18	C



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C	DA SUBMISSION	AL	MAY 19						ALEX KE	SOLAR DIAGRAM JUNE 3PM	AL	OCT 18	C



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EXTERNAL MATERIALS:

RM

DULUX NEW FAWN  
S12D2  
OR SIMILAR

RM 2

DULUX MT ASPIRING  
N29H4  
OR SIMILAR

RM 3

DULUX DOMINO  
SG6G8  
OR SIMILAR

ALW/ALD/LUV

DULUX MONUMENT  
SATIN 2729067S  
OR SIMILAR

FB

PGH COMPOSITE  
URBAN BLUE OR SIMILAR

REV.	DESCRIPTION	DRAWN	DATE	REV.	DESCRIPTION	DRAWN	DATE		ADDRESS	PROJECT	JOB NUMBER	SCALES	DRAWING
A	PRE DA MEETING	AL	NOV 18						12 DALLAS ST, KIERAVILLE	BOARDING HOUSE	2018:1258	NTS	WD-60
B	DESIGN PANEL MEETING	AL	FEB 19						CLIENT	DRAWING TITLE	DRAWN	DATE	REV
C	DA SUBMISSION	AL	MAY 19						ALEX KE	PHOTOMONTAGE & EXTERNAL FINISHES	AL	OCT 18	C



Architects Pty Limited

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DWG FILE: X:\120120 - 12 Dallas Street Keiraville\11\_BW166\_CIS\_DWG\120120-C020-General notes.dwg - last PLOT TIME: 09 May 2019, 0:26pm

GENERAL NOTES	
1.	THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL, SERVICES AND OTHER CONSULTANTS DRAWINGS THE SPECIFICATIONS AND WITH SUCH OTHER WRITTEN INSTRUCTIONS AS MAY BE ISSUED DURING THE COURSE OF THE TENDER AND CONTRACT.
2.	IF ANY DISCREPANCY OCCURS ON THE DRAWINGS OR BETWEEN DRAWINGS AND SPECIFICATION, THE CONTRACTOR SHALL REFER THE DISCREPANCY TO MEINHARDT INFRASTRUCTURE & ENVIRONMENT PTY LTD FOR WRITTEN CLARIFICATION BEFORE PROCEEDING WITH THE WORK
3.	ALL WORKMANSHIP AND MATERIALS SHALL COMPLY WITH COUNCIL'S SPECIFICATION & POLICY, AUS-SPEC, THE BUILDING CODE OF AUSTRALIA AND THE RELEVANT CURRENT AUSTRALIAN STANDARDS AS APPROPRIATE.
4.	ALL DIMENSIONS SHOWN SHALL BE VERIFIED ON SITE. DRAWINGS MUST NOT BE SCALED.
5.	ONLY SUBSTITUTIONS APPROVED IN WRITING BY MEINHARDT INFRASTRUCTURE & ENVIRONMENT PTY LTD SHALL BE ACCEPTED.
6.	DURING CONSTRUCTION THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL STRUCTURES AND WORKS IN A STABLE CONDITION AND SHALL ENSURE NO PART SHALL BE OVER STRESSED DURING CONSTRUCTION ACTIVITIES.

PRELIMINARY WORKS NOTES	
1.	THE CONTRACTOR SHALL ALLOW FOR PROVIDING MATERIALS AND WORK WHICH IS INCIDENTAL TO THE ITEMS SPECIFIED AND WHICH WOULD BE NECESSARY TO ACHIEVE THE RESULTS REQUIRED BY THE DRAWINGS.
2.	THE CONTRACTOR WILL BE DEEMED TO HAVE INSPECTED THE SITE OF THE WORKS, ASSESSED AVAILABLE ACCESS, INQUIRED INTO THE LOCATION OF AUTHORITIES UNDERGROUND ASSETS, EXAMINED THE GEOTECHNICAL REPORT AND THE NATURE OF THE GROUND AND OBTAINED THE LOCAL CLIMATE AND RAINFALL INFORMATION.
3.	SAFETY REQUIREMENTS: THE CONTRACTOR SHALL ENSURE THAT ALL TIMES, THE MEANS AND METHODS OF CARRYING OUT THE WORK TO BE UNDERTAKEN CONFORM WITH THE STANDARDS AND REQUIREMENTS OF THE OCCUPATIONAL HEALTH AND SAFETY ACT AND ANY OTHER APPLICABLE LEGISLATION, CODES OF PRACTICE AND STANDARDS.  ALL PERSONNEL WORKING ADJACENT TO A TRAFFICABLE ROAD OR FORMATION SHALL WEAR RED SAFETY VESTS. THE CONTRACTOR SHALL PROTECT THE PUBLIC FROM DANGERS INHERENT IN EXCAVATIONS, OBSTRUCTIONS, WORKING PLANT AND FALLING OBJECTS. SUCH MEASURES THAT ARE TAKEN SHALL BE ADEQUATE TO MAINTAIN THE SAFETY OF THE PUBLIC DURING PERIODS OUTSIDE NORMAL WORKING HOURS ON SITE.  THE CONTRACTOR SHALL ENSURE THAT ALL TRENCH EXCAVATION FOR INSTALLATION OF PIPEWORKS (OR OTHER WORKS) OF DEPTHS GREATER THAN 1.5 METRES MUST BE CONTINUOUSLY SUPERVISED AND AT ALL TIMES BE ADEQUATELY SUPPORTED.
4.	ALL WORK WITHIN ROAD RESERVES, PUBLIC PROPERTY OR PRIVATE PROPERTY - SHALL BE EXECUTED STRICTLY IN ACCORDANCE WITH THE REQUIREMENTS OF THE RELEVANT AUTHORITY OR LAND OWNER.
5.	CONTRACTOR SHALL OBTAIN FROM THE RELEVANT AUTHORITIES DETAILS OF ALL EXISTING SERVICES WITHIN THE VICINITY OF THE WORKS AND SHALL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGE CAUSED TO EXISTING SERVICES DURING THE EXECUTION OF THE WORKS.
6.	THE CONTRACTOR SHALL COMPLY WITH AND GIVE NOTICES REQUIRED BY ANY ACT OF PARLIAMENT, ORDINANCE REGULATION OR BY-LAW OF ANY AUTHORITY HAVING JURISDICTION OVER THE WORKS AND SHALL PAY ALL FEES OR CHARGES LEGALLY DEMANDABLE UNDER ANY SUCH ACT OF PARLIAMENT, ORDINANCE, REGULATION OR BY-LAW.
7.	PRIOR TO WORKS, THE CONTRACTOR SHALL UNDERTAKE AN EXISTING DEFECTS INSPECTION AND REPORT TO LIST ANY EXISTING DAMAGE TO ROADS, FOOTPATHS, KERBS CROSSINGS CHANNELS NATURE STRIPS, ETC. SUCH LISTS SHALL BE PREPARED IN DUPLICATE BY THE CONTRACTOR AND A COPY SENT TO THE SUPERINTENDENT.

TRAFFIC PROVISION NOTES	
1.	UNLESS OTHERWISE SPECIFIED, THE CONTRACTOR SHALL MAKE PROVISION FOR TRAFFIC, IN ACCORDANCE WITH THE RELEVANT AUS-SPEC OR AUSTRALIAN STANDARD AS1742 "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES".
2.	THE CONTRACTOR SHALL ASCERTAIN AND COMPLY WITH THE REQUIREMENTS OF THE AUTHORITY RESPONSIBLE FOR PUBLIC ROADS.
3.	THE CONTRACTOR SHALL SO CONDUCT THE OPERATIONS AS TO MINIMISE OBSTRUCTION AND INCONVENIENCE TO THE PUBLIC, AND SHALL NOT HAVE UNDER CONSTRUCTION AN GREATER LENGTH OR AMOUNT OF WORK THAN CAN BE MANAGED PROPERLY WITH DUE REGARD TO THE CONVENIENCE OF THE PUBLIC.

SITEWORKS NOTES	
1.	THE CONTRACTOR SHALL LIAISE DIRECTLY WITH ALL SERVICE AUTHORITIES INVOLVED AND SHALL COMPLY WITH ALL THEIR REGULATIONS AND REQUIREMENTS
2.	ALL LEVELS SHOWN ARE TO AUSTRALIAN HEIGHT DATUM, UNLESS STATED OTHERWISE. ALL COORDINATES SHOWN ARE TO AUSTRALIAN MAP GRID, UNLESS STATED OTHERWISE. BASE SURVEY & SETOUT HAS BEEN SUPPLIED BY OTHERS & SHALL BE CONFIRMED ON SITE BY CONTRACTOR PRIOR TO CONSTRUCTION
3.	SERVICE INFORMATION SHOWN IS BASED ON PLANS SUPPLIED AND IS APPROXIMATE ONLY. ACTUAL LOCATION CAN ONLY BE DETERMINED BY EXCAVATION. THE CONTRACTOR SHALL LIAISE WITH SERVICE AUTHORITIES FOR SERVICE LOCATIONS. THE CONTRACTOR SHALL PROTECT ALL SERVICES AND SHALL RECTIFY ANY DAMAGE AT HIS EXPENSE
4.	ALL WORKS IN PUBLIC LANDS SHALL BE TO THE APPROVAL AND SATISFACTION OF THE RELEVANT AUTHORITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND OBTAINING RELEVANT AUTHORITY WRITTEN APPROVAL OF THE WORKS.
5.	EXISTING SURFACE CONTOURS SHOWN ARE INTERPOLATED FROM SPOT HEIGHTS AND ARE APPROXIMATE ONLY
6.	THE CONTRACTOR MUST VERIFY ALL DIMENSIONS AND EXISTING LEVELS ON SITE PRIOR TO COMMENCEMENT OF WORK, AND REPORT ANY DISCREPANCIES TO THE SUPERINTENDENT.
7.	ALL EXISTING SERVICES (INCLUDING ANY NOT SHOWN ON THE PLANS) MUST BE ACCURATELY LOCATED IN POSITION AND LEVEL PRIOR TO ANY EXCAVATION. ANY DISCREPANCIES SHALL BE REPORTED TO THE SUPERINTENDENT. MINIMUM SERVICE CLEARANCES SHALL BE MAINTAINED FROM THE RELEVANT SERVICE AUTHORITY.
8.	ALL DIMENSIONS AND SET OUTS SHOWN ARE EITHER TO FACE OF BUILDING, GRID LINES OR FACE OF KERB INVERT (LINE OF KERB), UNLESS SHOWN OTHERWISE.
9.	CONTRACTOR SHALL BE ISSUED AN ELECTRONIC COPY OF THE CIVIL DETAIL PLANS IN AUTOCAD DWG FORMAT FOR SET OUT PURPOSES. ALL DIMENSIONS SHOWN ON PLAN SHALL OVER RIDE SETOUT POINTS SELECTED FROM ELECTRONIC FILE PROVIDED.
10.	THE CONTRACTOR SHALL ARRANGE FOR ALL SETTING OUT BY A REGISTERED SURVEYOR.
11.	THE CONTRACTOR SHALL OBTAIN ALL REGULATORY AUTHORITY APPROVALS
12.	WHERE NEW WORKS ABUT EXISTING, THE CONTRACTOR MUST ENSURE THAT A SMOOTH AND EVEN PROFILE, FREE FROM ABRUPT CHANGES IS OBTAINED.
13.	SAWCUT EXISTING KERB/KERB & CHANNEL AND PAVING WHERE NEW WORKS ARE TO MATCH EXISTING WORKS
14.	BUILDING AND SITE MAINTENANCE PROGRAM IS TO INCORPORATE REGULAR FLUSHING OF ALL STORMWATER PITS, PIPES, DOWNPIPES, SUB-SOIL DRAINS AND ASSOCIATED FITTINGS TO AVOID BLOCKAGES WITHIN THE SYSTEM.
15.	ALL DISTURBED AREAS SHALL BE RESTORED TO THEIR ORIGINAL CONDITION, UNLESS SPECIFIED OTHERWISE.
16.	EXCAVATED TRENCHES SHALL BE COMPACTED TO THE SAME DENSITY AS THE ADJACENT NATURAL MATERIAL. ANY SUBSIDENCES DURING THE PERIOD TO BE RECTIFIED AS DIRECTED BY THE SUPERINTENDENT.
17.	THE CONTRACTOR SHALL KEEP THE SITE WELL DRAINED AND COMPLETELY FREE OF STANDING WATER AT ALL TIMES.
18.	GRADE EVENLY BETWEEN FINISHED SURFACE SPOT LEVELS (FINISHED SURFACE CONTOURS ARE SHOWN FOR CLARITY ONLY.) WHERE FINISHED SURFACE SPOT LEVELS ARE NOT SHOWN THE SURFACE SHALL BE GRADED SMOOTHLY SO THAT IT WILL DRAIN FREELY, AND TO MATCH THE LEVELS OF ADJACENT SURFACES OR STRUCTURES.
19.	ANY EXISTING TREES WHICH FORM PART OF THE FINAL LANDSCAPING PLAN WILL BE PROTECTED FROM CONSTRUCTION ACTIVITIES IN ACCORDANCE WITH THE LANDSCAPE ARCHITECT'S DETAILS AND/OR BY: <div><div>a) PROTECTING THEM WITH BARRIER FENCING OR SIMILAR MATERIALS INSTALLED OUTSIDE THE DRIP LINE,</div><div>b) ENSURING THAT NOTHING IS NAILED TO THEM,</div><div>c) PROHIBITING PAVING, GRADING, SEDIMENT WASH OR PLACING OF STOCKPILES WITHIN THE DRIP LINE EXCEPT AS ADVISED BY A QUALIFIED ARBORIST.</div></div>
20.	RECEPTORS FOR CONCRETE AND MORTAR SLURRIES, PAINTS, ACID WASHINGS, LIGHT-WEIGHT WASTE MATERIALS AND LITTER ARE TO BE EMPTIED AS NECESSARY. DISPOSAL OF WASTE SHALL BE IN A MANNER APPROVED BY THE SUPERINTENDENT OR AS SPECIFIED IN THE WASTE MANAGEMENT PLAN.

SUBSOIL DRAINAGE NOTES	
1.	WHERE SUBSOIL DRAINAGE LINES PASS UNDER FLOOR SLABS AND VEHICULAR PAVEMENTS, UNSLOTTED uPVC DWV GRADE CLASS SN8 PIPE SHALL BE USED.
2.	PROVIDE SUBSOIL DRAINAGE IN ACCORDANCE WITH COUNCIL SPECIFICATIONS WITH CONTINUOUS FALL TO DOWNSTREAM PITS LOCATED AS SHOWN ON PLAN AND AS MAYBE DIRECTED BY COUNCIL / SUPERINTENDENT.
3.	ALL SUBSOIL DRAINAGE PIPES SHALL BE Ø100mm CLASS 400 PERFORATED DRAINAGE PIPE LAID AT 1.0%MIN GRADE WRAPPED IN GEOFABRIC (UNO) AND BE LAID AT A MIN DEPTH OF 400mm BELOW PAVEMENT SUB-BASE COURSE.

EARTHWORKS NOTES	
1.	THE CONTRACTOR SHALL COMPLY WITH THE CURRENT EDITIONS OF THE AUSTRALIAN STANDARDS.  AS 1289 TESTING SOILS FOR ENGINEERING PURPOSES  AS 3798 GUIDELINES ON EARTHWORKS FOR COMMERCIAL AND RESIDENTIAL DEVELOPMENTS
2.	ALL WORK SHALL COMPLY WITH THE PROJECT GEOTECHNICAL REPORT.
3.	THE CONTRACTOR SHALL BE RESPONSIBLE FOR CARRYING OUT ALL CONTROL AND COMPLIANCE EXAMINATION AND TESTING OF MATERIALS AND WORK.  UNLESS OTHERWISE SPECIFIED, ALL TESTS SHALL BE UNDERTAKEN IN ACCORDANCE WITH THE APPROPRIATE AUSTRALIAN STANDARD TEST METHOD. WHERE THERE IS NO RELEVANT AUSTRALIAN STANDARD TEST METHOD THEN THE CURRENT APPROPRIATE RTA TEST METHOD OR OTHER SPECIFIED TEST METHOD SHALL BE USED. ALL TESTS SHALL BE CONDUCTED BY EXPERIENCED TESTING OFFICERS IN A LABORATORY ACCREDITED BY THE NATIONAL ASSOCIATION OF TESTING AUTHORITIES-NATA.
4.	DETERMINATION OF THE NATURE AND QUANTITY(IES) OF THE EXISTING SITE MATERIALS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. WHERE INCLUDED IN THE DOCUMENTS, GEOTECHNICAL REPORTS ARE INCLUDED FOR INFORMATION ONLY. INTERPRETATION OF THE REPORT/S SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.  USE OF ON-SITE MATERIAL WITHIN THE WORKS SHALL ONLY BE PERMITTED WHERE THE MATERIAL EITHER:  I. IS SPECIALLY STATED WITHIN THE DOCUMENTS AS BEING USED IN THE WORKS, OR  II. IS PERMITTED BY THE SUPERINTENDENT & GEOTECHNICAL TESTING / ENGINEER  ALL FILL MATERIAL SHALL BE FROM A SOURCE APPROVED BY THE SUPERINTENDENT AND SHALL COMPLY WITH THE FOLLOWING - <div><div>a) FREE FROM ORGANIC AND PERISHABLE MATTER;</div><div>b) MAXIMUM PARTICLE SIZE 75mm; AND</div><div>c) PLASTICITY INDEX - BETWEEN 2% AND 15%.</div></div>
5.	WHEN A SURFACE IS NOT POSSIBLE TO SUPPORT CONSTRUCTION EQUIPMENT OR IT IS NOT POSSIBLE TO COMPACT THE OVERLYING MATERIALS BECAUSE OF HIGH MOISTURE CONTENT, THEN ONE OR MORE OF THE FOLLOWING ALTERNATIVE ACTIONS MAY BE TAKEN  (I) ALLOW THE MATERIAL TO DRY TO A MOISTURE CONTENT WHICH ALLOW IT TO BE COMPACTED AND ALLOW THE PLACEMENT AND COMPACTION OF OVERLYING MATERIAL  (II) SCARIFY THE MATERIAL TO A DEPTH OF 200MM AND WORK AS NECESSARY TO ACCELERATE DRYING. RECOMPACT AS SPECIFIED WHEN MOISTURE CONTENT APPROXIMATES OPTIMUM  (III) EXCAVATE AND REPLACE THE SOFT MATERIAL.  THE ACTION TO BE ADOPTED SHALL BE AT THE CONTRACTOR'S DISCRETION AND EXPENSE, BUT SHALL BE ADVISED TO THE SUPERINTENDENT BEFORE ACTION COMMENCES.  IF THE CONTRACTOR ELECTS PURSUANT TO (I) ABOVE TO ALLOW THE MATERIAL TO DRY, RESULTING DELAYS, IF ANY, SHALL NOT CONSTITUTE GROUNDS FOR AN EXTENSION OF CONTRACT PERIOD OR DATE OF PRACTICAL COMPLETION.
6.	THE FINISHED SUBGRADE SHALL NOT BE DISTURBED BY TRAFFIC OR OTHER OPERATIONS, AND SHALL BE PROTECTED AND MAINTAINED BY THE CONTRACTOR UNTIL THE FIRST LAYER OF FILL OR SUB-BASE IS PLACED THEREON. THE SUBGRADE SHALL BE KEPT DRAINED AND COMPLETELY FREE OF STANDING WATER AT ALL TIMES.  THE CONTRACTOR SHALL PLAN AND CARRY OUT THE WHOLE OF THE WORKS TO MINIMISE THE EFFECTS OF RUN-OFF AND EROSION ON THE SITE AND ON DOWNSTREAM AREAS. HE SHALL AVOID UNNECESSARY GROUND DISTURBANCE AND PROVIDE AS NECESSARY FOR THE PROPER CONTROL OF STORMWATER RUN-OFF AT EVERY STAGE OF THE WORKS ALL IN ACCORDANCE WITH "MANAGING URBAN STORMWATER / SOIL AND CONSTRUCTION" (LANDCOM "BLUE BOOK")
7.	PRIOR TO THE COMMENCEMENT OF EARTHWORKS TOPSOIL IS TO BE STRIPPED WITHIN THE LIMITS OF THE EARTHWORKS AND FROM ANY AREAS TO BE COVERED BY PAVING, STRUCTURES OR FILL, AND ALL AREAS WHICH ARE TO SUPPORT PAVEMENTS, EMBANKMENTS, STRUCTURES AND THE LIKE OR FILLING UNDER SUCH WORKS, SHALL BE STRIPPED CLEAR OF ALL TREES, LOGS, STUMPS, SCRUB, GRASS, ROOT GROWTH, CULTIVATED SOIL, WET OR SPONGY NATURAL SOIL, DECAYED VEGETABLE MATTER AND ANY OTHER DELETERIOUS SUBSTANCE. THE CONTRACTOR SHALL BREAK UP AND REMOVE ALL ASPHALT AND CONCRETE MATERIAL UPON WHICH FILL OR PAVEMENT SHALL BE PLACED.  ALL MATERIAL WITHIN THE LIMIT OF THE EARTHWORKS SHALL BE WHOLLY REMOVED.
8.	FILL ALL HOLES WITH APPROVED MATERIAL IN MAXIMUM 150MM COMPACTED THICKNESS LAYERS COMPACTED TO THE DENSITY TO THE ADJOINING UNDISTURBED SOIL AND TO THE APPROVAL OF THE SUPERINTENDENT.
9.	EXCAVATION TO THE LINES, LEVELS AND GRADES AS REQUIRED FOR UNDERGROUND SERVICES SPECIFIED IN THE RELEVANT SERVICES SECTIONS, INCLUDING DRAINAGE, HYDRAULIC, ELECTRICAL AND THE LIKE, UNLESS OTHERWISE SPECIFIED MAKE THE TRENCHES STRAIGHT BETWEEN MANHOLES, INSPECTION POINTS, JUNCTIONS AND THE LIKE, WITH VERTICAL SIDES AND UNIFORM GRADES.  DEPTH SHALL BE AS REQUIRED BY THE RELEVANT SERVICES AND ITS BEDDING.  CUT BACK ROOTS ENCOUNTERED IN TRENCHES TO LESS THAN 600mm CLEAR OF THE RELEVANT SERVICE. REMOVE SUCH OTHER OBSTRUCTIONS INCLUDING ROOTS, STUMPS, BOULDERS AND THE LIKE WHICH MAY, IN THE OPINION OF THE SUPERINTENDENT, INTERFERE WITH THE PROPER FUNCTIONING OF THE SERVICE. LAY AND BED SERVICES IN ACCORDANCE WITH THE RELEVANT SERVICES SPECIFICATION SECTION.

EARTHWORKS NOTES CONT.											
10.	BACKFILL AND COMPACT SERVICE TRENCHES AS SOON AS POSSIBLE AFTER APPROVAL OF LAID AND BEDDED SERVICE.  COMPACT BACKFILL IN PIPE TRENCHES SO THAT THE PIPE IS BUTTRESSED BY THE WALLS OF THE TRENCH.										
11.	WHERE FILLING IS DESIGNATED BY THE CONTRACT OR IS SHOWN ON THE DRAWINGS AS STRUCTURAL OR CONTROLLED FILL, THE CONTRACTOR SHALL ENGAGE AN INDEPENDENT GEOTECHNICAL TESTING AUTHORITY TO SUPERVISE SUBGRADE PREPARATION, FILL PLACEMENT, COMPACTION AND TO UNDERTAKE SAMPLING AND TESTING AND REPORTING TO SATISFY THE REQUIREMENTS OF THIS SPECIFICATION AND THOSE OF AS 2870 AND AS 3798, FOR CONTROLLED FILL.  NO FILL SHALL BE PLACED OVER LAYERS NOT TESTED AND HAVING SATISFACTORY RESULTS.  WHERE EXCAVATED MATERIAL IS NOT SUITABLE FOR FILLING, FILL MATERIAL, AS SPECIFIED IN THIS SPECIFICATION SECTION, "IMPORTED FILL" SHALL BE USED.  ALL FILL MATERIAL SHALL BE PLACED IN MAXIMUM 200mm THICK LAYERS AND COMPACTED AT OPTIMUM MOISTURE CONTENT (+ OR - 2%) TO ACHIEVE A DRY DENSITY DETERMINED IN ACCORDANCE WITH AS1289 5.1.1-2003-METHODS OF TESTING SOILS FOR ENGINEERING PURPOSES OF NOT LESS THAN THE FOLLOWING STANDARD MINIMUM DRY DENSITY - <table><tr><th>LOCATION</th><th>STANDARD DRY DENSITY</th></tr><tr><td>UNDER BUILDING SLABS</td><td>98%</td></tr><tr><td>VEHICULAR PAVED AREAS</td><td>98%</td></tr><tr><td>NON-VEHICULAR PAVED AREAS</td><td>95%</td></tr><tr><td>LANDSCAPED AREAS</td><td>95%</td></tr></table>	LOCATION	STANDARD DRY DENSITY	UNDER BUILDING SLABS	98%	VEHICULAR PAVED AREAS	98%	NON-VEHICULAR PAVED AREAS	95%	LANDSCAPED AREAS	95%
LOCATION	STANDARD DRY DENSITY										
UNDER BUILDING SLABS	98%										
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NON-VEHICULAR PAVED AREAS	95%										
LANDSCAPED AREAS	95%										
13.	UNLESS OTHERWISE PERMITTED, NO FILLING SHALL BE PLACED AGAINST ANY STRUCTURES, WING WALLS OR RETAINING WALLS WITHIN FOURTEEN DAYS OF CASTING. STRUT WALLS AS NECESSARY TO PREVENT MOVEMENT DURING PLACING AND COMPACTION.  PLACE AND COMPACT FILLING OVER AND AROUND PIPES, CULVERTS, BRIDGES AND OTHER STRUCTURES SO AS TO AVOID UNBALANCED LOADING OR MOVEMENT.  UNLESS OTHERWISE DETAILED BACKFILL AT STRUCTURES SHALL BE FILLED AS FOLLOWS:  WHERE THE GAP BETWEEN THE STRUCTURE AND UNDISTURBED GROUND EXCEEDS 2m, BACKFILL THE ZONE WITHIN 2m OF THE STRUCTURE WITH DGS20 SUBBASE FINE CRUSHED ROCK AND BACKFILL IN THE ZONE BEYOND 2m OF THE STRUCTURE WITH SELECT FILL TO THE APPROVAL OF THE SUPERINTENDENT OR DGS20 SUBBASE FINE CRUSHED ROCK.  UNLESS OTHERWISE DETAILED, MATERIAL WITHIN 300mm OF WEEPHOLES SHALL BE AN APPROVED GRANULAR FILTER MEDIUM OF COARSE SAND OR CRUSHED STONE WRAPPED AND SURROUNDED WITH AN APPROVED GEOTEXTILE SEPARATION LAYER.										
14.	HORIZONTAL:  NO POINT SHALL BE GREATER THAN + OR - 100mm FROM THE DESIGN LOCATION.  VERTICAL:  SUBGRADE LEVEL: -0.25mm  PAVEMENT DESIGN SUBGRADE:  LEVEL: -0.25mm  OTHER: +50, -50mm  STRAIGHTNESS (EXCLUDES ROCK); MAXIMUM 20MM DEPARTURE FROM 3M STRAIGHT EDGE LAID:  - PARALLEL TO ROAD CENTER LINE  - NORMAL TO INTENDED CONTOURS										
15.	AREAS UPON WHICH FILLS ARE TO BE CONSTRUCTED, ALL LAYERS OF FILLING, AND MATERIALS LESS THAN 150mm BELOW PERMANENT SUBGRADE LEVEL IN CUTTINGS, SHALL BE COMPACTED SO AS TO BE CAPABLE OF WITHSTANDING TEST ROLLING, WITHOUT VISIBLE DEFORMATION OR SPRINGING, WITH A PNEUMATIC TYRED ROLLER OR HIGHWAY TRUCK BALLASTED TO COMPLY WITH THE FOLLOWING:  PNEUMATIC TYRED - NOT LESS THAN 3 T PER TYRE WITH TYRES INFLATED TO 550 KPa.  HIGHWAY TRUCK - WITH REAR AXLE OR AXLES LOADED TO NOT LESS THAN 8 T EACH WITH TYRES INFLATED TO 550KPa  TEST ROLLING SHALL BE CARRIED OUT IMMEDIATELY BEFORE OVERLYING LAYERS ARE PLACED.  WHERE TEST ROLLING IS REQUIRED AT SOME LATER DATE, THE SURFACE SHALL BE MOISTURE CONDITIONED AS AND GIVEN NOT LESS THAN FOUR COVERAGES OF THE TEST ROLLER BEFORE TEST ROLLING COMMENCES.										
16.	THE WORK SHALL NOT BE ACCEPTED AS COMPLETE UNLESS ALL TEST RESULTS ARE PROVIDED TO THE SUPERINTENDENT.  THE CONTRACTOR SHALL PROVIDE ALL MATERIAL PROPERTY AND QUALITY TEST RESULTS TO THE SUPERINTENDENT.										
17.	THE CONTRACTOR SHALL PROGRAM THE EARTHWORKS OPERATION SO THAT THE WORKING AREAS ARE ADEQUATELY DRAINED DURING THE PERIOD OF CONSTRUCTION. THE SURFACE SHALL BE GRADED AND SEALED OFF TO REMOVE DEPRESSIONS, ROLLER MARKS AND SIMILAR WHICH WOULD ALLOW WATER TO POND AND PENETRATE THE UNDERLYING MATERIAL. ANY DAMAGE RESULTING FROM THE CONTRACTOR NOT OBSERVING THESE REQUIREMENTS SHALL BE RECTIFIED BY THE CONTRACTOR AT THEIR OWN EXPENSE.										
18.	TESTING OF THE FILL MATERIAL SHALL BE CARRIED OUT BY AN APPROVED NATA REGISTERED LABORATORY AT THE CONTRACTORS EXPENSE.										

STORMWATER NOTES	
1.	ALL DRAINAGE PIPES Ø300mm AND ABOVE SHALL BE SPIGOT AND SOCKET REINFORCED CONCRETE PIPES WITH RUBBER RING JOINTS (UNO).
2.	ALL DRAINAGE PIPES LESS THAN OR EQUAL TO Ø225mm SHALL BE uPVC DWV GRADE CLASS SN8 IN ACCORDANCE WITH AS/NZS1260-2009-PVC-U PIPES AND FITTINGS FOR DRAIN, WASTE AND VENT APPLICATION WITH SOLVENT WELDED JOINTS (UNO).
3.	ALL PIPE JUNCTIONS UP TO AND INCLUDING Ø450mm AND TAPERS, SHALL BE VIA PURPOSE MADE FITTINGS (UNO).
4.	MINIMUM GRADE TO STORMWATER LINES TO BE 1%(UNO).
5.	EQUIVALENT STRENGTH FIBROUS REINFORCED CONCRETE AND/OR VITRIFIED CLAY PIPE MAY BE USED SUBJECT TO APPROVAL BY THE SUPERINTENDENT AND CONSENT AUTHORITY.
6.	TRENCHES MUST BE KEPT CLEAR OF WATER AT ALL TIMES AND TIMBERED WHERE NECESSARY TO PREVENT COLLAPSE.
7.	PIPES SHALL BEAR EVENLY ON THE BED PREPARED AS SPECIFIED ABOVE AND LAID WITH THE SOCKETS POINTED UPGRADE. ALL PIPES SHALL BE LAID IN STRAIGHT LINES, TO TRUE INVERT LEVELS AND GRADES AS SHOWN ON PLANS. EACH PIPE SHALL BE SEPARATELY BONED BETWEEN ACCURATELY ESTABLISHED GRADE POINTS. THE CONTRACTOR SHALL ADHERE SUPERINTENDENT'S WRITTEN APPROVAL.
8.	UNLESS NOTED OTHERWISE, BEDDING SHALL BE TYPE H2 FOR PIPES NOT UNDER PAVEMENTS AND TYPE HS3 FOR PIPES UNDER PAVEMENTS IN ACCORDANCE WITH AS/NZS3725 (2007) - DESIGN FOR INSTALLATION OF BURIED CONCRETE PIPES.
9.	BACKFILL TRENCH WITH SAND OR APPROVED GRANULAR BACKFILL TO 300mm (MIN) ABOVE THE PIPE, WHERE THE PIPE IS UNDER PAVEMENTS BACKFILL REMAINDER OF TRENCH TO PAVEMENT SUBGRADE WITH SAND OR APPROVED GRAVEL SUB-BASE COMPACTED IN 150mm LAYERS TO 98% STANDARD MAXIMUM DRY DENSITY. THE CONTRACTOR IS TO ENSURE COMPACTION EQUIPMENT IS APPROPRIATE FOR THE PIPE CLASS USED.
10.	ALL PIPE JOINTING SHALL BE CARRIED OUT IN ACCORDANCE WITH THE MANUFACTURER'S WRITTEN SPECIFICATIONS FOR THE TYPE OF PIPE BEING USED.
11.	CONTRACTOR TO SUPPLY AND INSTALL ALL FITTINGS AND SPECIALS INCLUDING VARIOUS PIPE ADAPTORS TO ENSURE PROPER CONNECTION BETWEEN DISSIMILAR PIPEWORK.
12.	ALL CONNECTIONS TO EXISTING DRAINAGE PITS SHALL BE MADE IN A TRADESMAN-LIKE MANNER AND THE INTERNAL WALL OF THE PIT AT THE POINT OF ENTRY SHALL BE CEMENT RENDERED TO ENSURE A SMOOTH FINISH WITH NO PROTRUSION.
13.	WHERE ANY PIPE IS CUT INTO A LARGER PIPE, SUCH CONNECTION SHALL BE NEATLY MADE AND NO PART OF THE PIPE OR DOWNPIPE SHALL BE ALLOWED TO PROJECT. ANY CUT-IN JUNCTION SHALL BE MADE IN THE TOP HALF OF THE LARGER PIPE. SUCH JUNCTION TO CONCRETE PIPES SHALL BE SURROUNDED WITH A NEAT COLLAR OF CEMENT MORTAR AS DIRECTED OR AS DETAILED ON THE DRAWINGS. JUNCTIONS BETWEEN PVC PIPES SHALL USE PROPRIETARY FITTINGS INTENDED FOR THE PURPOSE.
14.	THE ENDS OF PIPES WHICH CONNECT WITH SIDE ENTRY, JUNCTION OR OTHER PITS SHALL BE NEATLY CUT TO FIT THE INNER FACE OF THE CONCRETE. WHERE UPVC PIPES ENTER/LEAVE PITS A RUBBER RING JOINT MANHOLE COUPLING SHALL BE CAST INTO THE PIT WALL.  BEDDING, HAUNCH AND OVERLAY MATERIALS SHALL CONFORM TO THE DETAILS SHOWN ON THE DRAWINGS.
15.	ALL PITS AND ENDWALLS SHALL BE CONSTRUCTED IN THE POSITIONS AND TO THE LEVELS SHOWN ON THE DRAWINGS OR AS DIRECTED BY THE SUPERINTENDENT. LOCATION OF ALL IAD PITS TO BE CONFIRMED WITH SUPERINTENDENT & LANDSCAPE ARCHITECT BEFORE CONSTRUCTION  COUNCIL'S CONSTRUCTION PIT DETAILS TO TAKE PRECEDENCE TO THE CONSTRUCTION DETAILS SHOWN IN THIS DOCUMENTATION. PRECAST PITS OR ALTERNATIVE DESIGN TYPES CAN BE USED SUBJECT TO COUNCIL / PCA APPROVAL. (IAD ONLY)  PIT COVERS SHALL BE PLACED IN ACCORDANCE WITH THE DETAIL SITE PLANS AND PIT SCHEDULE (IF PROVIDED) IN REGARD TO TYPE, SIZE, LOCATION AND LEVEL.  THE BASE OF EACH PIT SHALL BE INFILLED AND SHAPED WITH CONCRETE OR CEMENT MORTAR TO PROVIDE A SMOOTH FLOW PATH.
16.	PITS DEEPER THAN 1000mm SHALL HAVE STEP IRONS INSTALLED IN ACCORDANCE WITH THE LOCAL OR STATUTORY AUTHORITY REQUIREMENTS.
17.	SUPPLY APPARATUS AND MATERIALS NECESSARY FOR, AND CARRY OUT THE TESTS REQUIRED BY THE SPECIFICATION OR REGULATORY AUTHORITIES, IN THE PRESENCE OF THE SUPERINTENDENT AND THE RELEVANT AUTHORITY. LEAVE PIPE JOINTS EXPOSED TO ENABLE OBSERVATION DURING THE TESTS. ENSURE PVC SOLVENT CEMENT JOINTS HAVE BEEN CURED FOR AT LEAST 24 HOURS BEFORE TESTING.
18.	THE CONTRACTOR SHALL PRESSURE TEST WITH WATER, ALL STORMWATER PIPEWORK IN OR UNDER ANY STRUCTURES, IN ACCORDANCE WITH AS 3500.3.

EXISTING SERVICES NOTES	
1.	EXISTING SERVICES HAVE BEEN PLOTTED FROM SUPPLIED DATA AND AS SUCH THEIR ACCURACY CANNOT BE GUARANTEED. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ESTABLISH THE LOCATION AND LEVEL OF ALL EXISTING SERVICES PRIOR TO THE COMMENCEMENT OF ANY WORK. ANY DISCREPANCIES SHALL BE REPORTED TO THE SUPERINTENDENT.
2.	THE CONTRACTOR SHALL ALLOW FOR THE CAPPING OFF, EXCAVATION AND REMOVAL IF REQUIRED OF ALL REDUNDANT EXISTING SERVICES IN AREAS AFFECTED BY WORKS WITHIN THE CONTRACT AREA, AS SHOWN ON THE DRAWINGS UNLESS DIRECTED OTHERWISE BY THE SUPERINTENDENT.
3.	THE CONTRACTOR SHALL ENSURE THAT AT ALL TIMES SERVICES TO ALL BUILDINGS NOT AFFECTED BY THE WORKS ARE NOT DISRUPTED.
4.	IF REQUIRED, THE CONTRACTOR SHALL CONSTRUCT TEMPORARY SERVICES TO MAINTAIN EXISTING SUPPLY TO BUILDINGS REMAINING IN OPERATION DURING WORKS TO THE SATISFACTION AND APPROVAL OF THE SUPERINTENDENT. ONCE DIVERSION IS COMPLETE AND COMMISSIONED THE CONTRACTOR SHALL REMOVE ALL SUCH TEMPORARY SERVICES AND MAKE GOOD TO THE SATISFACTION OF THE SUPERINTENDENT AND THE RELEVANT SERVICE AUTHORITY.
5.	INTERRUPTION TO SUPPLY OF EXISTING SERVICES SHALL BE DONE SO AS NOT TO CAUSE ANY INCONVENIENCE TO THE PRINCIPAL. THE CONTRACTOR IS TO GAIN APPROVAL FROM THE SUPERINTENDENT FOR TIME OF INTERRUPTION - THE CONTRACTOR IS RESPONSIBLE FOR ALL LIAISON.
6.	ALL BRANCH GAS AND WATER SERVICES UNDER DRIVEWAYS AND BRICK PAVING SHALL BE LOCATED IN 80mm DIA uPVC SEWER GRADE CONDUITS EXTENDING A MINIMUM OF 500mm BEYOND THE EDGE OF PAVING.
7.	CLEARANCE AND COVER REQUIREMENTS SHALL BE OBTAINED FROM THE RELEVANT SERVICE AUTHORITY BEFORE COMMENCEMENT OF WORKS AND SHALL BE ADHERED TO AT ALL TIMES.
8.	CARE IS TO BE TAKEN WHEN EXCAVATING NEAR EXISTING SERVICES. NO MECHANICAL EXCAVATIONS ARE TO BE UNDERTAKEN OVER TELECOM OR ELECTRICAL SERVICES. HAND EXCAVATE IN THESE AREAS ONLY

HORNSBY SHIRE COUNCIL	
1.	REFER TO HORNSBY SHIRE COUNCIL SPECIFICATION <div><div>- VEHICULAR CROSSING SPECIFICATION MARCH 2017</div><div>- SPECIFICATION 1122 KERB &amp; CHANNEL (GUTTER) REPLACEMENT JULY 2016</div></div>



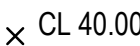



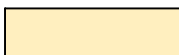

WARNING PROPOSED SERVICES	
THE LOCATION AND EXTENT OF PROPOSED SERVICES IS INDICATIVE ONLY AND ARE NOT TO BE USED FOR CONSTRUCTION. REFER TO AUTHORISED DOCUMENTATION BY RELEVANT AUTHORITY FOR CONSTRUCTION DETAILS	
WARNING BEWARE OF UNDERGROUND SERVICES	
THE LOCATIONS OF UNDERGROUND SERVICES ARE APPROXIMATE ONLY AND THEIR EXACT POSITION SHOULD BE PROVEN ON SITE. NO GUARANTEE IS GIVEN THAT ALL EXISTING SERVICES ARE SHOWN.	



REV		DESCRIPTION		BY	APP	DATE	PROJECT NORTH	ARCHITECT	<div><div><div><div>MEINHARDT</div></div><div>Meinhardt Australia Pty Ltd</div><div>A.C.N. 051 627 591</div><div>Level 4, 66 Clarence Street</div><div>Sydney NSW 2000</div><div>Australia</div><div>T: +61 2 9699 3088</div><div>F: +61 2 9319 7518</div><div>info@meinhardtagroup.com</div><div>http://www.meinhardtagroup.com</div><div>© Copyright</div></div></div>	CLIENT		PROJECT							
A01	FOR APPROVAL		JD	LM	09.05.19	DSTUDIO PTY LTD				BOARDING HOUSE 12 DALLAS STREET, KEIRAVILLE, NSW 2500									
						GENERAL NOTES				STATUS			DESIGNED	DRAWN	APPROVED	DATE	SCALE @A1	SHEET	
										FOR APPROVAL NOT FOR CONSTRUCTION			JD	SY	LM	10.04.19		OF	
													PROJECT No	DRAWING No	REV				
													120120	C020	A01				



LEGEND

-  PROPOSED STORMWATER PIT
-  PROPOSED STORMWATER PIPE
-  PROPOSED STORMWATER PIT COVER LEVEL
-  BOUNDARY LINE
-  PROPOSED DOWN PIPES & PIPE IN BASEMENT
-  PROPOSED FOOTPATH
-  PROPOSED VEHICLE CROSSING
-  PROPOSED GRATED DRAINS (200 WIDE)

**WARNING**  
PROPOSED SERVICES

THE LOCATION AND EXTENT OF PROPOSED SERVICES IS INDICATIVE ONLY AND ARE NOT TO BE USED FOR CONSTRUCTION. REFER TO AUTHORISED DOCUMENTATION BY RELEVANT AUTHORITY FOR CONSTRUCTION DETAILS

**WARNING**  
BEWARE OF UNDERGROUND SERVICES

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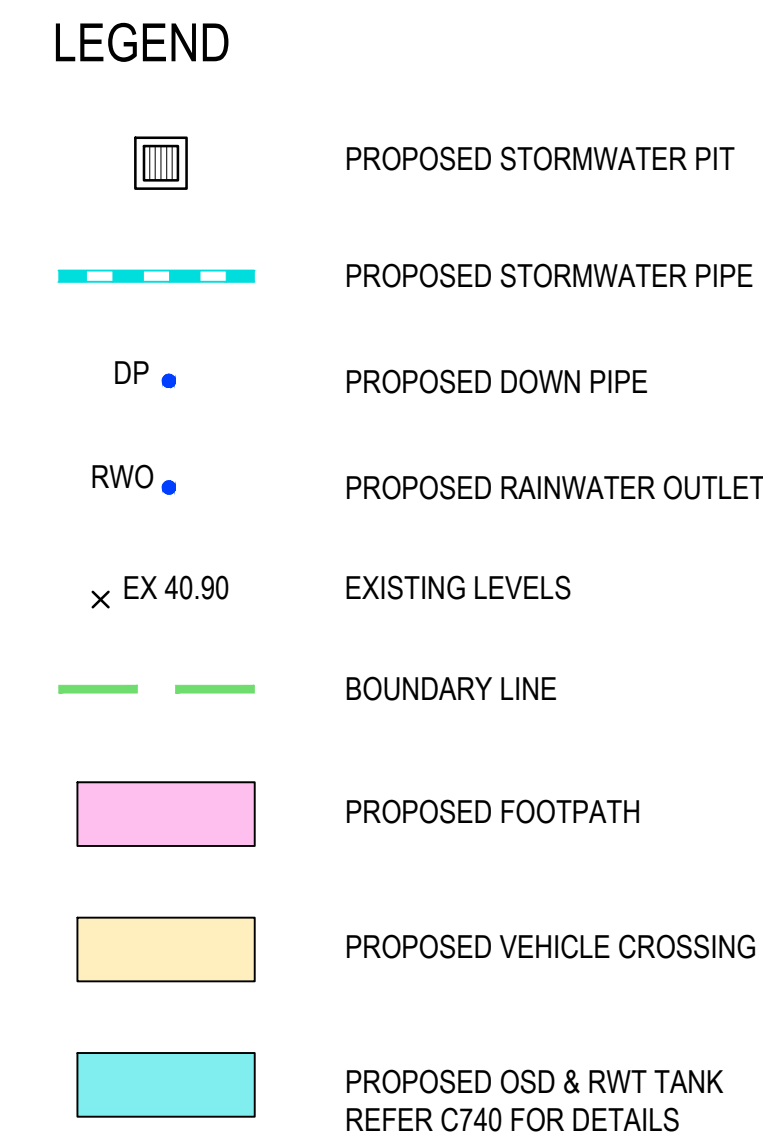




REV					DESCRIPTION			BY	APP	DATE
A01		FOR APPROVAL			JD	LM	09.05.19			
A02		FOR APPROVAL			JD	LM	16.05.19			
							</			

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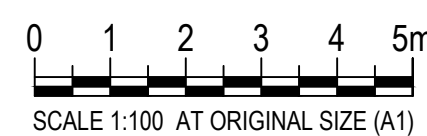


**WARNING**  
**PROPOSED SERVICES**

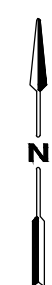
THE LOCATION AND EXTENT OF PROPOSED SERVICES IS  
INDICATIVE ONLY AND ARE NOT TO BE USED FOR  
CONSTRUCTION. REFER TO AUTHORISED DOCUMENTATION  
BY RELEVANT AUTHORITY FOR CONSTRUCTION DETAILS

**WARNING**  
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EXISTING SERVICES ARE SHOWN.

[illegible]

PROJECT NORTH



ARCHITECT

**DSTUDIO**  
Architects & Interiors



**Meinhardt Australia Pty Ltd**  
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CLIENT	DSTUDIO PTY LTD
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TITLE	GENERAL ARRANGEMENT PLAN GROUND FLOOR
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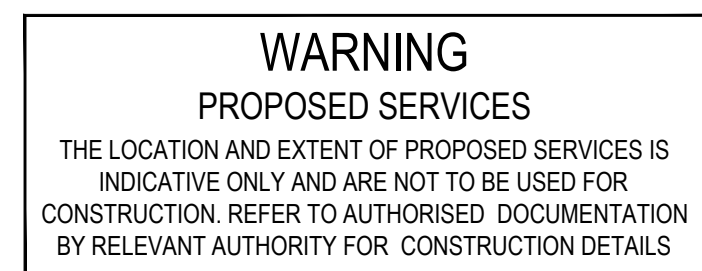
PROJECT  
BOARDING HOUSE  
12 DALLAS STREET, KEIRAVILLE, NSW 2500

STATUS	FOR INFORMATION ONLY NOT FOR CONSTRUCTION
--------	--

DESIGNED JD	DRAWN SY	APPROVED LM	DATE 10.04.19	SCALE @A1 1:100	SHEET OF
PROJECT No 120120		DRAWING No C101		REV A02	




RWO ● PROPOSED RAINWATER OUTLET



**WARNING**  
**BEWARE OF UNDERGROUND SERVICES**  
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EXISTING SERVICES ARE SHOWN.

[illegible]

PROJECT NORTH

A vertical line with an arrow pointing upwards, labeled 'N' in the center, indicating North.

**MEINHARDT**

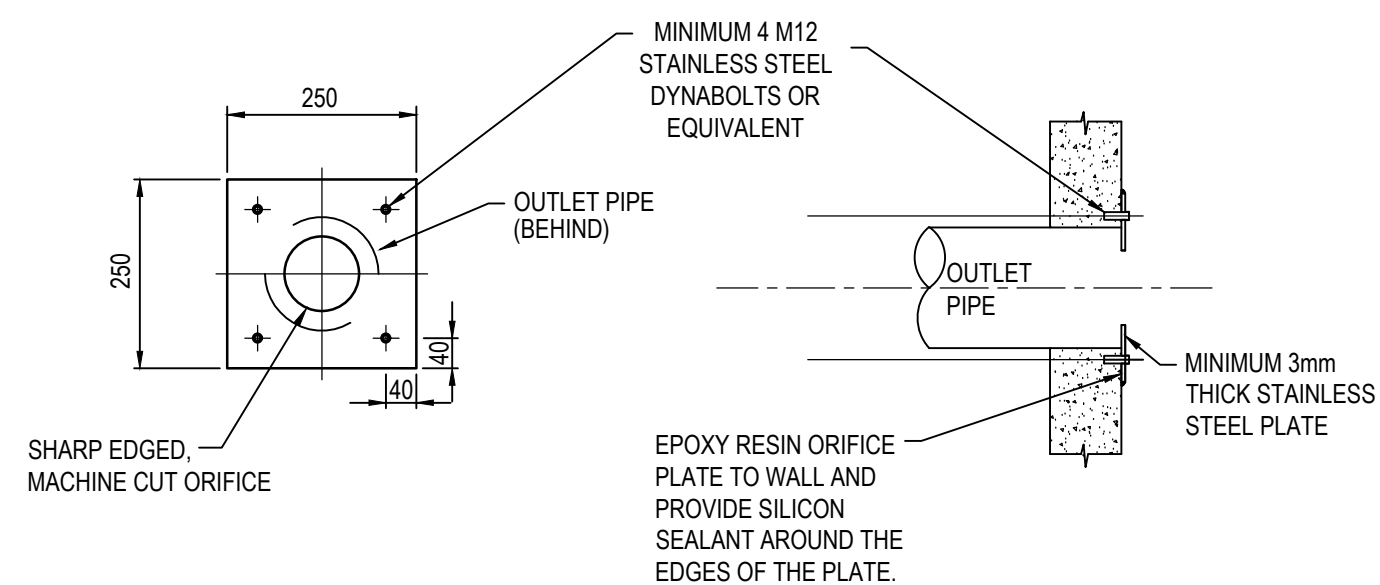
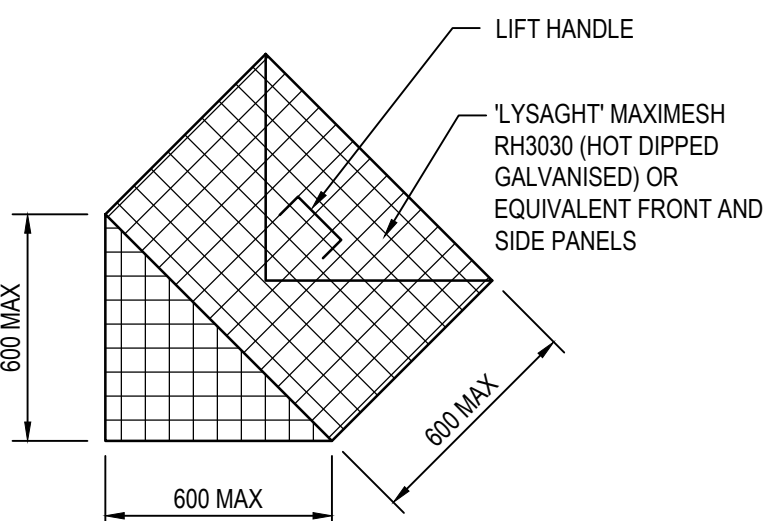
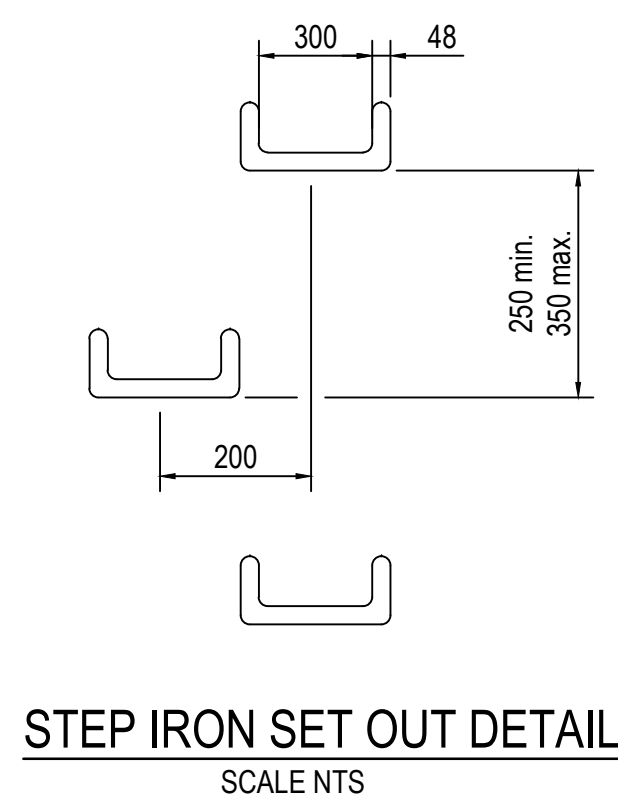
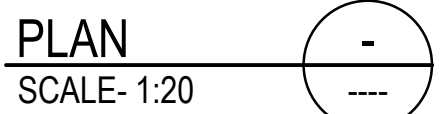
**Meinhardt Australia Pty Ltd**  
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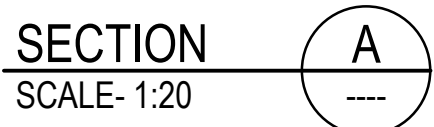
CLIENT	
DSTUDIO PTY LTD	
TITLE	
GENERAL ARRANGEMENT PLAN ROOF PLAN	

PROJECT <b>BOARDING HOUSE</b> 12 DALLAS STREET, KEIRAVILLE, NSW 2500							
STATUS <b>FOR APPROVAL</b> <b>NOT FOR CONSTRUCTION</b>							
DESIGNED	JD	DRAWN	SY	APPROVED	DATE	SCALE @A1	SHEET
					LM      10.04.19	1:100	OF
PROJECT No				DRAWING No		REV	
120120				C102		A02	





### TRASH SCREEN DETAIL



**WARNING**  
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EXISTING SERVICES ARE SHOWN.

[illegible]



# 12 Dallas St, Keiraville

## LANDSCAPE DEVELOPMENT APPLICATION

DWG	DRAWING TITLE	SCALE
LA00	COVER SHEET AND CONTEXT PLAN	N/A
LA01	LANDSCAPE PLAN LOWER GROUND	1:100@A1
LA02	LANDSCAPE PLAN GROUND FLOOR	1:100@A1
LA03	PLANTING PLAN LOWER GROUND	1:100@A1
LA04	PLANTING PLAN GROUND FLOOR	1:100@A1
LA05	TREE REMOVAL AND RETENTION PLAN	N/A
LA06	LANDSCAPE DETAILS	VARIES@A1



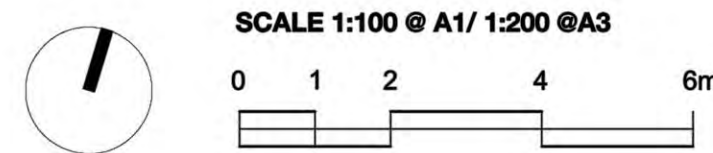




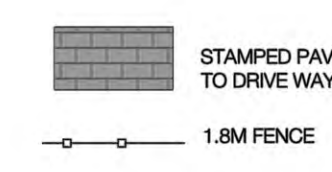
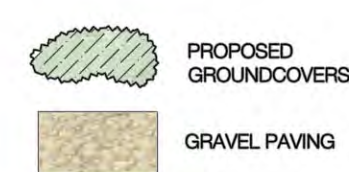
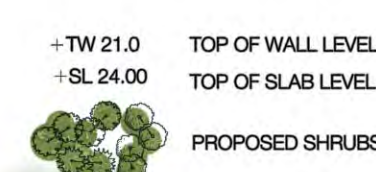
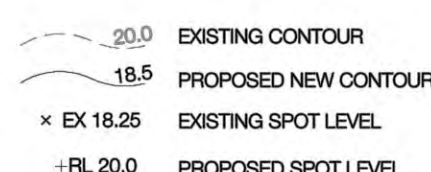
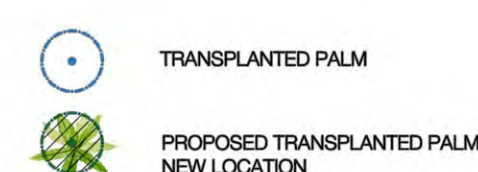
## DESIGN NOTES:

- 01 FRONT GARDEN WITH PALM TREES, SHRUBS AND LOW GROUNDCOVERS UNDER
- 02 SHRUBS AND GROUNDCOVER TO SOFTEN THE EDGE OF THE BUILDING
- 03 PROPOSED TRANSPLANTED PALM NEW LOCATION

# LOWER GROUND LANDSCAPE PLAN



### LEGEND



project: 12 Dallas St, Keiraville  
client: ALEX KE  
date: 16.05.2019  
revision: D  
drawn: DA  
checked: AL

**TaylorBrammer**  
TAYLOR BRAMMER LANDSCAPE ARCHITECTS PTY LTD  
SYDNEY STUDIO  
218 Oxford Street Woolahra, NSW, 2025 E sydney@taylorbrammer.com.au T 61 2 8387 8855





## DESIGN NOTES:

- 01 FEATURE TREE ON NATURAL GROUND
- 02 RAISED PLANTER
- 03 TIMBER DECK
- 04 2m HEDGE TO BOUNDARY
- 05 BBQ AND OUTDOOR SEATING
- 06 PERGOLA WITH CLIMBER OVER
- 07 1.8 m FENCE TO THE WESTERN BOUNDARY
- 08 BUSH WALK

# GROUND FLOOR LANDSCAPE PLAN

SCALE 1:100 @ A1/ 1:200 @ A3  
0 1 2 4 6m

### LEGEND

- SITE BOUNDARY
- PROPOSED TREE
- TRANSPLANTED PALM
- PROPOSED TRANSPLANTED PALM NEW LOCATION
- EXISTING CONTOUR
- PROPOSED NEW CONTOUR
- EXISTING SPOT LEVEL
- PROPOSED SPOT LEVEL
- TOP OF WALL LEVEL
- TOP OF SLAB LEVEL
- PROPOSED SHRUBS
- PROPOSED GROUNDCOVERS
- GRAVEL PAVING
- STAMPED PAVING TO DRIVE WAY
- 1.8M FENCE

project: 12 Dallas St, Keiraville  
client: ALEX KE  
date: 16.05.2019  
revision: D  
drawn: DA  
checked: AL

**TaylorBrammer**  
TAYLOR BRAMMER LANDSCAPE ARCHITECTS PTY LTD  
SYDNEY STUDIO  
218 Oxford Street Woolahra, NSW, 2025 E sydney@taylorbrammer.com.au T 61 2 9387 8855





# LOWER GROUND PLANTING PLAN





PLANT SCHEDULE - GROUND FLOOR

ID	BOTANICAL NAME	COMMON NAME	MATURE HEIGHT (m)	POT SIZE	QTY
<strong>TREES</strong>					
Bu-ce	<i>Buckinghamia Celsissima</i>	Ivory Curl Tree	10m	100L	5
La-in	<i>Lagerstroemia indica</i> x <i>L. fauriei</i> 'Natchez'	Crepe Myrtle	5m	75L	5
<strong>SHRUBS</strong>					
Le-la	<i>Leptospermum laevigatum</i> 'Shore Tuff'	Coastal Tea Tree	500mm	45L	17
Ve-pl	<i>Verticordia plumosa</i>	Plumed Feather Flower	600mm	45L	16
Zi-pr	<i>Zieria prostrata</i>	Headland Zieria	500mm	45L	12
Ph-xa	<i>Philodendron xanadu</i>	Xanadu	1m	200mm	4
Sy-au	<i>Syzygium australe</i> 'Resilience'	Lillypilly Resilience	3m	45L	50
Sy-ca	<i>Syzygium 'Cascade'</i>	Pink Flowering Lilly Pilly	2.5m	45L	50
We-fr	<i>Westringia fruticosa</i> 'Blue Gem'	Coastal Rosemary	1.2m	300mm	12
<strong>FERNS</strong>					
Cy-co	<i>Cyathea cooperi</i>	Australian Tree Fern	6m	75L	6
As-ni	<i>Asplenium nidus</i>	Bird's Nest Fern	1m	300mm	4
<strong>GROUNDCOVERS</strong>					
Cr-mu	<i>Crassula multicava</i>	Fairy Crassula	300mm	150mm	130
Er-gl	<i>Eremophilla glabra</i> 'Kalbarri Carpet'	Kalbarri Carpet	200mm	150mm	160
Sc-pl	<i>Scaevola 'Pink Form'</i>	Fiary Fan Flower	200mm	150mm	150
My-pu	<i>Myoporum 'purpurea'</i>	Boobialla	200mm	150mm	100
My-pa	<i>Myoporum parrifolium</i>	Flat-leaf Form	200mm	150mm	50
An-cu	<i>Anigozanthos</i> cultivars	Kangaroo Paw	600mm	150mm	150





EXISTING VEGETATION SCHEDULE				
ID	BOTANICAL NAME	SPREAD	HEIGHT (m)	TPZ(m)
1	Howea forsteriana	3m	6m	2.0m
2	Archonotophoenix alexandrae	3m	5m	2.0m
3	Archonotophoenix alexandrae	3m	5m	2.0m
4	Leptospermum petersonii	6m	8m	3.0m
5	Leptospermum petersonii	4m	5m	2.4m
6	Leptospermum petersonii	3m	3m	2.0m
7	Leptospermum petersonii	4m	5m	2.4m
8	Melaleuca linariifolia	6m	9m	3.6m
9	Ceratopetalum gummiferum	3m	5m	2.0m
10	Agonis flexuosa	5m	7m	3.6m
11	Syagrus romanzoffiana	3m	8m	2.4m
12	Syagrus romanzoffiana	3m	8m	2.4m
13	Syagrus romanzoffiana	3m	8m	2.4m
14	Washingtonia robusta	3m	10m	4.8m
15	Archonotophoenix alexandrae	3m	7m	2.0m
16	Archonotophoenix alexandrae	3m	7m	2.0m
17	Archonotophoenix alexandrae	3m	7m	2.0m
18	Archonotophoenix alexandrae	3m	7m	2.0m
19	Archonotophoenix alexandrae	3m	4m	2.0m
20	Syagrus romanzoffiana	3m	8m	2.4m
21	Syagrus romanzoffiana	3m	8m	2.4m
22	Syagrus romanzoffiana	1m	6m	2.0m
23	Toona ciliata	6m	12m	3.6m
24	Washingtonia robusta	2m	3m	3.6m
25	Phoenix canariensis	3m	3m	3.0m
26	Hymenosporum flavum	3m	9m	2.0m
27	Melaleuca quinquenervia	9m	14m	6.0m
28	Diospyros australis	5m	10m	3.6m
29	Diospyros australis	5m	10m	3.6m
30	Corymbia maculata	6m	12m	3.0m
31	Corymbia maculata	16m	22m	8.4m
32	Archonotophoenix alexandrae	3m	7m	2.0m
33	Brachychiton acerifolius	5m	9m	3.0m
34	Grevillea robusta	6m	12m	3.0m
35	Brachychiton acerifolius	5m	9m	3.0m
36	Eucalyptus microcorys	12m	22m	5.4m
37	Eucalyptus microcorys	12m	22m	5.4m
38	Eucalyptus globulus	16m	22m	8.4m
39	Eucalyptus sp.	5m	12m	3.6m
40	Toona ciliata	9m	14m	5.4m
41	Eucalyptus microcorys	16m	24m	6.0m
42	Casuarina cunninghamiana	3m	10m	3.0m
43	Casuarina cunninghamiana	14m	24m	7.2m
44	Brachychiton acerifolius	12m	20m	7.2m
45	Musa sp.	3m	4m	2.0m
46	Washingtonia robusta	3m	5m	2.0m
47	Banksia integrifolia	3m	5m	2.0m
48	Melaleuca quinquenervia	3m	4m	2.0m
49	Brachychiton acerifolius	3m	5m	2.0m
50	Melaleuca quinquenervia	3m	5m	2.0m
51	Eucalyptus sp.	7m	9m	3.0m
52	Backhousia citriodora	3m	5m	2.0m
53	Eucalyptus sp.	1m	6m	2.0m

NOTE:  
1 Tree heights as per arborist report prepared by  
Andrew Scales, Naturally Trees, 6th, April 2019

# EXISTING TREE RETENTION PLAN

SCALE 1:100 @ A1/ 1:200 @ A3

LEGEND

SITE BOUNDARY

TRANSPLANTED PALM

EXISTING TREE TO BE RETAINED

EXISTING TREES TO BE REMOVED

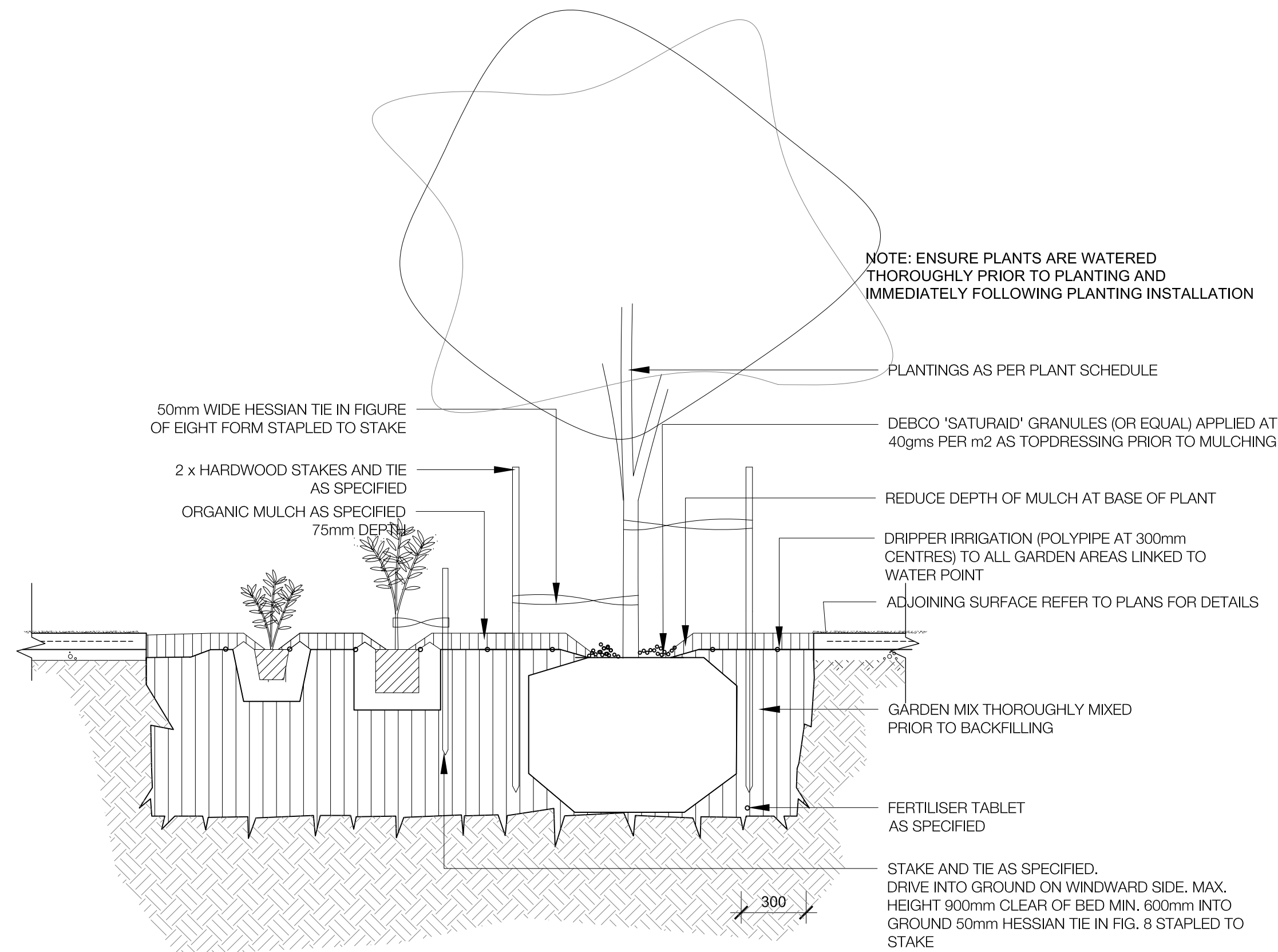
PROPOSED TRANSPLANTED PALM NEW LOCATION

EXISTING CONTOUR

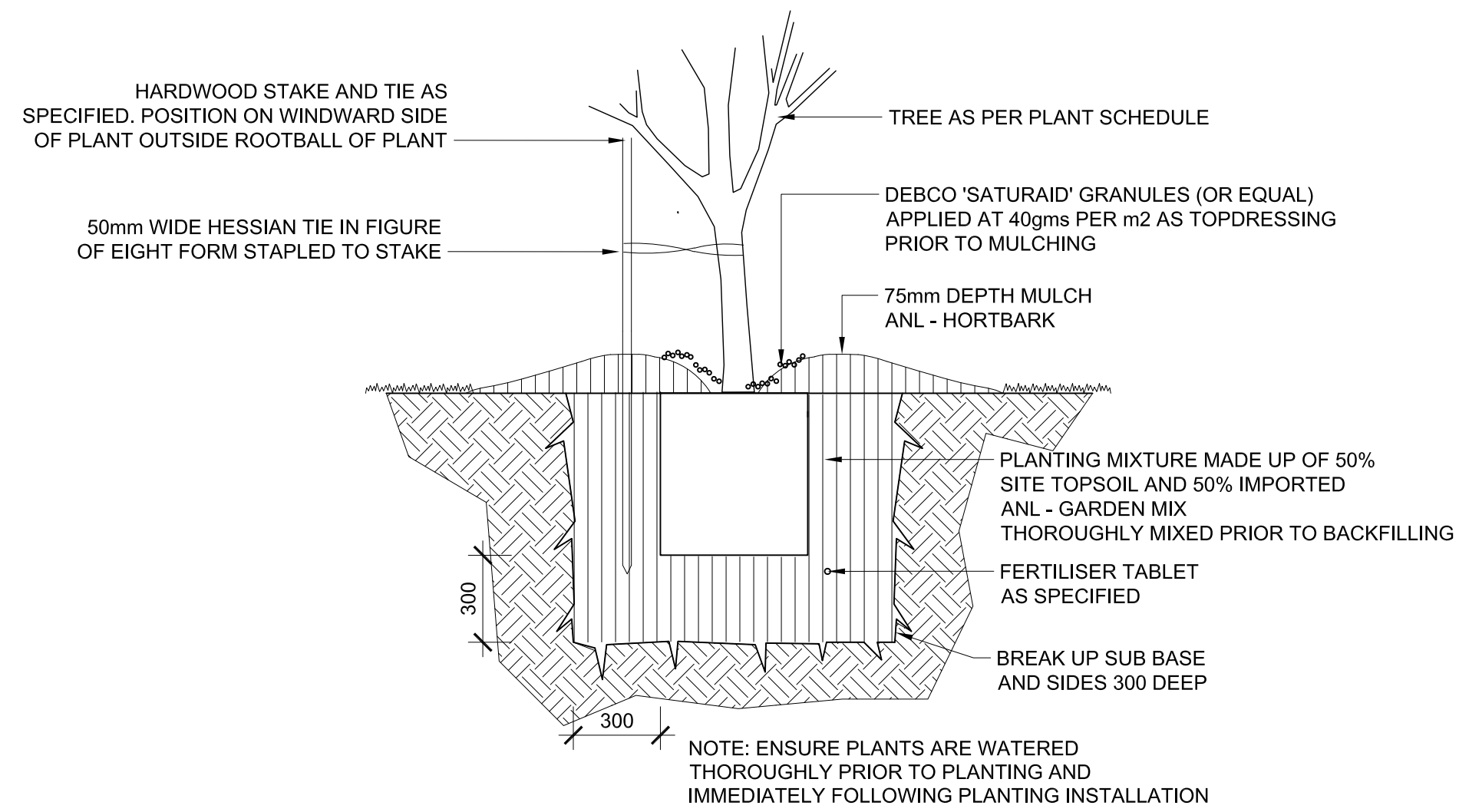
PROPOSED NEW CONTOUR

project: 12 Dallas St, Keiraville  
client: ALEX KE  
date: 16.05.2019  
revision: D  
drawn: DA  
checked: AL

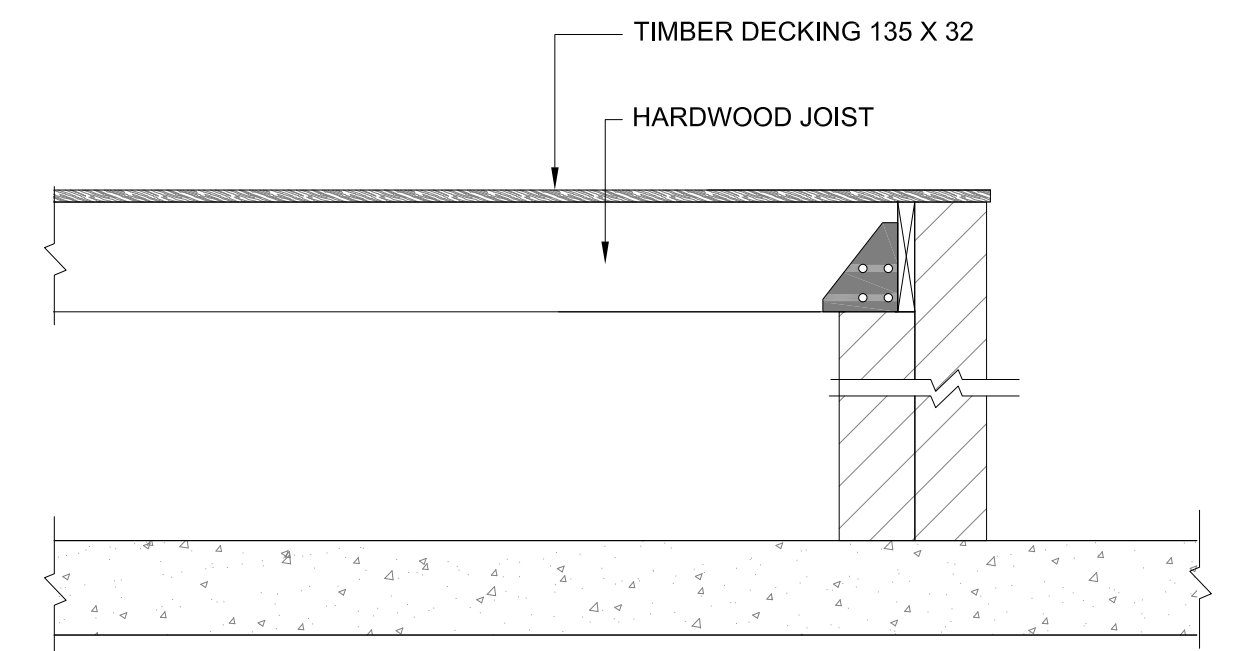




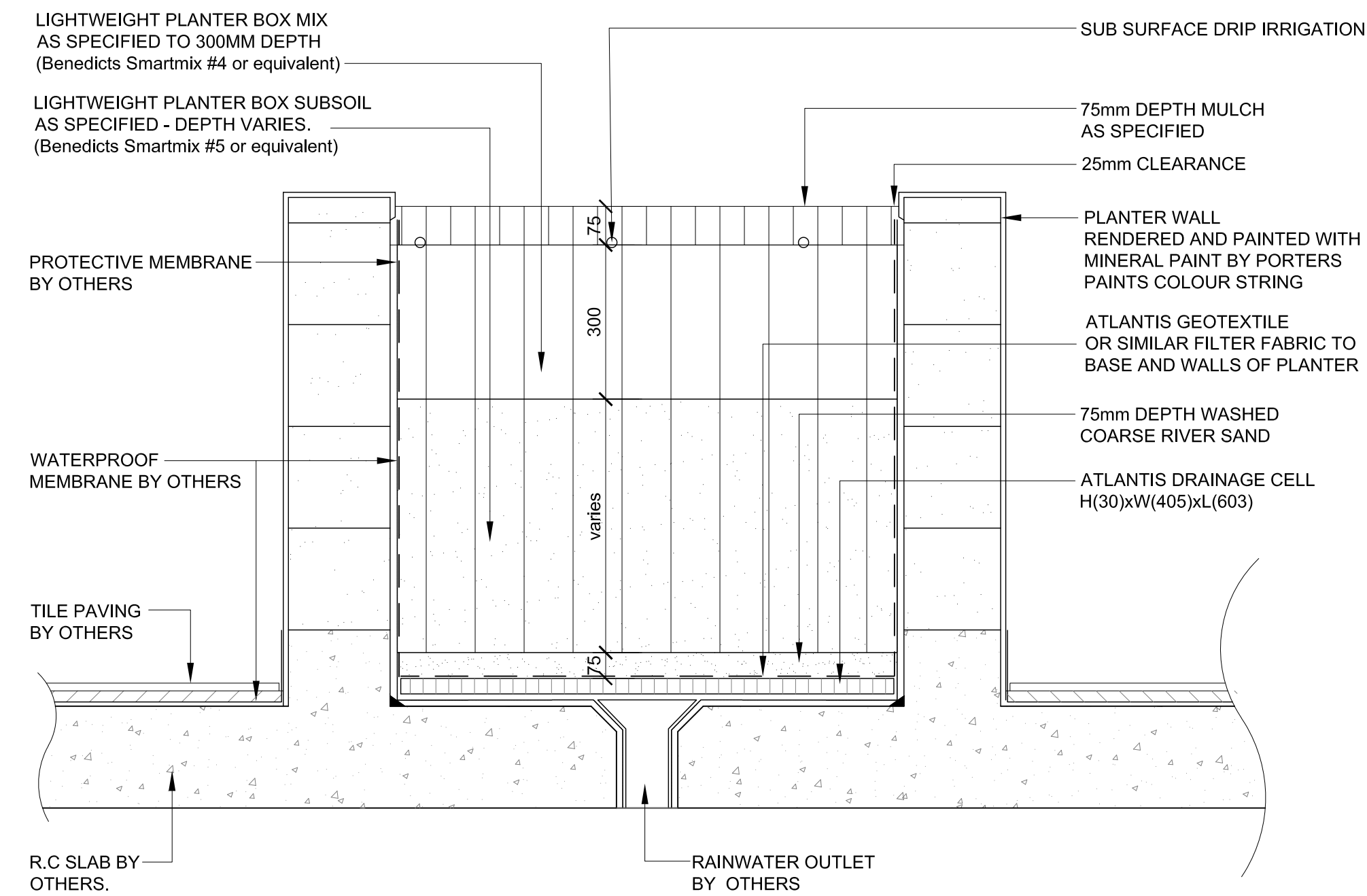
1 PLANTING ON GRADE  
TYPICAL SECTION 1:20



2 TREE PLANTING (75L)  
TYPICAL SECTION 1:20



3 HARDWOOD TIMBER DECK  
TYPICAL SECTION 1:20



4 PLANTING ON SLAB  
TYPICAL SECTION 1:10

# LANDSCAPE DETAILS

project: 12 Dallas St, Keiraville  
client: ALEX KE  
date: 16.05.2019  
revision: D  
drawn: DA  
checked: AL

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## **Attachment 2: Justification for Setbacks and Location of Private Open Space from Statement of Environmental Effects**

### **4.3.1.(b) Setbacks**

Council's DCP notes that where a boarding house is proposed this is to adopt the setback provisions contained within Chapter B1 Residential Development or B3 Mixed Use Development dependant on the type of built form which is portrayed by the boarding house development.

In this context the proposed boarding house development has been designed to reflect the character of a dwelling house. This has purposefully been achieved as the proposal responds to the general character of the immediate locality which is reflective of residential dwellings. This is also reinforced by the R2 Low Density Residential land zoning of the subject site and neighbouring allotments.

Adopting the setbacks of dwelling houses in this context will reinforce the general rhythm and separation between built forms exhibited along the street. As is demonstrated in the aerial image below which also displays property boundaries, the existing rhythm with respect to separation between built form is highlighted. Therefore, with the proposal adopting the setback provisions prescribed for dwelling houses, the proposal conforms with the general character and siting of built form along the street. A consistent streetscape presentation, rhythm and character with respect to separation is therefore promoted. Refer to Figure 6.



Source: <https://maps.six.nsw.gov.au/>  
Figure 6 Aerial with Lot Boundaries

In this context, it is considered appropriate that the setback provisions prescribed for dwelling houses contained in Chapter B1 of Council's DCP be adopted.

In terms of the front boundary setback, a minimum of 6m is required. The front façade of the proposed development is contained within a compliant 6m setback, with a minor breach of 600mm occurring to part of the roof form which is located over the residential entry. This breach is contained to merely part of the roof which sits above the pedestrian entrance point to the development and is considered very minor. Such a minor and contained variation would not result in any negative impression of bulk or scale to the street and as such the minor breach would not be read in the holistic context of the proposal.



With respect to side boundary setbacks, the proposed built form has been contained within a minimum 3m side and rear setback and therefore achieves compliance with Council's minimum requirement.

#### **4.3.1.(c) Private open space**

It is noted in Council's DCP that where a dwelling is proposed private open spaces should be located within the rear setback. However, the DCP notes that variations may be considered where private open spaces have been setback to ensure that the private open space would not be impacted upon by existing or future complying dwellings on adjoining lots.

Providing private open space within the rear setback is more common where sites have a greater depth than length. Given the unique character of the site being longer than deep, this outcome is considered more difficult to achieve.

The location of open space for residents is situated in a manner that is offset from neighbouring dwellings and takes advantage of the site's length, providing a generous setback from the western neighbour. Hence, negating any obtrusive visual or acoustic amenity concerns.

No significant trees would be impacted through the proposed location. Enhanced planting is proposed which acts as a buffer from the proposed space and neighbouring sites.

Furthermore, this area of open space is situated in an adjoining location to the proposed communal room which allows for direct indoor/outdoor transitions for the benefit of future residents.

Whilst, not strictly within the site's rear setback, the location of the private open space area has been positioned so that it maximises the amenity for residents, deters any negative amenity impacts to neighbours and is behind the front building line, therefore reducing its visibility from the street.

If the western neighbour were to ever redevelop, the proposed relationship would not differ, being a relationship that is with a side boundary. This is because the site at No. 14 Dallas Street has a greater depth than it does length, therefore private open spaces of the neighbour would be located within the rear setback away from the area being proposed.



aATTACHMENT 3 - SITE INSPECTION PHOTOS

**Date: 2 July 2019**

**Description:** Existing dwelling on the subject site.



**Date: 2 July 2019**

**Description:** Subject site as viewed from Dallas Street.





**Date:** 2 July 2019

**Description:** Trees forward of the existing dwelling.



**Date:** 2 July 2019

**Description:** Adjoining dwelling to the East of the subject site as viewed from Dallas Street.





**Date: 2 July 2019**

**Description:** Photo of separation distance between existing dwelling and adjoining dwelling to the East.



**Date: 2 July 2019**

**Description:** View along eastern elevation of the existing dwelling.





**Date: 2 July 2019**

**Description:** View toward adjoining dwelling to the East from forward of the existing dwelling.



**Date: 2 July 2019**

**Description:** View to the East of the subject site from rear of existing dwelling.





**Date: 2 July 2019**

**Description:** View to the North east of the subject site from the rear of the existing dwelling.



**Date: 2 July 2019**

**Description:** Adjoining dwelling to the West of the subject site.





**Date: 2 July 2019**

**Description:** Vegetation (mature trees) on the subject site to the West of the existing dwelling. Photo taken from Western boundary of the subject site facing North east.



**Date: 2 July 2019**

**Description:** Vegetation (mature trees) on the subject site to the West of the existing dwelling.





**Date:** 2 July 2019

**Description:** View along rear boundary of the subject site. Photo taken facing West.



**Date:** 2 July 2019

**Description:** View to the West of the subject site from rear of existing dwelling.





**Date:** 2 July 2019

**Description:** View to the North west of the subject site from the rear of the existing dwelling.



**Date:** 2 July 2019

**Description:** Vegetation on the subject site to the West of the dwelling.





**Date:** 2 July 2019

**Description:** Vegetation on the subject site to the West of the dwelling.





## **Attachment 4: WDCP 2009 compliance table**

### **CHAPTER A1 – INTRODUCTION**

#### **8 Variations to development controls in the DCP**

The development has been assessed against the relevant chapters of WDCP2009 and found to be unsatisfactory with regards to the number of storeys, side and rear boundary setbacks, retaining wall height, vehicular access, crime prevention through environmental design building design principles, stormwater management and tree preservation and management. The proposal seeks a variation to WDCP 2009 as relates to the rear boundary setback and location of private open space for boarding house development control plans. The request statements are not considered to have been prepared in accordance with the requirements of part 8 of Chapter A1. It is noted that no variation request has been submitted for the variations to the number of storeys, side boundary setback, vehicular access, stormwater management and tree preservation and management development controls with the application submission.

### **CHAPTER A2: ECOLOGICALLY SUSTAINABLE DEVELOPMENT**

Development controls to improve the sustainability of development throughout Wollongong are integrated into the relevant chapters of this DCP.

Generally speaking, the proposal could be considered to be consistent with the principles of Ecologically Sustainable Development.

### **CHAPTER B1 – RESIDENTIAL DEVELOPMENT**

Chapter B1 contains residential development controls for dwelling-house, secondary dwelling, semi-detached dwelling, dual occupancy, attached dwelling, multi-dwelling housing (villas and townhouses), residential flat building developments in standard residential zones and applies to all residential zoned lands including E4 Environmental Living. The proposal is for demolition of existing structures, tree removal and construction of a boarding house therefore Chapter B1 is not strictly applicable to the subject site. However as the subject site is zoned R2 Low Density Residential that is a standard residential zone covered by Chapter B1, a review of the proposal has been undertaken against the provisions of Chapter B1 of WDCP 2009.

<i>Controls/objectives</i>	<i>Comment</i>	<i>Compliance</i>
<b><u>4.1 Maximum Number of Storeys</u></b>		
<ul style="list-style-type: none"><li>• R2 zone maximum height of 9m – a maximum of 2 storeys.</li></ul>	Maximum Height: 8.48m	Yes
<ul style="list-style-type: none"><li>• R2 where development occurs within the 8m rear setback the development is limited to single storey.</li></ul>	Number of Storeys: Three (3). Though the proposed boarding house generally maintains 2 storeys there is an area on the Eastern elevation where the basement protrudes more than 1m out of ground and therefore is considered a storey.	No
<ul style="list-style-type: none"><li>• Built form that has a positive impact on the visual amenity of the area and addresses site constraints and overlooking of neighbouring properties</li></ul>	Rear Setback: 3m.  WDCP 2009 Chapter C3 Clause 3.2 indicates that where a boarding house has the built form of a dwelling house, multi-unit dwelling or residential apartment building the relevant setback requirements of Chapter B1 Residential Development shall apply. The applicant has indicated in the Statement of	No



	<p>Environmental Effects that the proposed boarding house has the built form of a dwelling house. Therefore the proposal does not comply with this control. However Council considers that the proposed boarding house with a 3 storey appearance to the street appears to take the built form of a residential apartment building. The proposal does not comply with the 6m minimum rear setback for a residential apartment building.</p> <p>Built Form:</p> <p>The Department of Planning has indicated that the changes to the SEPP (Affordable Rental Housing) 2009 limiting the number of boarding rooms in a R2 zone to 12 was so that boarding house development better reflected the built form of the surrounding area. The changes are to help manage impacts such as overlooking, overshadowing and car parking on neighbouring properties. It is considered that the variation to the number of boarding room's development standard in the SEPP (Affordable Rental Housing) 2009 is likely to result in adverse impacts on the amenity of the area.</p>	
<p><u>4.2 Front Setbacks</u></p> <p>WDCP 2009 Chapter C3 Clause 3.2 indicates that where a boarding house has the built form of a dwelling house, multi-unit dwelling or residential apartment building the relevant setback requirements of Chapter B1 Residential Development shall apply.</p> <p>Council considers that the proposed boarding house with a 3 storey appearance to the street appears to take the built form of a residential apartment building.</p> <p>a) The same distance as one or other of the adjoining buildings, provided the difference between the setbacks of the two adjoining dwellings is less than 2.0m.</p> <p>b) The average of the setbacks of the two adjoining buildings, if the difference between the setbacks of the buildings is greater than 2.0m.</p> <p>c) A minimum front setback of 6m</p>	<p>The building line within the street scape appears varied. The closest point of the front façade to the front boundary is 6m. It is noted that the majority of the façade is setback greater than 6m from the front boundary. The proposed front setback would not set a precedent in the street and is acceptable in this circumstance.</p>	<p>Yes</p>



applies to residential apartment buildings where calculations of a) or b) result in a front setback of less than 6m.

#### 4.3 Side and Rear Setbacks

WDCP 2009 Chapter C3 Clause 3.2 indicates that where a boarding house has the built form of a dwelling house, multi-unit dwelling or residential apartment building the relevant setback requirements of Chapter B1 Residential Development shall apply.

Council considers that the proposed boarding house with a 3 storey appearance to the street appears to take the built form of a residential apartment building.

- Habitable Room/Balcony: 6m min
- Non-Habitable room/blank wall 3.5m

#### 4.4 Site Coverage

The maximum site coverage for a dwelling, dual occupancy, and combined maximum coverage for a principle dwelling and secondary dwelling, is as follows:

- 55% of the area of the lot, if the lot has an area less than 450m<sup>2</sup>.
- 50% of the area of the lot, if the lot has an area of at least 450m<sup>2</sup> but less than 900m<sup>2</sup>.
- 40% of the area of the lot, if the lot has an area of at least 900m<sup>2</sup>.

#### 4.5 Landscaped Area

- Minimum Required 26.82% permeable area capable of growing trees, shrubs, groundcover and/or lawn.
- 50% behind the building line to the primary road
- Integrated with drainage design

#### 4.6 Private Open Space

- 24m<sup>2</sup> of private open space must be directly accessible from the living areas; min width of 4m and no steeper than 1:50.
- Not to be located on side boundaries or front yards without

#### Side Setbacks:

Proposed to Wall: 3m (East)  
20.8m (West)

#### Rear setbacks:

Proposed to Wall: 3m

The applicant has indicated in the Statement of Environmental Effects that the proposed boarding house has the built form of a dwelling house. If dwelling house controls were to be applied the proposal would not comply with the 8m rear setback to the first floor control.

Proposed site coverage:  
31.89% (363m<sup>2</sup>/1138.2m<sup>2</sup>).

Proposed: Approximately 55.5%.

Submitted plans indicate that the boarding house will have the following areas of private open space:

- Common area with a minimum area of 34m<sup>2</sup>;
- Managers private open space with a

No  
Yes

No

Yes

Yes

Yes



variation.	<p>minimum area of 15m<sup>2</sup>;</p> <ul style="list-style-type: none"> <li>G05 private open space with a minimum area of 7.5m<sup>2</sup>; and</li> <li>G06 private open space with a minimum area of 9.7m<sup>2</sup></li> </ul> <p>The proposed development satisfies the objectives and standards of Council's private open space controls.</p>	
<p><u>4.7 Solar Access Requirements</u></p> <ul style="list-style-type: none"> <li>Windows to living rooms of adjoining dwellings must receive at least 3hrs continuous sunlight between 9.00am - 3.00pm on 21 June.</li> <li>At least 50% of the private open areas of adjoining residential properties must receive at least 3hrs continuous sunlight between 9.00am - 3.00pm on June 21.</li> </ul>	<p>It is considered that the proposed development will have minimal impact on adjoining dwellings in terms of Solar Access.</p> <p>It is considered that the proposed development can receive a reasonable amount of sunlight to private open space areas.</p>	Yes
<p><u>4.8 Building Character and Form</u></p> <ul style="list-style-type: none"> <li>Design, height and siting of a new dwelling-house or secondary dwelling must respond to its site context</li> <li>New dwelling-houses within established residential areas should be sympathetic with the existing character of the immediate locality.</li> <li>All residential buildings must be designed with building frontages and entries clearly addressing the street frontage.</li> <li>Where garages are proposed on the front elevation they must be articulated from the front façade.</li> <li>Where the garage door addresses the street they must be a maximum of 50% of the width of the dwelling.</li> </ul>	<p>The Department of Planning has indicated that the changes to the SEPP (Affordable Rental Housing) 2009 limiting the number of boarding rooms in a R2 zone to 12 was so that boarding house development better reflected the built form of the surrounding area.</p> <p>The proposed development does not take into account the built form features of the locality and therefore is not considered to satisfy Clauses 4.8.2(1).</p> <p>It is noted that building frontages clearly address the street, the garage is articulated from the front façade and garage door is less than 50% of the width of the building.</p>	No
<p><u>4.9 Fences</u></p> <ul style="list-style-type: none"> <li>Fences must be constructed to allow natural flow of stormwater or runoff.</li> <li>Fences within front and secondary building lines should be mainly constructed of transparent fence materials.</li> <li>Any fence or related retaining wall</li> </ul>	<p>Conditions could be recommended with regard to fencing.</p>	Yes



within the front setback from the primary road frontage must be a max 1.2m in height

#### 4.10 Car parking and Access

- 2 spaces per dwelling with a GFA of greater than 125m<sup>2</sup>
- Car parking spaces may be open hard stand space, driveway, carport or a garage.
- Garage door facing roads—not greater than 50% of the width of the dwelling.
- Garages must be setback min of 5.5m from front boundary.
- Driveways shall be separated from side boundaries by a minimum of 1m.
- Driveways shall have a max cross-over width of 3m.

Proposal allows for basement parking consisting of five (5) car parking spaces, three (3) motorcycle spaces and twenty (20) bicycle spaces.

It is noted that the proposed parking would comply with Council's parking requirements for boarding houses as provided in WDCP2009 Chapter E3. However the Department of Planning has indicated that the changes to the SEPP (Affordable Rental Housing) 2009 were to help manage impacts such as car parking on neighbouring properties. It is considered that the variation to the number of boarding room's development standard in the SEPP (Affordable Rental Housing) 2009 is likely to result in adverse impacts to on-street parking given the developments proximity to the University.

Council's Traffic Officer has considered the proposed development with regards vehicular parking, access and manoeuvring. Advice received indicated that the proposed access did not satisfy Council's Development Control Plan.

The driveway is separated from the boundary by a more than 1m.

The proposed basement garage is setback greater than 5.5m from the front boundary.

No

Yes

Yes

#### 4.11 Storage Facilities

- 3 bedroom- 10m<sup>3</sup> storage volume to 5m<sup>2</sup> storage area

The proposed development will provide adequate storage facilities.

Yes

#### 4.12 Site Facilities

- letterboxes in an accessible location
- air-con, satellite dishes and other ancillary structures to be located away from street frontage, not in a place where they are a skyline feature and adequately setback

The necessary site facilities have been provided and are acceptable in this circumstance.

Yes



<p><u>4.13 Fire Brigade Servicing</u></p> <ul style="list-style-type: none"> <li>All dwellings located within 60m of a fire hydrant</li> </ul>	<p>The subject site can be adequately serviced by fire fighting vehicles in this circumstance.</p>	<p>Yes</p>
<p><u>4.14 Services</u></p> <ul style="list-style-type: none"> <li>Encourage early consideration of servicing requirements</li> </ul>	<p>Water, electricity, sewage and telephone services are available to the site</p>	<p>Yes</p>
<p><u>4.15 Development near the coastline</u></p> <ul style="list-style-type: none"> <li>Must minimise built intrusions into coastal landscape</li> <li>Retain views to the ocean from roads and public spaces</li> <li>Maintain buildings consistent with coastal character</li> </ul>	<p>Not Applicable</p>	<p>Yes</p>
<p><u>4.16 View sharing</u></p> <ul style="list-style-type: none"> <li>To protect and enhance view sharing, significant view corridors</li> <li>A range of view sharing measures to be considered for building design</li> </ul>	<p>The proposed development will have minimal impact on view corridors of existing development.</p>	<p>Yes</p>
<p><u>4.17 Retaining walls</u></p> <ul style="list-style-type: none"> <li>To ensure well designed retaining walls that are structurally sound</li> </ul>	<p>Submitted plans indicate that the proposal incorporates retaining walls greater than 1m in height. Clause 4.17.3(5) indicates that any retaining wall with a vertical height exceeding 1 metre in any one vertical rise must be supported by appropriate justification demonstrating how the proposal meets the objectives. It is noted that no justification has been provided demonstrating that the retaining walls exceeding 1m in height satisfy the objectives of the clause.</p>	<p>No</p>

## CHAPTER C3: BOARDING HOUSES

<i>Controls/ objectives</i>	<i>Comment</i>	<i>Compliance</i>
<p><b>4 Development controls for boarding houses</b></p> <p><u>3.1 Location of Boarding Houses</u></p> <ul style="list-style-type: none"> <li>Boarding houses should be located so that they have access to public transport within 400m walking distance of a railway station or bus stop used by a regular bus service.</li> </ul>	<p>It is considered the subject site has access to bus stops with a regular bus service. It is however noted that the bus stops are located greater than 600m from the subject site.</p>	<p>No</p>



<i>Controls/ objectives</i>	<i>Comment</i>	<i>Compliance</i>
<ul style="list-style-type: none"> <li>• Access to employment or services.</li> <li>• Access to parks or open spaces</li> <li>• Access to education institutes such as Universities.</li> </ul> <p><u>3.2 Setbacks</u></p> <p>Where a proposed boarding house has the built form of a dwelling house the relevant setback requirements of Chapter B1 Residential Development shall apply.</p> <p>Council considers that the proposed boarding house with a 3 storey appearance to the street appears to take the built form of a residential apartment building.</p> <ul style="list-style-type: none"> <li>• Habitable Room/Balcony: 6m min</li> <li>• Non-Habitable room/blank wall 3.5m</li> </ul> <p><u>4 Minimum facilities for boarding houses</u></p> <p>4.1.1 Class 3 Boarding Houses</p> <p>Class 3 boarding houses are recommended to make provision for the following facilities within the development:</p> <p>(a) Bedrooms;</p> <p>(b) Laundry facilities;</p> <p>(c) Toilet facilities;</p> <p>(d) Communal kitchen area for food preparation (in addition to any private kitchenette);</p> <p>(e) Communal living room area;</p> <p>(f) Individual and communal storage facilities;</p> <p>(g) Garbage and recycling facilities; and</p> <p>(h) Manager/operator accommodation</p> <p><u>4.1.3 General Boarding House Controls</u></p> <p>Facilities for Class 3 Boarding House:</p> <ul style="list-style-type: none"> <li>• Rooms shall be a minimum of 12m<sup>2</sup> for 1 person and 16m<sup>2</sup> for 2 persons.</li> <li>• Maximum number of boarders is 2 per room.</li> <li>• Ensuite shall be 3m<sup>2</sup> minimum in addition to the 12m<sup>2</sup> or 16m<sup>2</sup></li> </ul>	<p>The subject site is within walking distance of the University, parks and open spaces.</p> <p>Proposed to Wall: 3m (East) 20.8m (West)</p> <p><u>Rear setbacks</u></p> <p>Proposed to Wall: 3m</p> <p>The applicant has indicated in the Statement of Environmental Effects that the proposed boarding house has the built form of a dwelling house. If dwelling house controls were to be applied the proposal would not comply with the 8m rear setback to the first floor control.</p> <p>The proposed boarding houses are considered to be a Class 3 boarding house development under the Building Code of Australia (BCA) as the boarding house has a habitable floor area of greater than 300m<sup>2</sup> and has a maximum capacity of 21 persons.</p> <p>The proposal makes provision for one (1) double bedroom, eighteen (18) single rooms, a bathroom in each room, a communal kitchen, a communal living room, a communal laundry, garbage and recycling facilities and a managers room with a kitchen, bathroom and laundry.</p> <p>The proposal includes one (1) double bedroom, eighteen (18) single rooms including two (2) accessible rooms and a managers room.</p> <p>All single rooms are greater than 12m<sup>2</sup> in area and the double room is greater than 16m<sup>2</sup> in area. Both accessible rooms are 18.7m<sup>2</sup> in area including the</p>	<p>No</p> <p>Yes</p> <p>No</p> <p>Yes</p> <p>Yes</p> <p>Yes</p>



<i>Controls/ objectives</i>	<i>Comment</i>	<i>Compliance</i>
<ul style="list-style-type: none"> <li>Shared bathrooms facilities must: <ul style="list-style-type: none"> <li>Comply with the BCA</li> </ul> </li> </ul>	<p>bathroom. The managers room is 18m<sup>2</sup> in area.</p> <p>A bathroom has been included in each room. All bathrooms have an area of greater than 3m<sup>2</sup>.</p>	
<ul style="list-style-type: none"> <li>Communal kitchens are to be <ul style="list-style-type: none"> <li>A minimum of 15m<sup>2</sup> plus 1m<sup>2</sup> per additional person above 12 persons. (minimum required for proposal 22m<sup>2</sup>).</li> <li>All bedrooms shall contain kitchenette facilities including a fridge, adequate cupboards and shelves and a microwave.</li> </ul> </li> </ul>	<p>A communal kitchen with an area of 37.6m<sup>2</sup> has been provided.</p> <p>It is unclear from the submitted plans whether kitchenette facilities have been provided.</p>	<p>Yes</p> <p>No</p>
<ul style="list-style-type: none"> <li>Laundry and clothes drying facilities are to be provided at one (1) washing machine and tub per ten (10) residents. One (1) clothes dryer or a minimum of 30 metres of clothes line per ten (10) residents.</li> </ul>	<p>The proposal includes a communal laundry with two (2) washing machines and two (2) tubs and drying facilities.</p>	<p>Yes</p>
<ul style="list-style-type: none"> <li>One (1) communal living room.</li> </ul>	<p>A communal living room has been provided.</p>	
<ul style="list-style-type: none"> <li>Private open space is to be located in the rear setback with a 20m<sup>2</sup> or 30m<sup>2</sup> where the boarding house is not within walking distance of public open space. An area of 8m<sup>2</sup> with a minimum dimension of 2.5m shall be provided for onsite managers for private open space. Private open space is to be located in the rear setback.</li> </ul>	<p>Submitted plans indicate that the boarding house will have the following areas of private open space:</p> <ul style="list-style-type: none"> <li>Common area with a minimum area of 34m<sup>2</sup>;</li> <li>Managers private open space with a minimum area of 15m<sup>2</sup>;</li> <li>G05 private open space with a minimum area of 7.5m<sup>2</sup>; and</li> <li>G06 private open space with a minimum area of 9.7m<sup>2</sup></li> </ul> <p>The private open space for the manager and rooms G05 and G06 are located in the rear setback.</p> <p>The communal open space is located behind the building line but within the rear setback and would be considered satisfactory as reasonable setbacks have been maintained to the site boundaries.</p>	<p>Yes</p> <p>Yes</p> <p>Yes</p> <p>Yes</p> <p>Yes</p> <p>No</p>
<ul style="list-style-type: none"> <li>Landscape plan should aim to soften the visual impact of the boarding house.</li> </ul>	<p>Details of the application submission were referred to Council's Landscape Officer for comment. Advice received indicates there are issues with the proposal. Council's Landscape Officer</p>	<p>No</p>



<i>Controls/ objectives</i>	<i>Comment</i>	<i>Compliance</i>
<ul style="list-style-type: none"> <li>Car parking shall be provided in accordance with Chapter E3.</li> <li>Boarding houses shall provide suitable disabled access arrangements.</li> </ul>	<p>has indicated concerns with removal of trees 23, 1, 14 and 46 and the amount of compensatory planting provided.</p> <p>Therefore Council's Landscape Officer is unable to support the application in its current form.</p> <p>Proposal allows for basement parking consisting of five (5) car parking spaces, three (3) motorcycle spaces and twenty (20) bicycle spaces.</p> <p>It is noted that the proposed parking would comply with Council's parking requirements for boarding houses as provided in WDCP2009 Chapter E3. However the Department of Planning has indicated that the changes to the SEPP (Affordable Rental Housing) 2009 were to help manage impacts such as car parking on neighbouring properties. It is considered that the variation to the number of boarding rooms development standard in the SEPP (Affordable Rental Housing) 2009 is likely to result in adverse impacts to on-street parking given the developments proximity to the University.</p> <p>Submitted plans indicate that the disabled access to the building can be gained from a ramp off Dallas Street to the main entrance or via a lift that accesses the basement car parking area.</p> <p>It is considered that disabled access to the proposed development is acceptable in this circumstance.</p> <p>Council's Building Officer has reviewed the application submission including the Access Consultant's Report and returned a conditionally satisfactory referral response.</p>	Yes/No
<u>5 Management plan</u>	<p>The application submission includes a Management Plan which sets out the various requirements and responsibilities of management and lodgers. The Management Plan is considered acceptable in this circumstance.</p>	Yes



<i>Controls/ objectives</i>	<i>Comment</i>	<i>Compliance</i>
<u>6 Fire Safety</u>	Council's BCA Officer has assessed the application submission with regards to Fire Safety and returned a conditionally satisfactory referral response.	Yes

#### **CHAPTER D1: KEIRAVILLE**

Chapter D1 indicates that Keiraville will remain a leafy suburb with a mix of housing types ranging from detached dwelling-houses, boarding-houses, villas, townhouses and some residential flat buildings. In this regard, additional medium density developments are likely to occur within reasonable walking distance to the University of Wollongong, especially in residential precincts directly to the east and south of the Wollongong Botanic Gardens.

The proposal is for demolition of the existing structures, tree removal and construction of a boarding house comprising of 19 boarding rooms, 1 on-site managers room and basement car parking. The subject site is zoned R2 Low Density Residential. Boarding Houses would normally be considered generally satisfactory with regard to the objectives of the R2 zone. However the development as proposed, when the exception to the number of boarding rooms development standard along with the number of WDCP2009 variations sought are taken into account, is considered medium to high density development and an overdevelopment of the site.

Therefore the development as proposed is not considered compatible with the desired future character statement for Keiraville in Chapter D1 in this circumstance.

#### **CHAPTER E1: ACCESS FOR PEOPLE WITH A DISABILITY**

It is considered that disabled access to the proposed development is acceptable in this circumstance. Council's Building Officer has reviewed the application submission including the Access Consultant's Report and returned a conditionally satisfactory referral response.

#### **CHAPTER E2: CRIME PREVENTION THROUGH ENVIRONMENTAL DESIGN**

<i>Control/objective</i>	<i>Comment</i>	<i>Compliance</i>
<u>3.1 Lighting</u>	It is considered that the proposed development will improve existing lighting conditions on the subject site.	Yes
<u>3.2 Natural surveillance and sightlines</u>	The proposed development will improve natural surveillance and sight lines of adjoining properties and the street.	Yes
<u>3.3 Signage</u>	No signage is proposed with this application and the proposed development will have minimal impact on the existing signage within the vicinity.	Yes
<u>3.4 Building design</u>	The proposal is for a boarding house	Yes



<i>Control/objective</i>	<i>Comment</i>	<i>Compliance</i>
	development. The boarding house has been designed to address the Street. Details of the application submission were reviewed by Council's Safer Communities (SCAT) Officer for comment. Advice received indicates there are issues with regards to the design of the waste storage (rubbish) room and bicycle compound which have the potential to be areas of entrapment.	No
<u>3.5 Landscaping</u>	The proposal is considered to satisfy the landscaping controls for CPTED in this circumstance as relates to minimising areas of concealment.	Yes
<u>3.6 Public open space and parks.</u>	The proposal is for a boarding house development only on a privately owned lot.	N/A
<u>3.7 Community facilities &amp; Public Amenities</u>	The proposal is for a boarding house development only on a privately owned lot.	N/A
<u>3.8 Bus stops and taxi ranks</u>	The subject site is not adjacent to any major bus stops or taxi ranks.	Yes

### **CHAPTER E3: CAR PARKING, ACCESS, SERVICING/LOADING FACILITIES AND TRAFFIC MANAGEMENT**

Details of the application submission were referred to Council's Traffic Officer for comment. Advice received indicated that the proposed access did not satisfy Council's Development Control Plan. Council's Traffic Officer has indicated that the proposed driveway width is insufficient for the proposed development as Clause 3.2.2 of AS2890.1 only allows driveways to be reduced to less than 5.5m in width for domestic development.

The proposal allows for basement parking consisting of five (5) car parking spaces, three (3) motorcycle spaces and twenty (20) bicycle spaces.

It is noted that the proposed parking would comply with Council's parking requirements for boarding houses as provided in WDCP2009 Chapter E3. However the Department of Planning has indicated that the changes to the SEPP (Affordable Rental Housing) 2009 were to help manage impacts such as car parking on neighbouring properties. It is considered that the variation to the number of boarding rooms development standard in the SEPP (Affordable Rental Housing) 2009 is likely to result in adverse impacts to on-street parking given the developments proximity to the University.

The proposed development does not comply with the requirements of Council's Car Parking, Access, Servicing/Loading Facilities and traffic Management development controls and policies.

### **CHAPTER E6: LANDSCAPING**

The application submission was referred to Council's Landscape Officer for comment. Advice received indicates there are issues with the proposal.



Council's Landscape Officer has indicated the following:

- Ramp shown non-compliant. Circulation space for landings is insufficient. Reference 6.5.1 of AS 1428.1-2009 and figures 4 & 5.
- The removal of Tree 23 is not supported. The ramp alignment is to be adjusted to retain tree.
- Insufficient compensatory planting for the proposed removal of 22 trees.
- *Howea forsteriana* Kentia palm in North west corner of site has not been identified and is to be retained.
- Removal of Trees 1, 14 and 46 is not supported. These trees have potential for transplanting.
- Amenity impacts on adjoining property through the removal of the trees/hedge along the
- Front stairs go up to RL. 38.00 and back down to RL 37.15 if the platform lift is out of order this would prohibit access.
- Inconsistency between plans as to the location of the proposed footpath.
- Site has potential for street tree planting in accordance with WCC Urban Greening Strategy.

Therefore Council's Landscape Officer is unable to support the application in its current form.

#### **CHAPTER E7: WASTE MANAGEMENT**

It is considered that the proposed development satisfies the objectives of WDCP2009 Chapter E7 Waste Management. Conditions could be imposed to ensure that Waste Management is carried out to Council's Waste Management specification during construction.

#### **CHAPTER E13 FLOODPLAIN MANAGEMENT**

The application has been reviewed by Council's Stormwater Officer in relation to floodplain management. Advice received indicates that the proposed development satisfies the objectives of WDCP2009 Chapter E13 Floodplain Management and is considered conditionally satisfactory. For Council's Stormwater Officers response please see section 1.6.1 Internal Consultation of the Assessment Report.

#### **CHAPTER E14 STORMWATER MANAGEMENT**

Council's Stormwater Officer has assessed the application in this regard against the submitted concept stormwater drainage plan and has considered it unsatisfactory. Advice received indicates that the stormwater concept plan is unclear on how it is proposed to cater for upslope runoff in accordance with Clause 11.3.17 and divert upslope runoff around the OSD tributary in accordance with Clause 12.1.3(2). It was further noted that the private open space for Units G-05 to G-07 appears to create an entrapped area where stormwater runoff has no overland flow path other than through the building in the event of a blockage or overload of the stormwater system which is not supported.

Therefore Council's Stormwater Officer is unable to support the application in its current form.

#### **CHAPTER E16 BUSHFIRE MANAGEMENT**

Council records indicate that the subject site is located within a bushfire prone area therefore the proposal has been assessed having regard to the provisions of Planning for Bushfire Protection (PBP) 2006.

The applicant has submitted a bushfire assessment report prepared by Bushfire Planning Services a FPAA accredited consultant with the application that explains the likely impact of the proposal and how it proposes to minimise these impacts. The proposed development is for construction of a new secondary dwelling.

The NSW RFS Fast Fact 4/12 Increased Density on a Single Parcel of Land dated September 2012



indicates that “the presence of additional dwellings impacts on the evacuation and sheltering of residents during a bush fire. There may also be the potential to subdivide the dwellings at a later date when compliance with Planning for Bush Fire Protection 2006 (PBP) may not be achieved”. As such boarding houses are not granted the same concessions from PBP 2006 that single dwellings are. Direction from the NSW RFS is that applications for boarding houses are to be referred to the NSW RFS under Section 4.14 however the application will be assessed as if the referral was under Section 100B of the Rural Fires Act 1997 so that the NSW RFS can determine whether adequate separation distances (APZ’s), construction, access, water and landscaping can be provided.

As such the application was referred to the NSW RFS for comments. Advice received indicates the proposal is considered conditionally satisfactory.

#### **CHAPTER E17 PRESERVATION AND MANAGEMENT OF TREES AND VEGETATION**

The application proposes the removal of twenty two (22) trees to facilitate the proposal. The application submission was referred to Council’s Landscape Officer for comment. Advice received indicates there are issues with the proposal. Council’s Landscape Officer has indicated that the removal of Trees 1, 14, 23 and 46 is not supported. Trees 1, 14 and 46 have the potential for transplanting. The Kentia palm in the North west corner has not been identified on the plans and is to be retained. There is insufficient compensatory planting for the removal of 22 trees. Therefore Council’s Landscape Officer is unable to support the application in its current form.

#### **CHAPTER E19 EARTHWORKS (LAND RESHAPING WORKS)**

The proposal involves earthworks s to facilitate the proposed development.

The application submission was referred to Council’s Stormwater and Environment Officers for comment and no objections were raised. It is considered that the earthworks will have minimal detrimental impact on environmental functions and processes, neighbouring uses items and features of the surrounding land.

#### **CHAPTER E21 DEMOLITION AND ASBESTOS MANAGEMENT**

The application submission proposes demolition of the existing structures. A Site Waste Minimisation Plan, including waste removal was included in the application submission. Conditions could be imposed to minimise impacts and ensure that demolition is carried out to Council’s and Work Safe NSW requirements.

#### **CHAPTER E22 SOIL EROSION AND SEDIMENT CONTROL**

Conditions could be imposed to minimise the impacts of the proposed works on the environment.



## **Attachment 5: Reasons for refusal**

- 1 Pursuant to the provisions of Section 4.15 (1)(a)(i) of the Environmental Planning and Assessment Act, 1979, it is considered the proposal fails to demonstrate consistency with:
  - State Environmental Planning Policy (Affordable Rental Housing) 2009.
- 2 Pursuant to the provisions of Section 4.15 (1)(a)(iii) of the Environmental Planning and Assessment Act 1979, it is considered the proposal fails to demonstrate consistency with the provisions of the Wollongong Development Control Plan 2009:
  - Chapter B1: Residential Development;
  - Chapter C3: Boarding Houses;
  - Chapter E2: Crime Prevention Through Environmental Design;
  - Chapter E3: Car Parking, Access, Servicing/Loading Facilities and Traffic Management;
  - Chapter E14: Stormwater Management; and
  - Chapter E17: Preservation and Management of Trees and Vegetation
- 3 Pursuant to the provisions of Section 4.15 (1)(b) of the Environmental Planning and Assessment Act, 1979, it is considered the proposal fails to demonstrate the likely impacts of the development will not be adverse.
- 4 Pursuant to the provisions of Section 4.15 (1)(c) of the Environmental Planning and Assessment Act, 1979, it is considered the proposal fails to demonstrate that the site is suitable for the development.
- 5 Pursuant to the provisions of Section 4.15 (1)(d) of the Environmental Planning and Assessment Act 1979, it is considered that having regard for public submissions, the development is unsuitable with respect to:
  - Parking and traffic impacts;
  - Amenity impacts;
  - Character of the area; and
  - Tree removal.
- 6 Pursuant to the provisions of Section 4.15 (1)(e) of the Environmental Planning and Assessment Act, 1979, it is considered that approval of the development would set an undesirable precedent for similar inappropriate development and is therefore, not in the public interest.